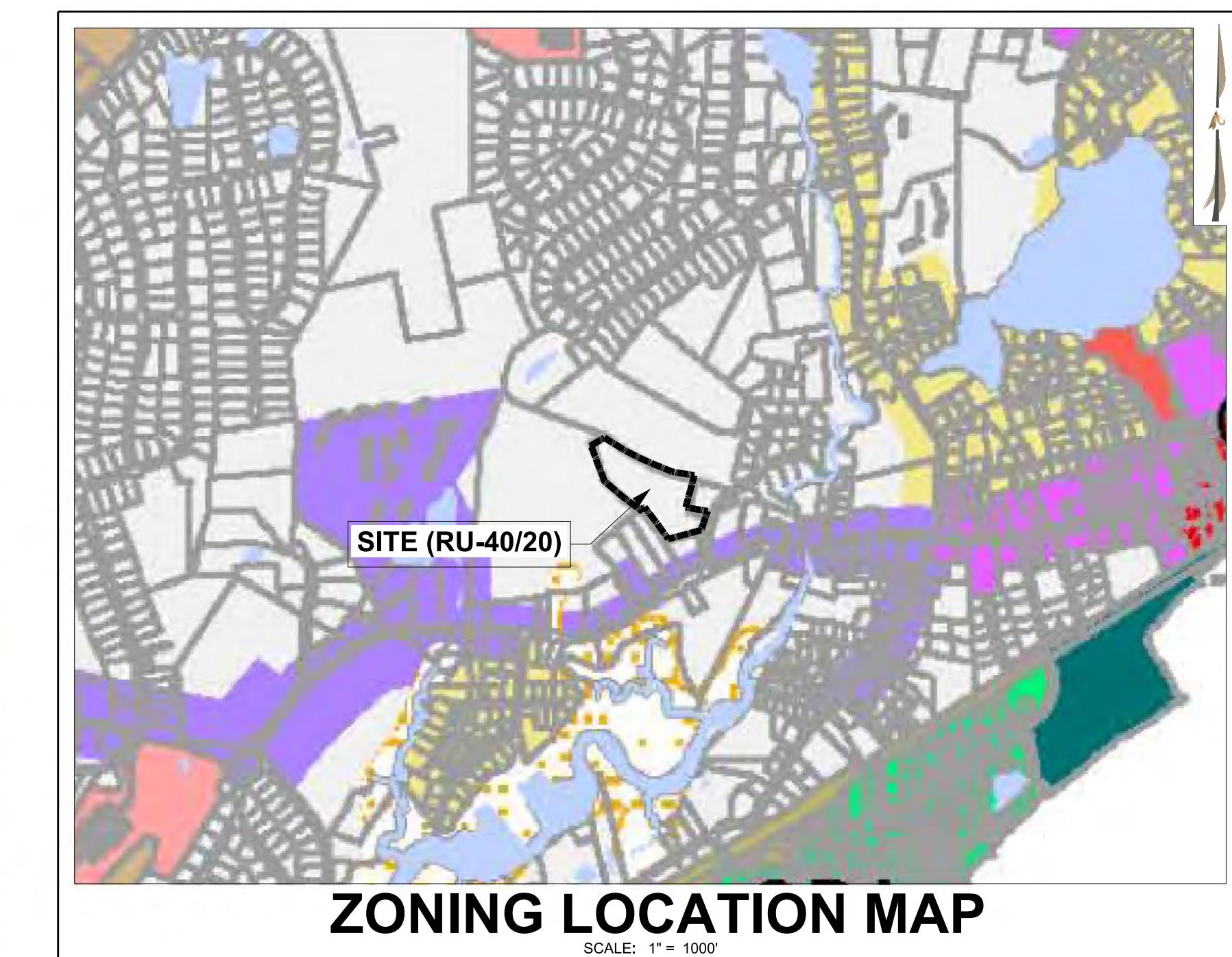
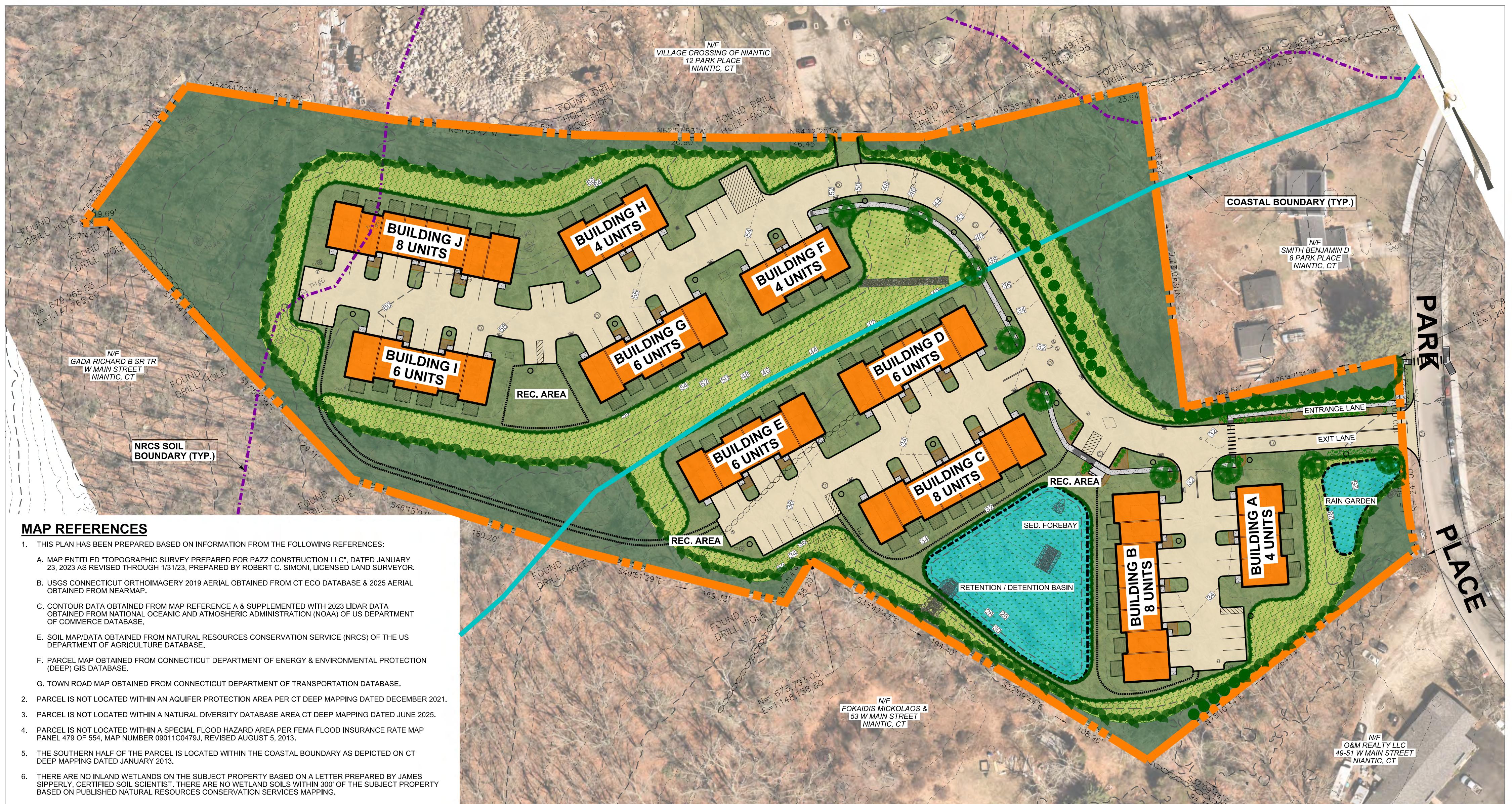
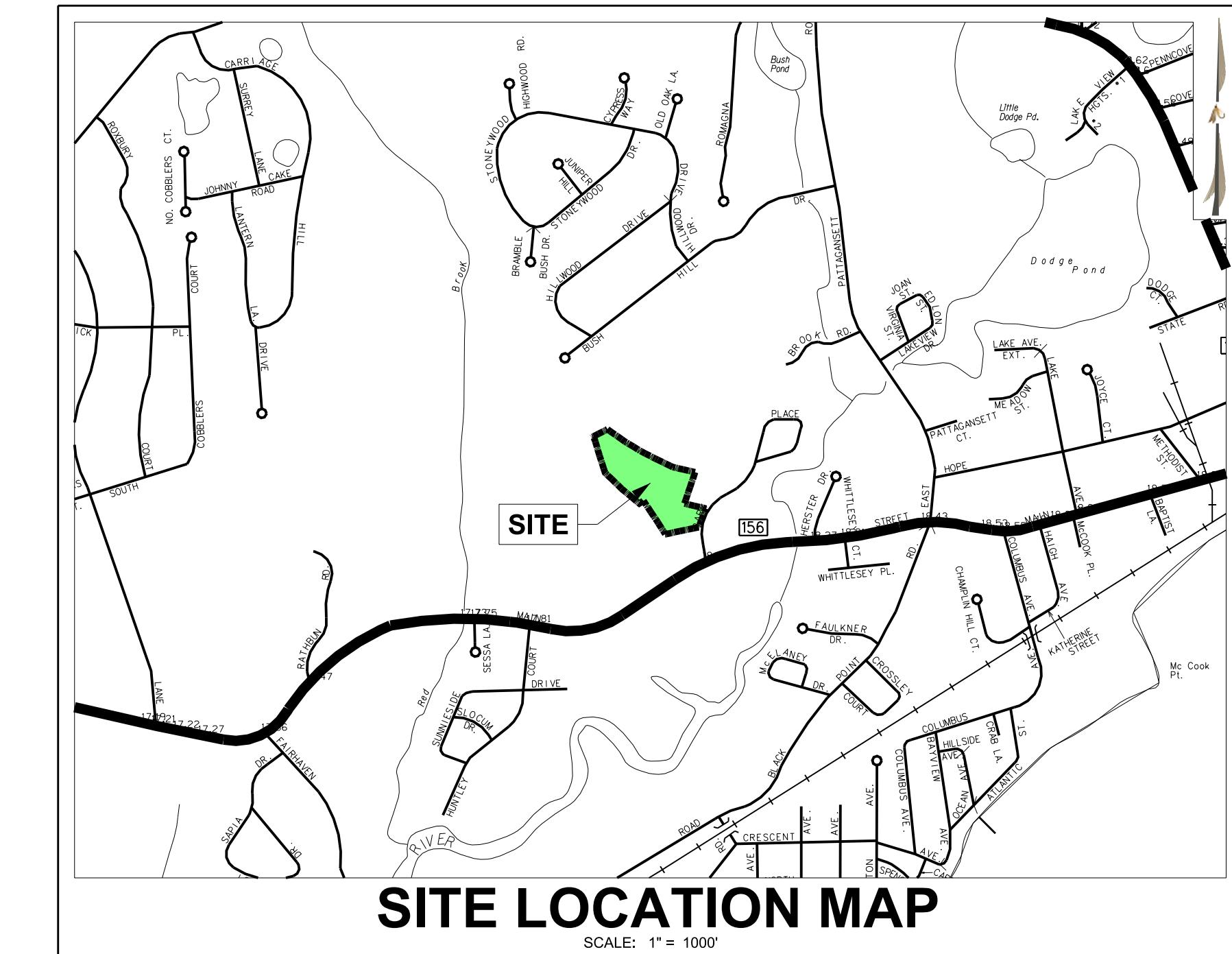


