

Town of

P.O. Drawer 519
Deputy Public Works Director
Alexander T. Klose, P.E.



East Lyme

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To: William Mulholland, Zoning Official
From: Alex Klose P.E., Deputy Public Works Director & Acting Town Engineer
Date: January 22, 2026
Re: "Parkers Place" Map 11.1, Lot 11, Park Place, East Lyme
Site Plan and Coastal Area Management Plan Zoning Application

Mr. Mulholland,

As requested I have reviewed the revised application materials, including the Plan Set, Stormwater Management Report, Operation and Maintenance Plan and Traffic Study, provided for the proposed "Parkers Place" multi-family development at Map 11.1, Lot 11 in East Lyme, dated September 29, 2025 and revised January 13, 2026. I also acknowledge that the applicant and their engineer met with us several times, and I had a separate meeting with the engineer to go over specific concerns I had, primarily about the stormwater management design.

Overall, the applicant and their engineer have accommodated my comments/concerns through the revised materials and now offer the following remaining comments for consideration:

1. As a condition of approval, I recommend that the engineer of record certify that the stormwater management system has been constructed according to the design/plans along with the as-built, to include all sub-surface drainage structures installed, verifying invert, pipe sizes, etc., prior to any certificates of occupancy for the site. Or if a phased development approach is approved, then a partial certification prior to release of COs.
2. At my request the applicant has revised the traffic analysis to include the fully developed condition of the previously approved "Village Crossing" which is under construction, with all future/approved units projected. As noted in the traffic study, the Level of Service (LOS) at the intersection of Park Place and West Main Street (RT 156) in the South Bound afternoon peak hour is at an LOS C (with A being the best, F being the worst), which is a less than optimal condition. However, the development, with Village Crossing fully built and an additional 1% per year projected traffic increase to 2030, does not reduce the LOS, it remains at a C. Meaning while there may not be ideal traffic conditions at this time, the proposed development is not expected to make the conditions considerably worse according to the analysis/model.

3. At my request the engineer has taken a more conservative approach to the stormwater design, which resulted in the addition of a second smaller detention pond near the site entrance and a study of “emergency” (great then 100-year flood) conditions and the conveyance of the 25-year storm through the system’s drainage infrastructure. With this, the applicant’s engineer has satisfied my concerns with the stormwater system design.
4. Note, that the Operation and Maintenance Plan submitted should be updated regularly with any changes to responsible party and the Town should be notified of the changes. A contact name and email representing Parkers Place, LLC, the current responsible party listed, should also be included.
5. As previously noted, the Town will not be responsible for refuse collection at this site since it is a private development and not a Town Road/Public Subdivision; plowing, or any other maintenance activities for the private site is the responsibility of the owner(s).

Respectfully,



Alex Klose, P.E.
Deputy Public Works Director
Acting Town Engineer