PARKERS PLACE MULTI-FAMILY DEVELOPMENT

PARK PLACE (MAP 11.1, LOT 11) EAST LYME, CONNECTICUT

PREPARED FOR

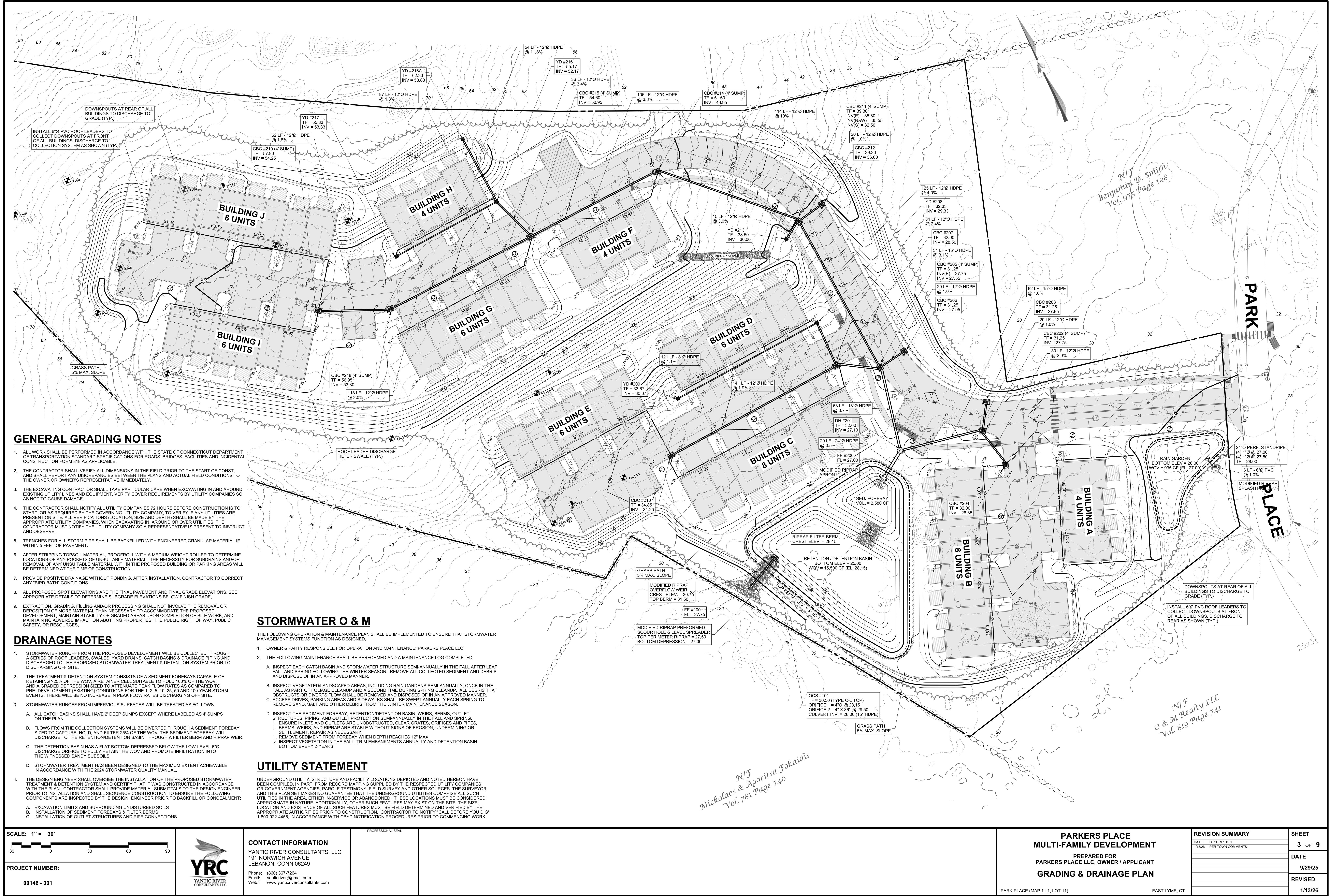
OWNER / APPLICANT
PARKERS PLACE LLC
PO BOX 817
EAST LYME, CT 06333

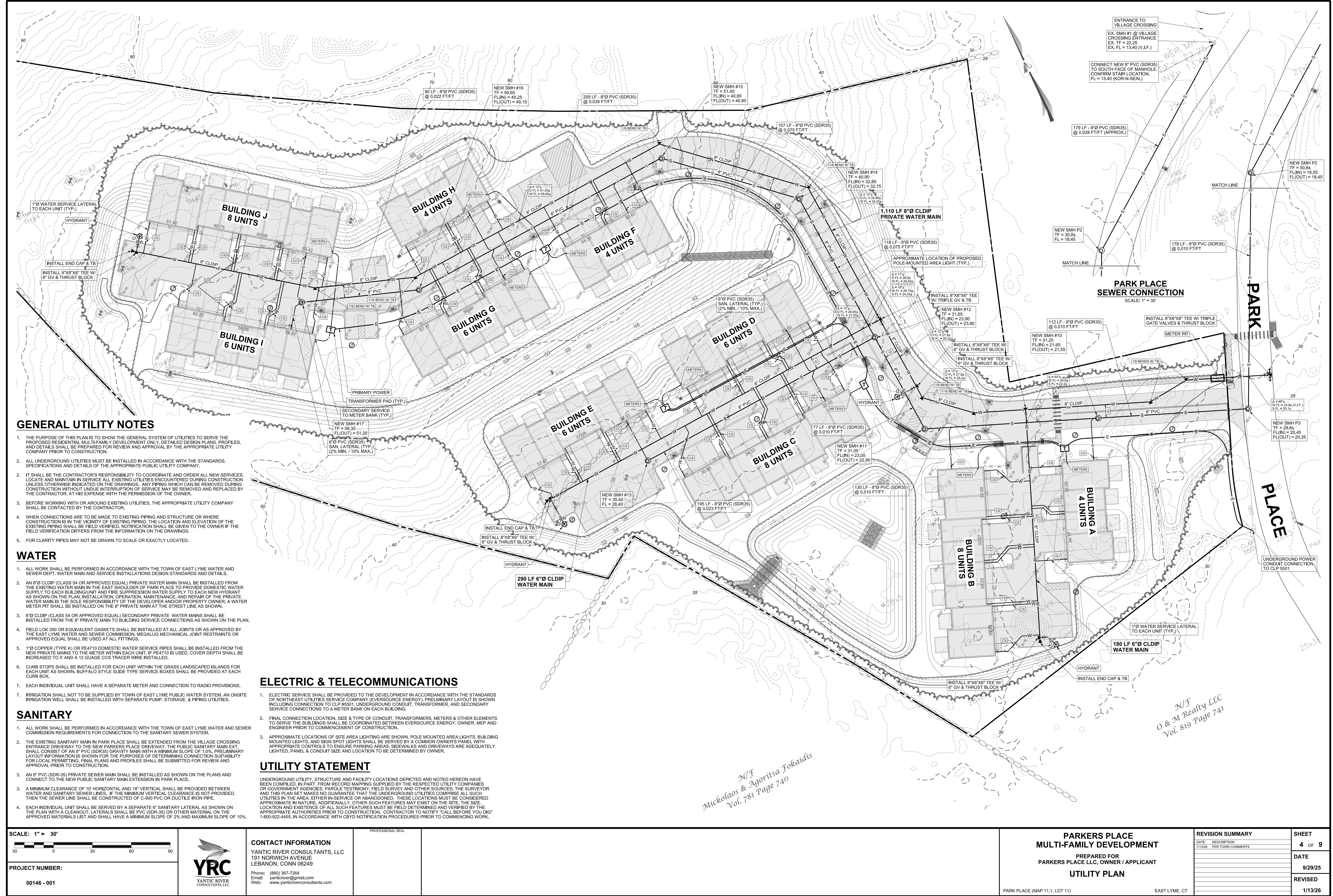


INDEX OF SHEETS

DESCRIPTION	SHEET NUMBER
TITLE SHEET	1
DEVELOPMENT LAYOUT PLAN	2
GRADING & DRAINAGE PLAN	3
UTILITY PLAN	4
EROSION & SEDIMENTATION CONTROL PLAN	5
LANDSCAPING & LIGHTING PLAN	6
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GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL PERMITS FOR THE WORK TO BE PERFORMED.
2. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF ALL LOCAL AGENCIES OF THE TOWN OF EAST LYME AND THE STATE OF CONNECTICUT.

SEQUENCE OF CONSTRUCTION:

1. COORDINATE AND COMPLETE A MEETING WITH TOWN AND OWNER, RESPONSIBLE PARTIES TO BE IDENTIFIED AND EMERGENCY PHONE NUMBERS PROVIDED.
2. LIMITS OF CLEARING TO BE STAKED BY LICENSED LAND SURVEYOR, COMPLETE CONSTRUCTION OF E&S CONTROLS, AND CONSTRUCTION OF BUILDINGS IN THE LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED FOR FIELD CONDITIONS.
3. COMPLETE GRUBBING, REMOVE AND DISPOSE OF STUMPS OFFSITE, STRIP & STOCKPILE TOPSOIL.
4. CONSTRUCT TEMPORARY SILT TRAPS, INCLUDING PLACEMENT OF FILL TO CREATE RETENTION BERM AND EMERGENCY WEIR PER PLAN, CONSTRUCT DIVERSION SWALES.
5. EXCAVATE & PLACE FILL, ROUGH GRADE, AND COMPACT SITE IN LIFTS TO ACHIEVE SUBGRADE.
6. CONTRACTOR TO PLANT NATURAL VEGETATION AND PLANT SCREENING TREES.
7. INSTALL FOUNDATIONS & ERECT BUILDINGS, BUILDING CONSTRUCTION MAY OCCUR IN SEQUENCE.
8. INSTALL UTILITIES AND STORM DRAINAGE.
9. CONSTRUCT ACCESS DRIVES AND PARKING AREAS.
10. PLANT NATURAL VEGETATION.
11. INSTALL BITUMINOUS CONCRETE BINDER COURSE.
12. REMOVE TEMPORARY SILT TRAP & COLLECTED SEDIMENTS, FINISH GRADE RETENTION/DETENTION BASIN PER PLAN.
13. INSTALL BITUMINOUS AND BITUMINOUS CONCRETE FINISH COURSE.
14. FINISH GRADE, SPREAD TOPSOIL, SEED AND COMPLETE PLANTING.
15. REMOVE EROSION AND SEDIMENTATION CONTROLS WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED, CONTACT TOWN PRIOR TO REMOVAL.

E & S CONTROL NARRATIVE:

THE PROPOSED PROJECT CONSISTS OF A MULTI-FAMILY RESIDENTIAL TOWNSHOUSE DEVELOPMENT, CONSISTING OF 60 TOWNSHOUSE UNITS WITHIN 10 SEPARATE BUILDINGS. THE GENERAL SCOPE OF SITE WORK IS DESCRIBED ABOVE IN THE CONSTRUCTION SEQUENCE.

APPROXIMATELY 4.9 ACRES OF THE 6.9-ACRE SITE (71%) WILL BE DISTURBED AS PART OF THE FULL DEVELOPMENT. THE PROPOSED E&S CONTROLS MAXIMIZE THE AREA OF TIME PREDICTED TO RAIN AND WIND, AND SUCCEED IN EROSION AND SEDIMENTATION PREVENTION. MASS EARTH WORK IS NOT REASONABLE IN ORDER TO ACHIEVE A BALANCED SITE; HOWEVER STABILIZATION OF THE SITE WILL OCCUR IN SEQUENCE AS BUILDINGS AND SURROUNDING AREAS ARE COMPLETED.

THE EROSION & SEDIMENTATION CONTROL NOTES, INSPECTION REQUIREMENTS, PLANS & DETAILS DEPICTED ON THIS SHEET SHALL BE FOLLOWED. IN ADDITION THE FOLLOWING SITE-SPECIFIC E&S CONTROL CONCERN & ISSUES SHALL BE NOTED:

1. PER USDA NRCS SOIL MAPPING, THE SITE MAINLY CONSISTS OF CHARLTON-CHAFFIELD COMPLEX SOILS, WHICH HAVE A MODERATE SUSCEPTIBILITY TO SHEET AND RILL EROSION AND A MODERATE TO HIGH SUSCEPTIBILITY TO WIND-BLOWN EROSION. LONG-TERM EXPOSURE OF THESE SOILS SHALL BE AVOIDED. DUST-CONTROL MEASURES SHALL BE EMPLOYED AS REQUIRED, SUCH AS COVERING STOCKPILES OR APPLYING WATER.
2. THE PROPOSED E&S CONTROLS TO MANAGE EROSION AND SEDIMENTATION DURING CONSTRUCTION ARE TO MOVE CONSTRUCTION MATERIALS AND EQUIPMENT FROM THE 10' TO 10' WITHIN THE DEVELOPMENT AREA. THE CONTRACTOR SHALL TAKE CARE TO PRESERVE NATURAL VEGETATION ALONG THE TOP OF CUT SLOPES AND BOTTOM OF FILL SLOPES. MINIMIZE SOIL DISTURBANCE, AND MAINTAIN E&S CONTROLS FOR THE DURATION OF CONSTRUCTION UNTIL DISTURBED AREAS ARE STABILIZED.

E & S CONTROL PLAN:

1. OWNER & PARTY RESPONSIBLE FOR E&S CONTROL PLAN: PARKERS PLACE, LLC. EMERGENCY CONTACT: TO BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMIT.
2. ALL EROSION AND CONTROL MEASURES SHALL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREVER POSSIBLE. E&S MEASURES SHALL BE MOVED AND/OR ADDED TO ACCOMODATE THE PROGRESSION OF WORK.
3. AN ANTI-TRACKING APRON SHALL BE INSTALLED AT ALL ENTRANCES TO THE SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC. ROAD SURFACES SHALL BE SWEEPED AS REQUIRED.
4. ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE PROTECTED WITH INLET CONTROL FILTER/SILT SACKS AS SHOWN IN THE PLAN THROUGHOUT THE CONSTRUCTION PERIOD. IF REQUIRED, NEW CATCH BASINS ON SITE SHALL BE PROTECTED WITH STRAW WADDLES OR BALES.
5. AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND STOCKPILES OF SOIL.
6. DUST CONTROL MEASURES SHALL BE APPLIED DURING CONSTRUCTION AS REQUIRED.
7. TEMPORARY SILTATION TRAPS (TST) AND DIVERSION SWALES SHALL BE INSTALLED AS NECESSARY DURING CONSTRUCTION. DIVERTED RUNOFF SHALL BE DIRECTED TO THE TSTS. CONSTRUCTION WASTEWATERS SHALL NOT BE DIRECTLY DISCHARGED TO STORM DRAINAGE, THE ROAD, OR ADJACENT PROPERTIES. AT ALL TIMES DURING CONSTRUCTION, THE TSTS AND SWALES SHALL BE MAINTAINED TO CONTROL RUNOFF AND PREVENT SEDIMENT DISCHARGE FROM THE WORK AREAS.

E & S CONTROL NOTES:

1. CONSTRUCTION IS ANTICIPATED TO START IN SPRING 2026 AND BE COMPLETED IN 2028.
2. E&S CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS, OR AS DIRECTED BY THE TOWN.
3. ALL E&S CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2023, AS AMENDED AND THE TOWN OF EAST LYME REGULATIONS.
4. EROSION CONTROL DEVICES SHALL BE MAINTAINED, REPLACED AND/OR ADDED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR REQUIRED BY THE ENGINEER OR THE TOWN.
5. SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL E&S CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER OR TOWN.
7. ALL DISTURBED AREAS ARE TO BE RAKED, SEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPEC. IN CTDOT FORM 818.
8. AREAS OUTSIDE OF IMPERVIOUS AREAS TO RECEIVE A MINIMUM 4" OF TOPSOIL.
9. THE FOLLOWING DATES FOR SEEDING SHALL BE USED:
SPRING: APRIL 15 TO JUNE 15; FALL: AUGUST 15 TO SEPTEMBER 15
10. GRASS SEED MIXTURES SHALL BE TALL FESCUE BLEND APPLIED AT A RATE NO LESS THAN 100LBS. PER ACRE OR AS RECOMMENDED BY MANUFACTURER.
11. TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS APPLIED AT A RATE OF 100 LBS. PER ACRE.

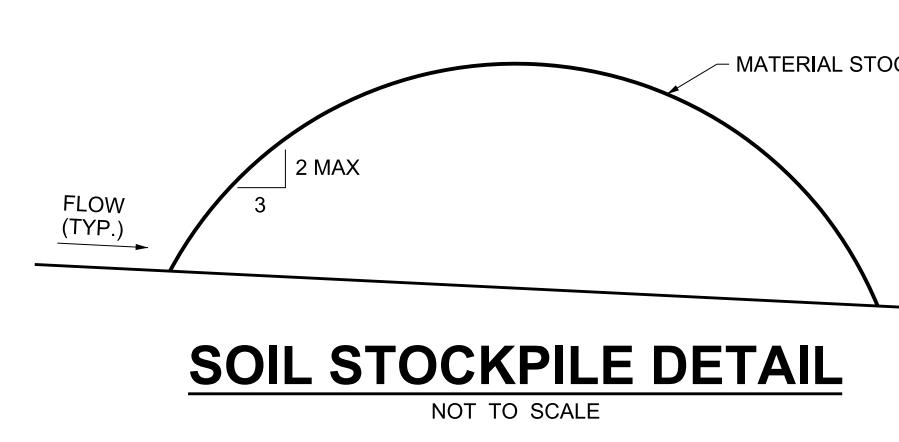
INSPECTION AND MAINTENANCE:

REGULAR INSPECTION AND MAINTENANCE IS CRITICAL FOR THE EFFECTIVENESS OF E&S CONTROLS. THE RESPONSIBLE PARTY SHALL IMPLEMENT THE FOLLOWING THROUGHOUT THE CONSTRUCTION PERIOD UNTIL THE SITE IS STABILIZED.

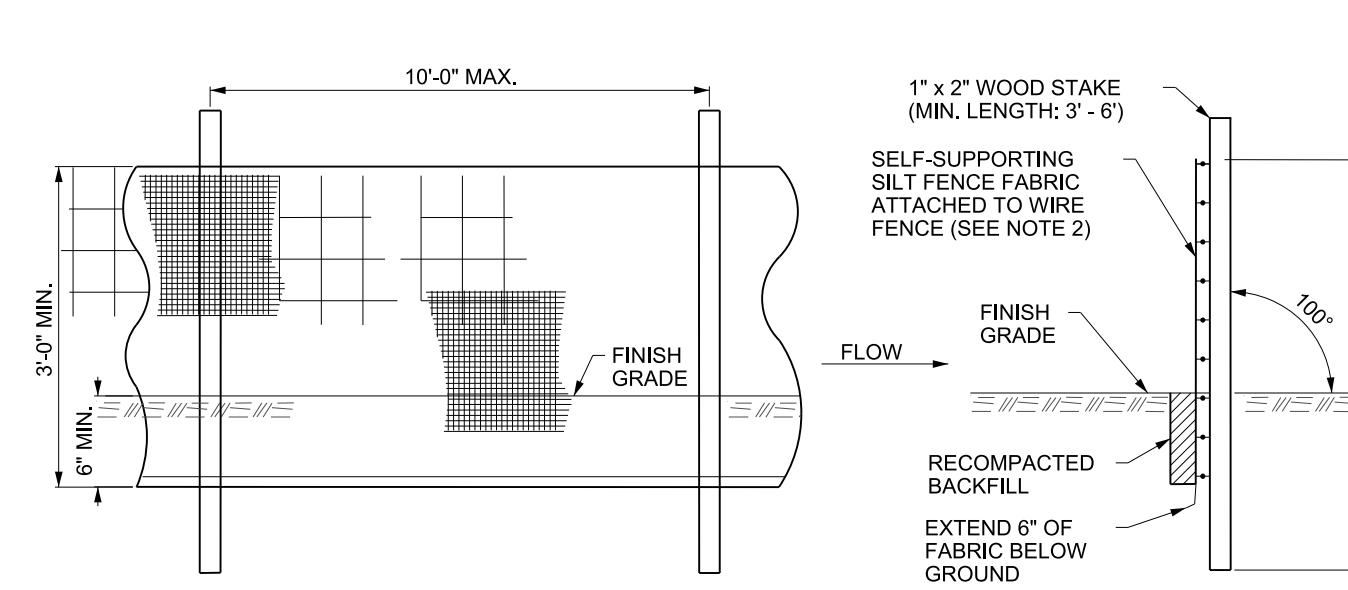
1. THE RESPONSIBLE PARTY SHALL PERFORM ROUTINE INSPECTIONS BASED ON THE FOLLOWING.
2. PRIOR TO A MAJOR STORM IN WHICH THE NOAA ISSUES WARNINGS OF FLOODING, SEVERE WEATHER CONDITIONS OR EFFECTS, ALL E&S CONTROLS SHALL BE INSPECTED, MAINTAINED, REPAIRED AND/OR CLEANED TO ENSURE THEY ARE IN PROPER WORKING ORDER.
3. ALL E&S CONTROLS SHALL BE INSPECTED, REPAIRED, AND CLEANED IF NECESSARY WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES.
4. ALL STORMWATER STRUCTURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES AND CLEANED AS FOLLOWS:
 - A. CATCH BASINS - REMOVE COLLECTED SEDIMENT @ 1/2 DEPTH OF SUMP
 - B. SWALES - REMOVE COLLECTED SEDIMENT @ 1/2 DEPTH
 - C. DEWATERING BASINS - REMOVE COLLECTED SEDIMENT @ 1/2 CAPACITY
5. ROUTINE INSPECTION AND MAINTENANCE SCHEDULE:
 - A. INSPECT ROAD DURING DROPS OF 1" OR MORE AND CLEANED.
 - B. E&S CONTROLS - BE INSPECTED AND CLEANED AS REQUIRED:
 - i. ANTI-TRACKING APRON - REPLENISH OR REPLACE STONE AS REQUIRED
 - ii. SILT FENCE - REMOVE COLLECTED SEDIMENT @ 1/2 THE HEIGHT (MAX.)
 - iii. SILT SACKS - CLEAN PER MANUFACTURER'S RECOMMENDATIONS
 - iv. STRAW BALES - REMOVE COLLECTED SEDIMENT @ 1/2 THE HEIGHT (MAX.)
6. ALL STORMWATER STRUCTURES SHALL BE CLEANED AFTER REMOVAL OF E&S CONTROLS.



ANTI-TRACKING PAD DETAIL
NOT TO SCALE

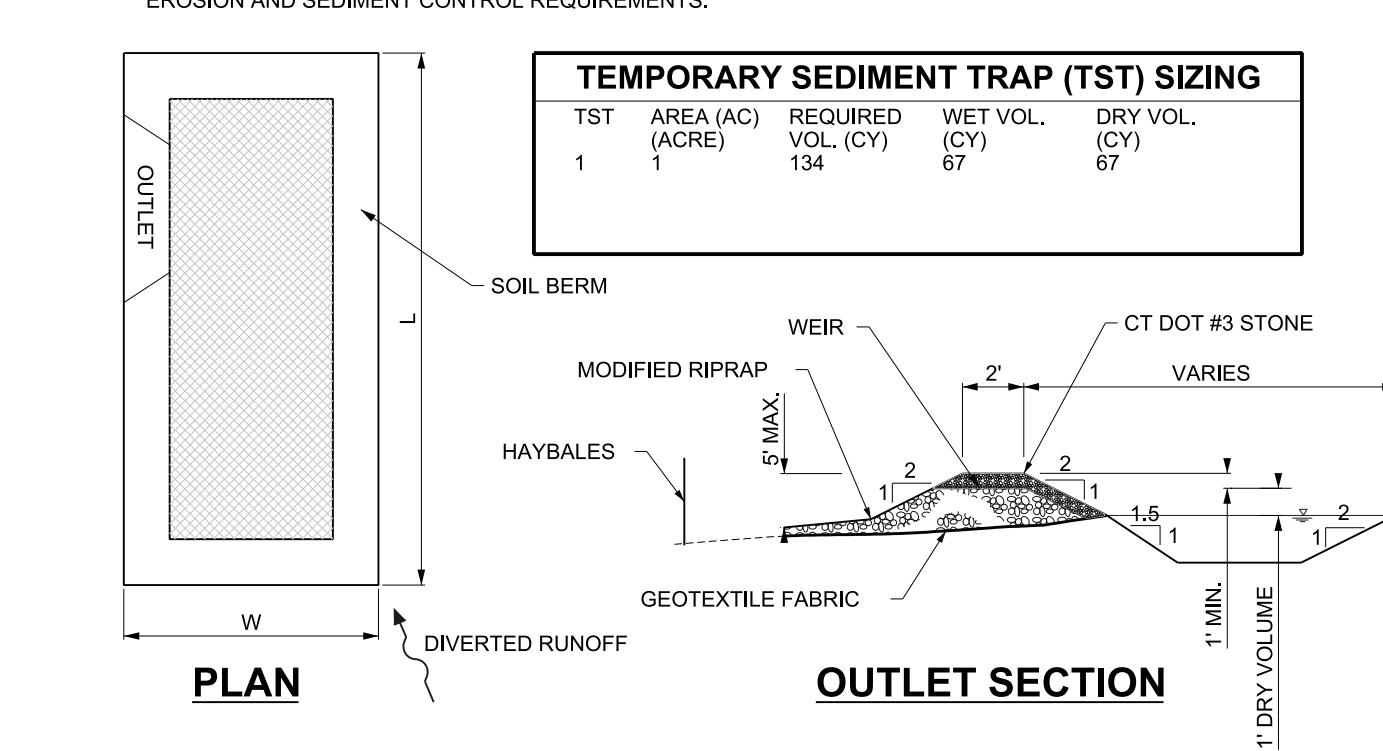


SOIL STOCKPILE DETAIL
NOT TO SCALE

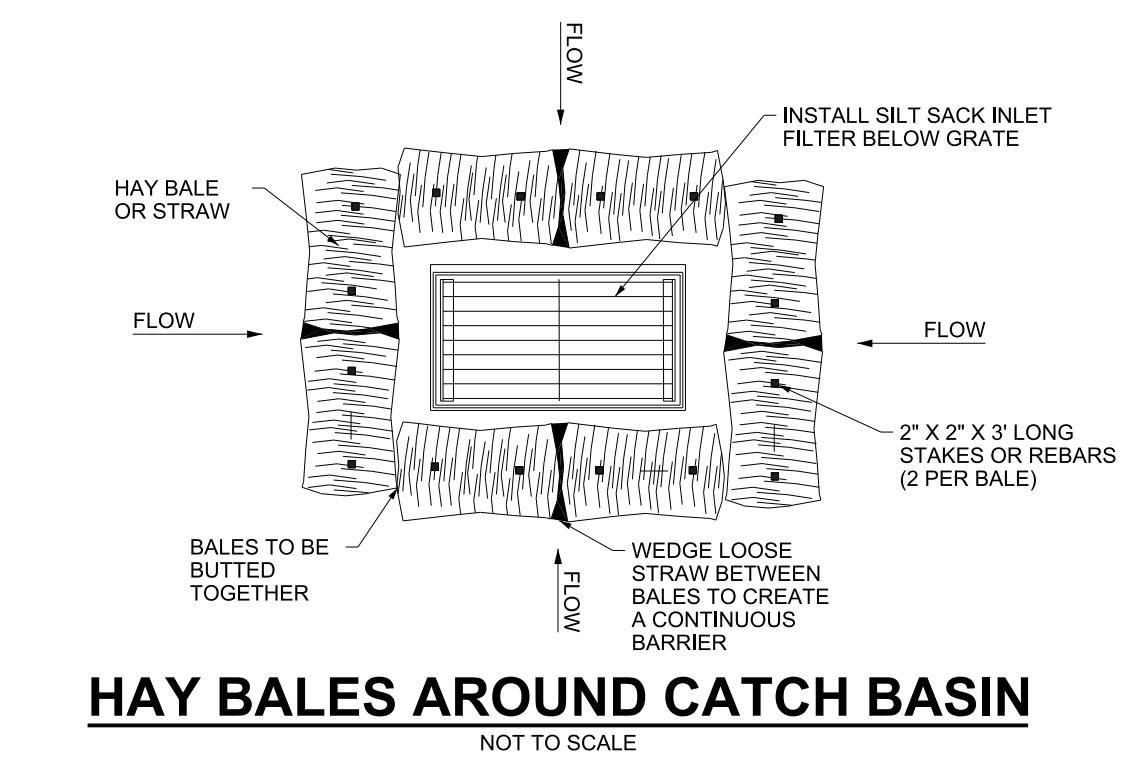


SILT FENCE
NOT TO SCALE

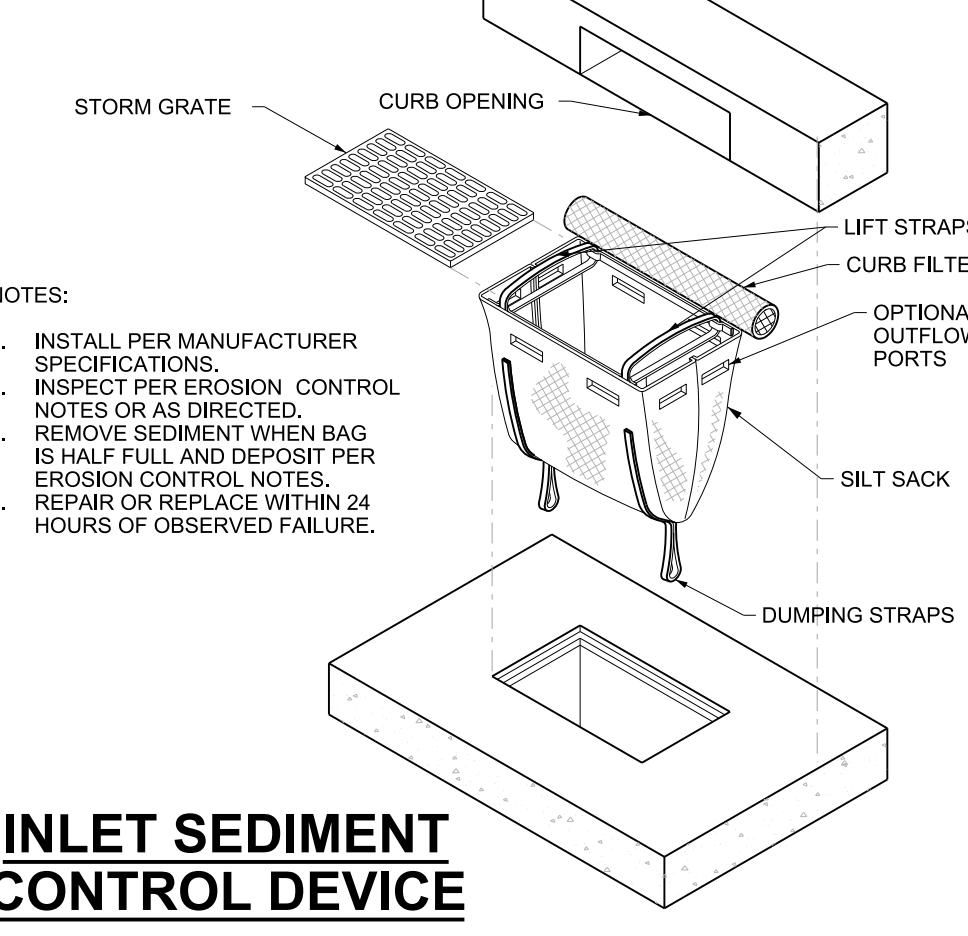
NOTES:
1. INSTALL SILT FENCE & WOOD STAKES AS RECOMMENDED BY MANUFACTURER.
2. SILT FENCE SUBJECT TO HEAVY LOADS SHALL BE REINFORCED WITH FARM FENCING & STEEL POST (10.5 # PER LINEAL FT). THE FENCE SHALL BE TIED TO THE GROUND.
3. SILT FENCE FABRIC SHALL BE A PERVIOUS SHEET OF WOVEN PROPYLENE, NYLON, POLYESTER OR POLYETHYLENE FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER.



TEMPORARY SEDIMENT TRAP
NOT TO SCALE



HAY BALES AROUND CATCH BASIN
NOT TO SCALE



INLET SEDIMENT CONTROL DEVICE
NOT TO SCALE

SCALE: 1" = 40'
40 0 40 80 120



CONTACT INFORMATION
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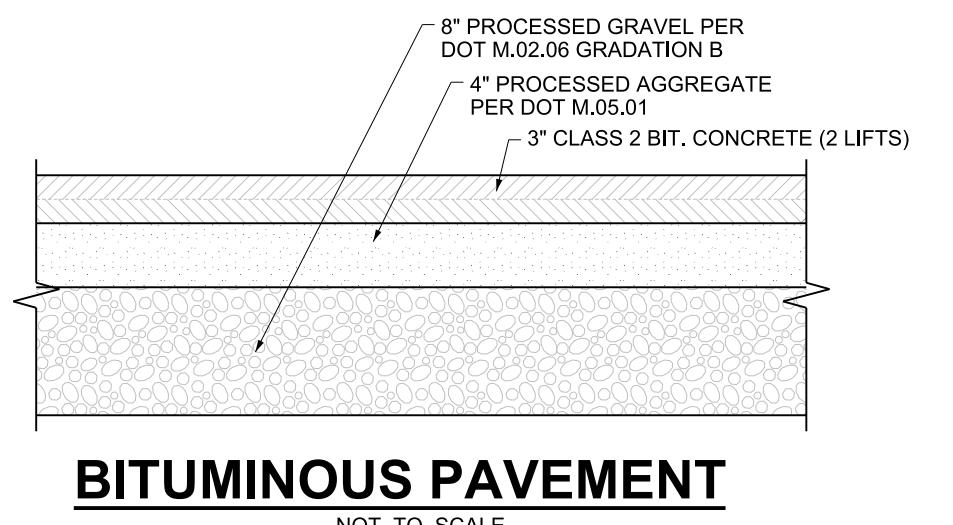
PROFESSIONAL SEAL

PROJECT NUMBER:
00146 - 001

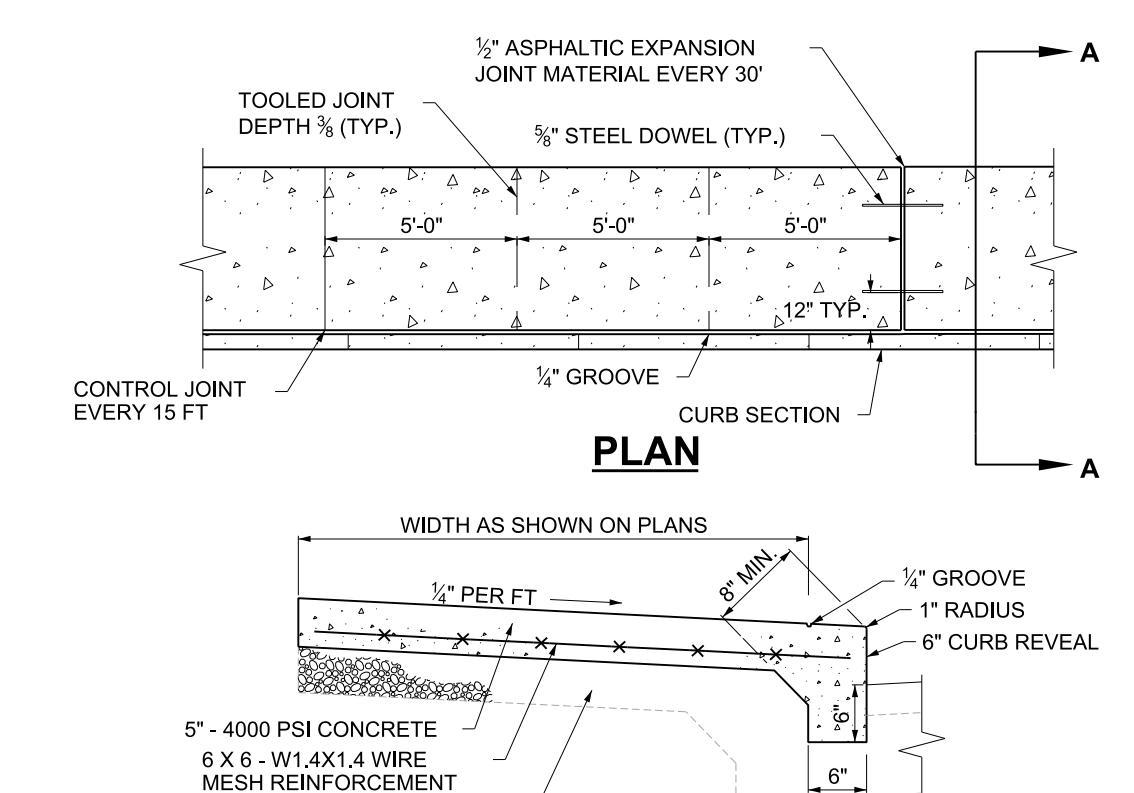
PARKERS PLACE MULTI-FAMILY DEVELOPMENT
PREPARED FOR PARKERS PLACE LLC, OWNER / APPLICANT
EROSION & SEDIMENTATION CONTROL PLAN
PARK PLACE (MAP 11, LOT 11)
EAST LYME, CT

REVISION SUMMARY
DATE: 5 OF 9
1/13/26 PER TOWN COMMENTS
DATE: 9/29/25
REVISED: 1/13/26

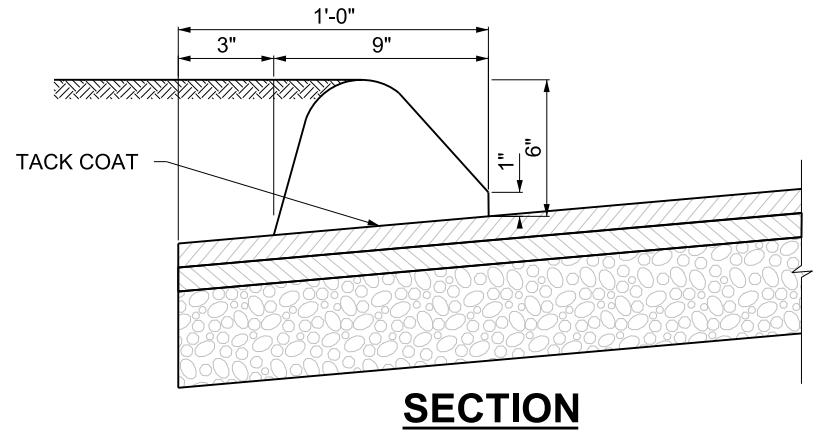




BITUMINOUS PAVEMENT

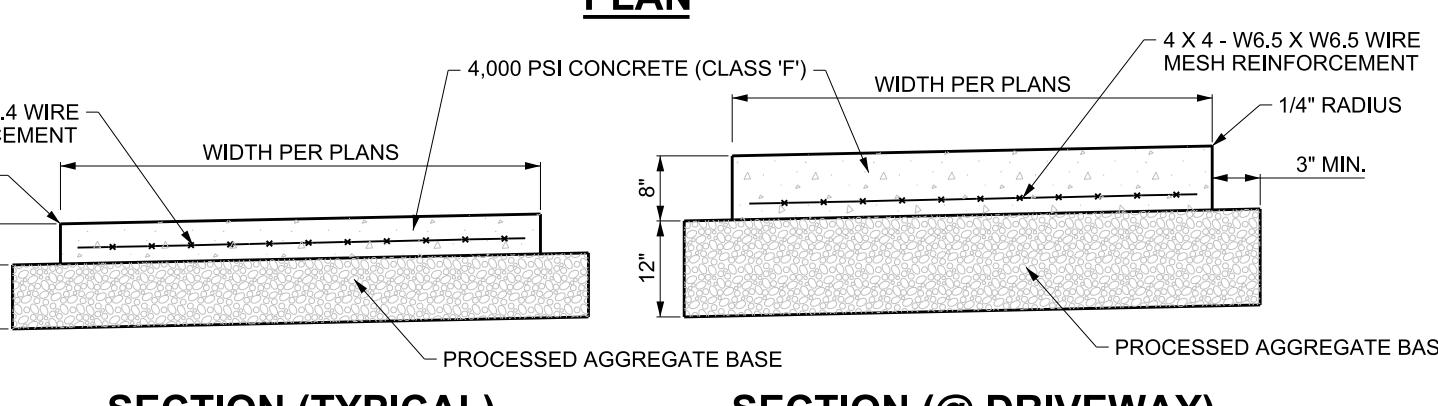
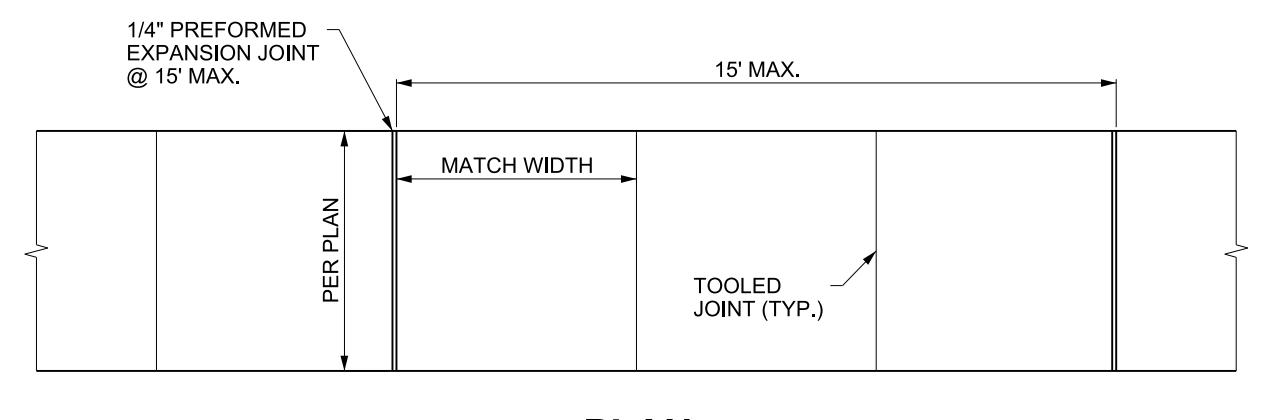


CONCRETE SIDEWALK AND CURB MONOLITHIC

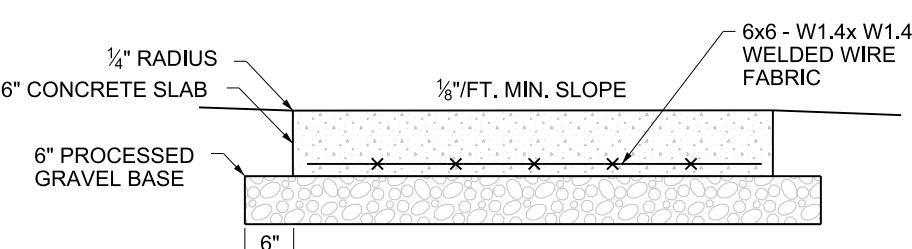


NOTES:
1. CURBING SHALL BE MACHINE EXTRUDED.

BITUMINOUS CONCRETE CURB (BCLC)

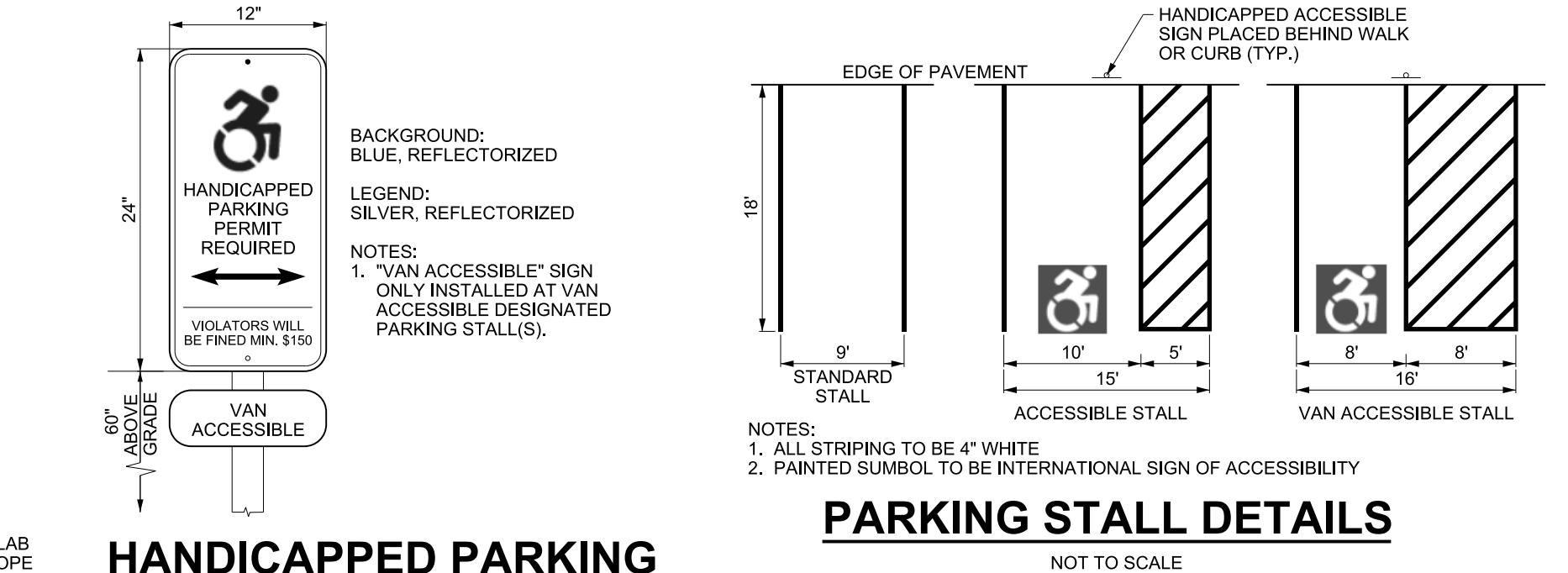


CONCRETE SIDEWALK

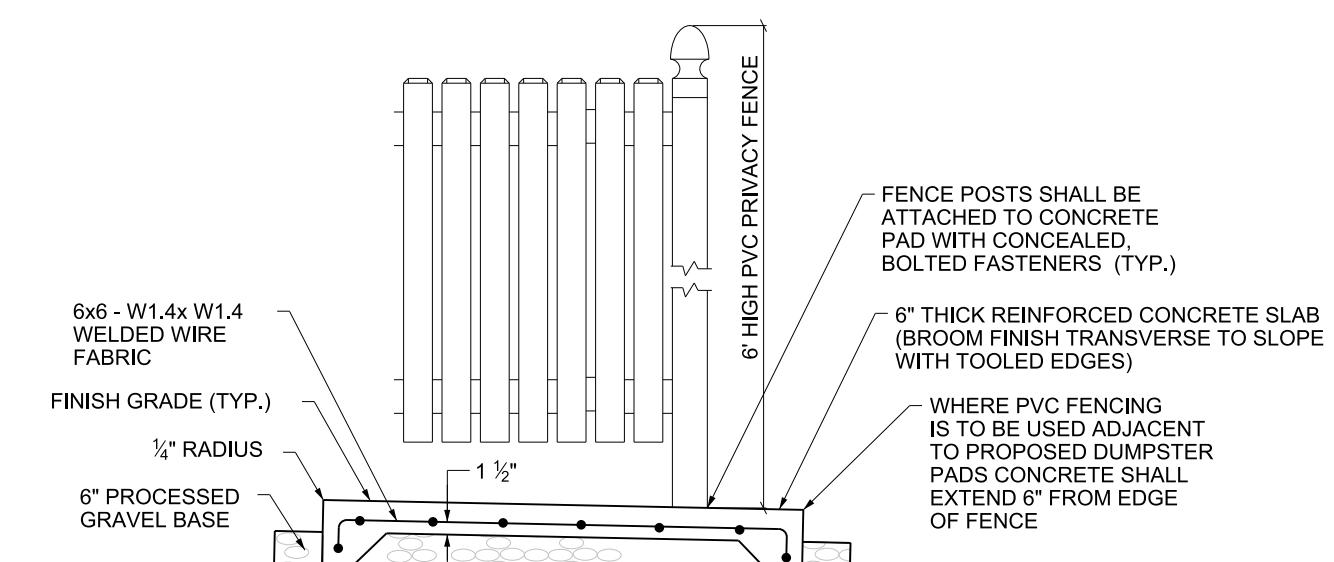


CONCRETE MAIL PAD

NOTES:
1. ALL CONCRETE TO BE 4,000 PSI MIN.
2. CONCRETE SURFACE SHALL BE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE PAD.

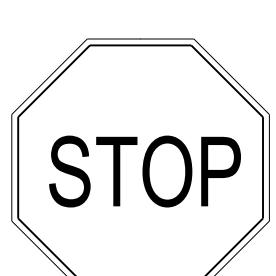


HANDICAPPED PARKING



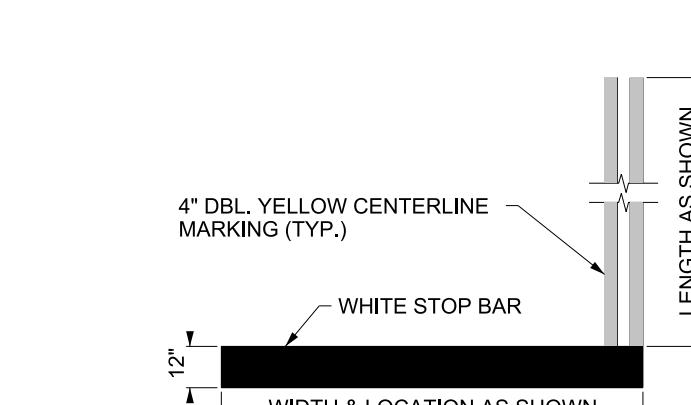
DUMPSTER PAD & PVC FENCE

NOT TO SCALE



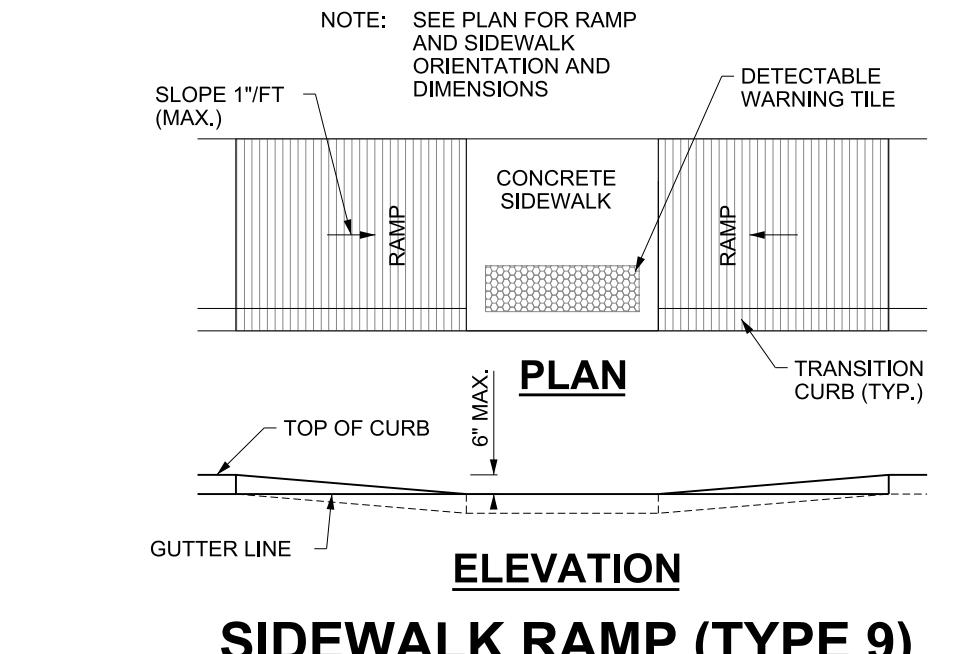
STOP SIGN

NOT TO SCALE



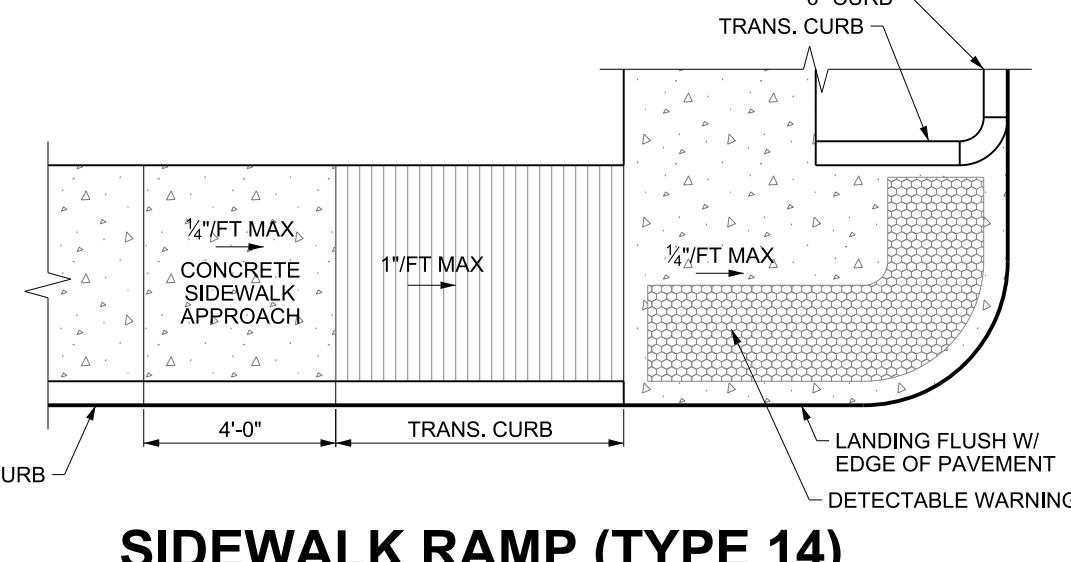
STOP BAR

NOT TO SCALE



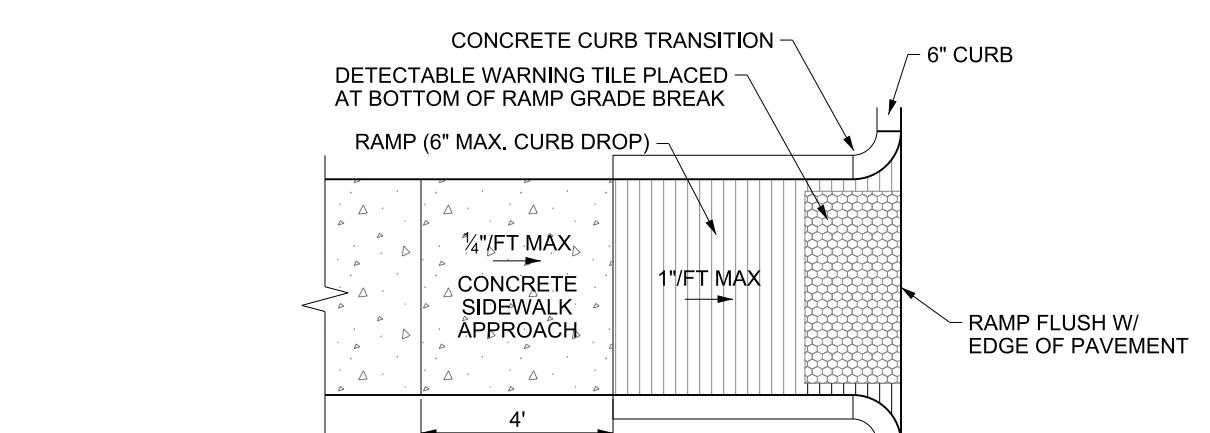
SIDEWALK RAMP (TYPE 9)

NOT TO SCALE



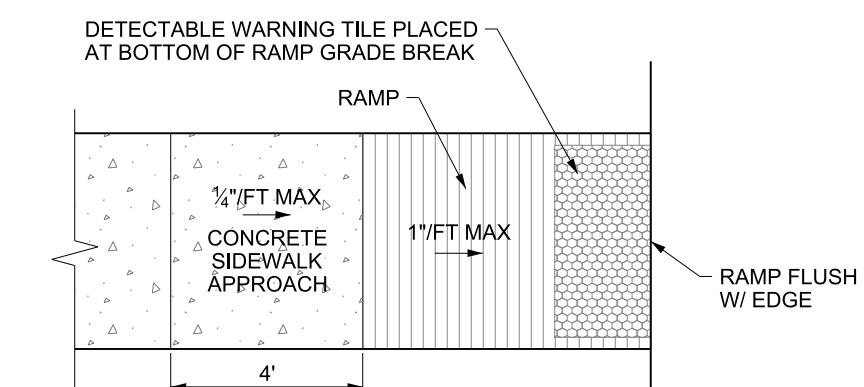
SIDEWALK RAMP (TYPE 14)

NOT TO SCALE



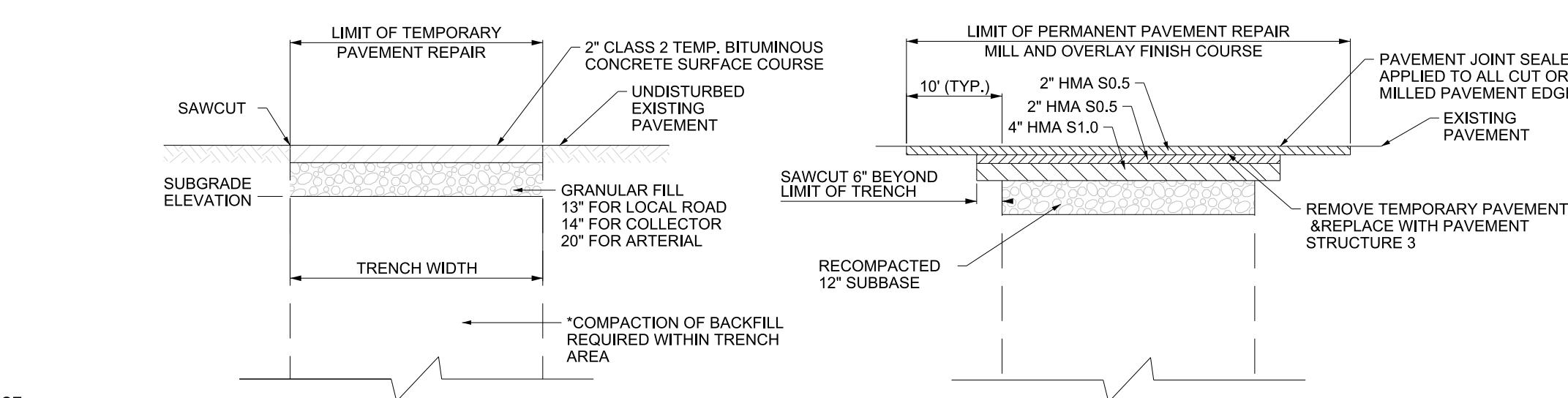
SIDEWALK RAMP (TYPE 16)

NOT TO SCALE



SIDEWALK RAMP (TYPE 17)

NOT TO SCALE



TEMPORARY REPAIR

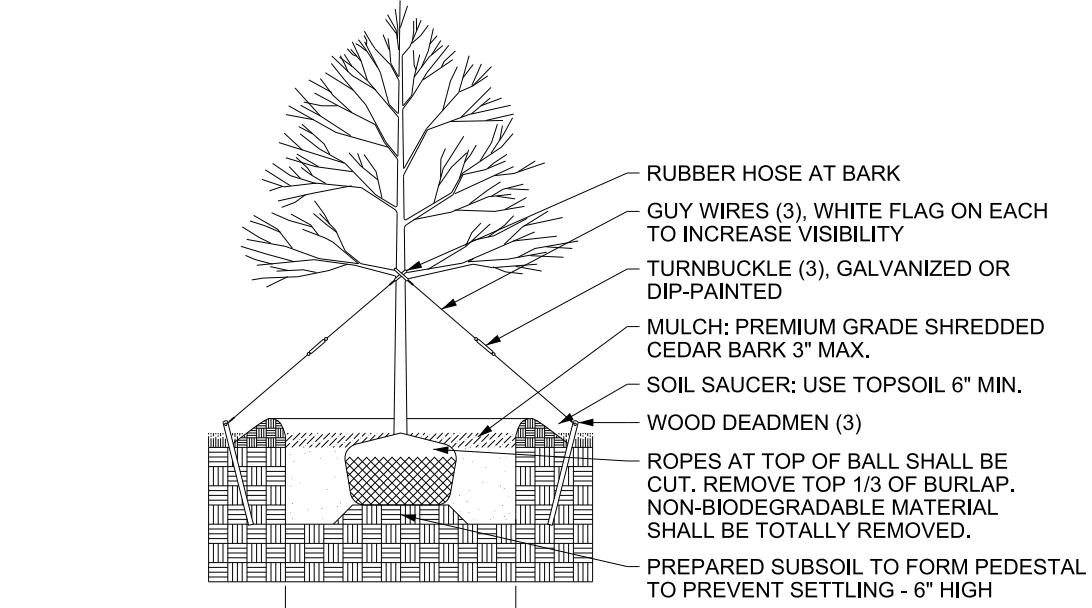
NOTES:
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CT DOT STANDARDS OR AS OTHERWISE DETERMINED IN THE FIELD BY THE DOT INSPECTOR.

PERMANENT REPAIR

NOTES:
1. REMOVE TEMPORARY PAVEMENT & REPLACE WITH PAVEMENT STRUCTURE 3

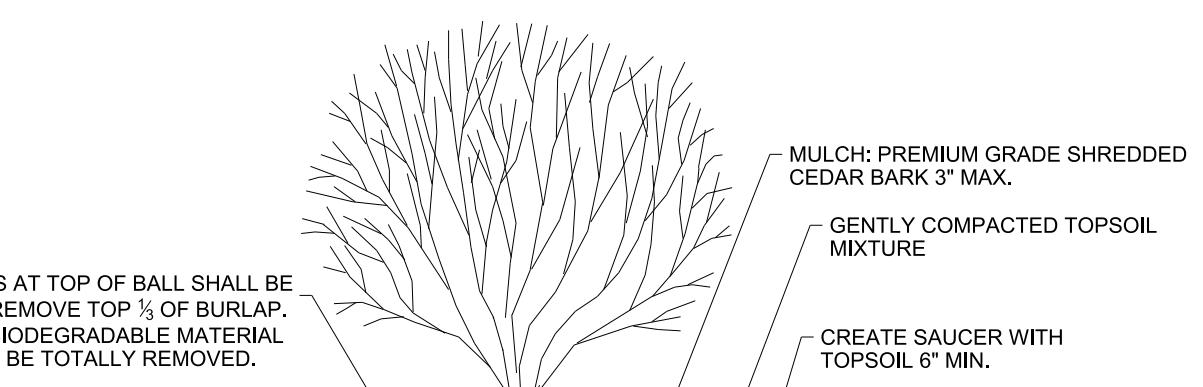
PAVEMENT RESTORATION OVER TRENCH

NOT TO SCALE



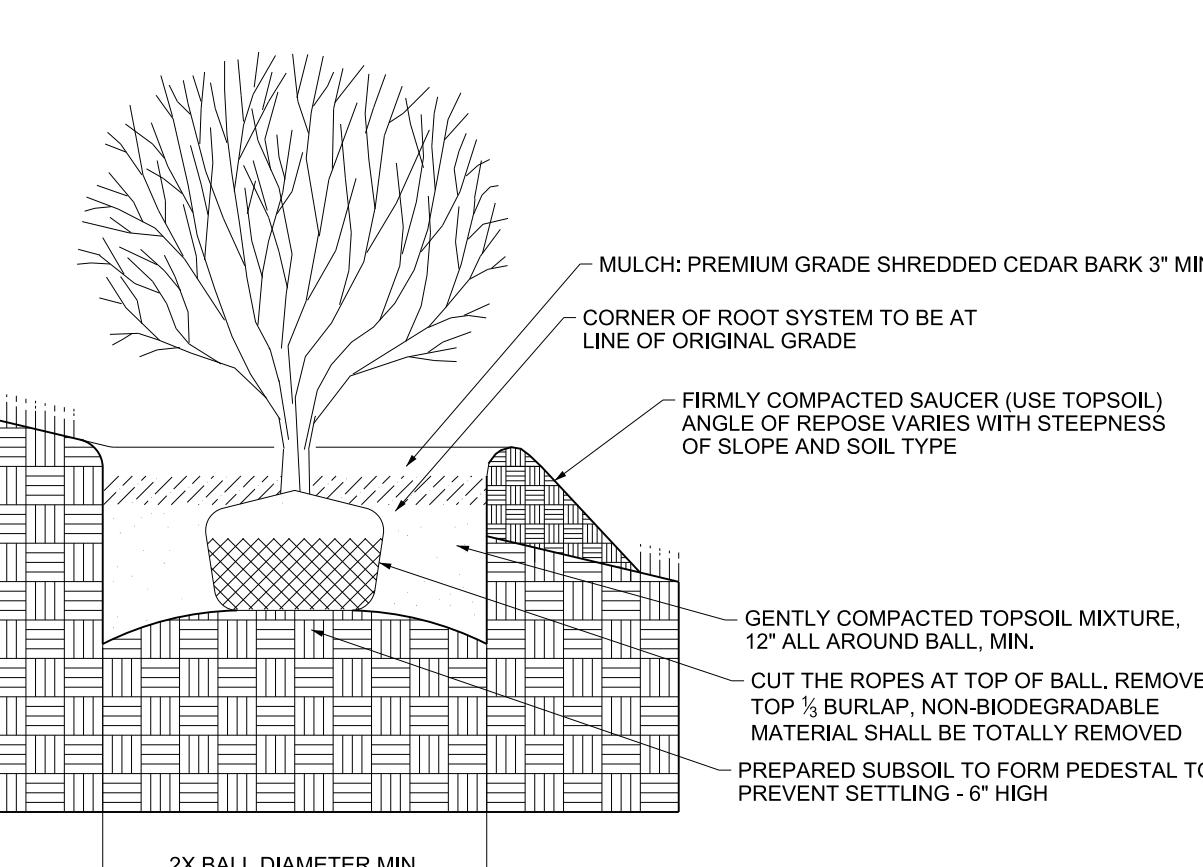
TREE PLANTING

NOT TO SCALE



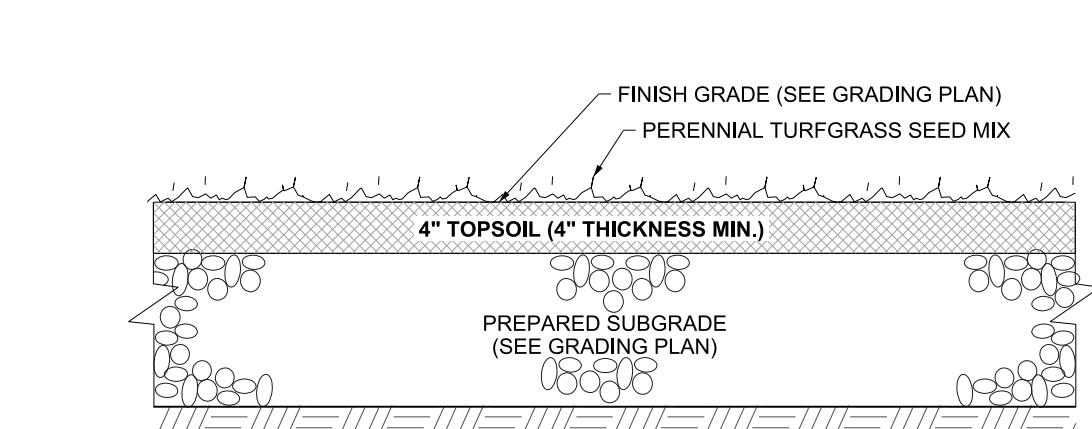
SHRUB PLANTING

NOT TO SCALE



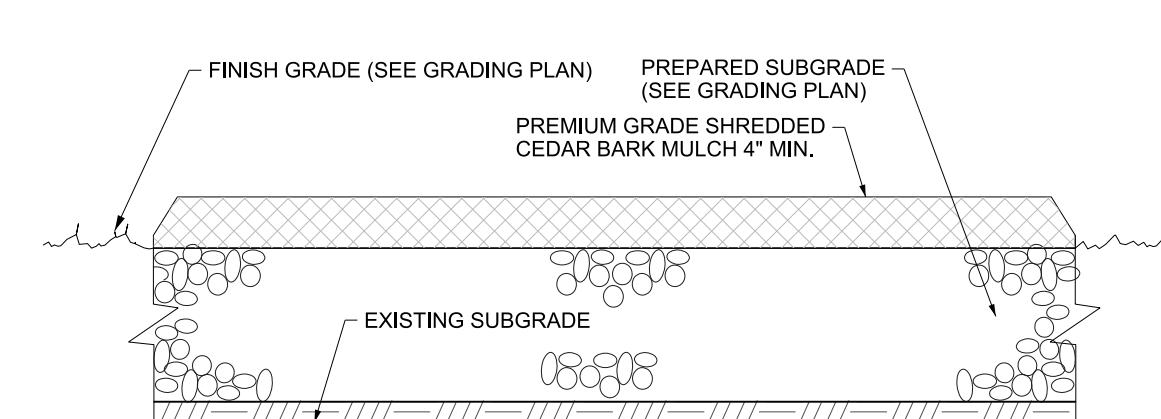
SHRUB PLANTED ON SLOPE

NOT TO SCALE



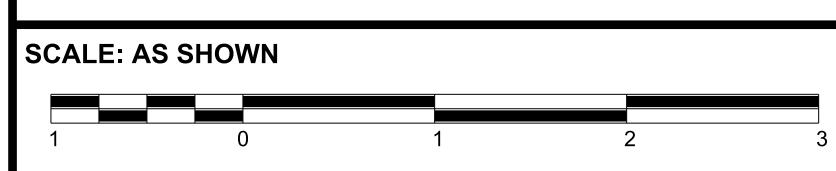
TURF ESTABLISHMENT

NOT TO SCALE



MULCH SURFACE TREATMENT

NOT TO SCALE



CONTACT INFORMATION
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PROFESSIONAL SEAL

1/1/26

PROJECT NUMBER:

00146 - 001

**PARKERS PLACE
MULTI-FAMILY DEVELOPMENT**
PREPARED FOR
PARKERS PLACE, LLC, OWNER / APPLICANT
SITE DETAILS

PARK PLACE (MAP 11.1, LOT 11)

REVISION SUMMARY

DATE DESCRIPTION
1/1/26 PER TOWN COMMENTS

SHEET

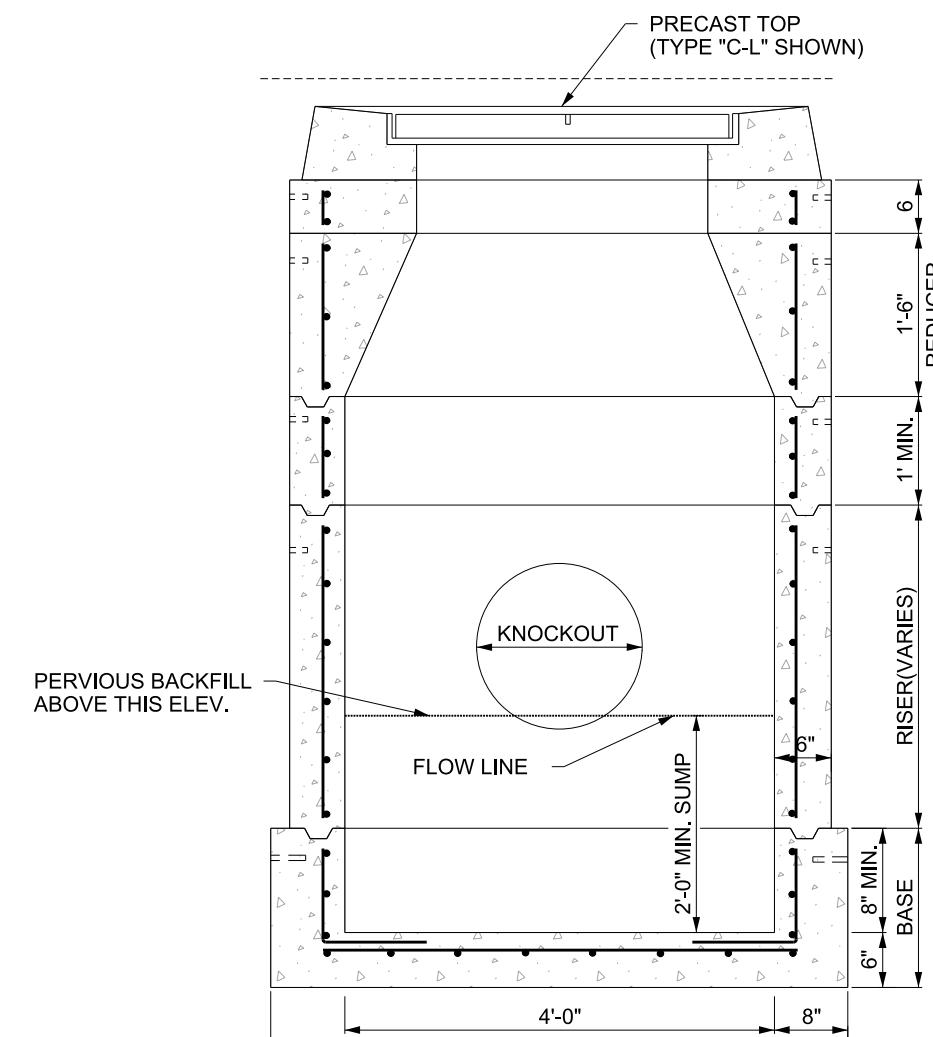
7 **9**

DATE

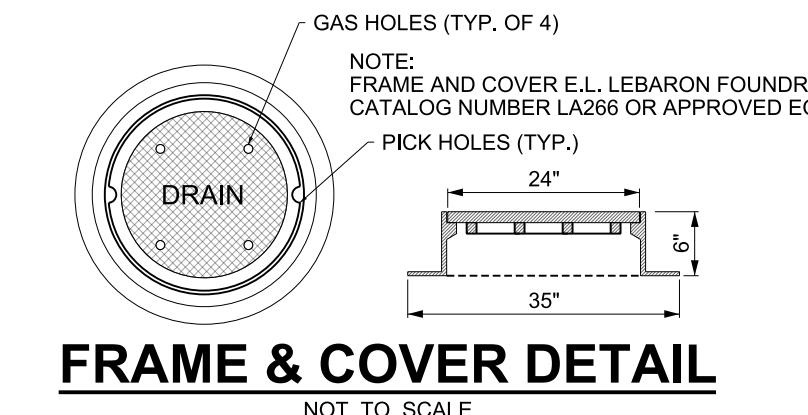
9/29/25

REVISED

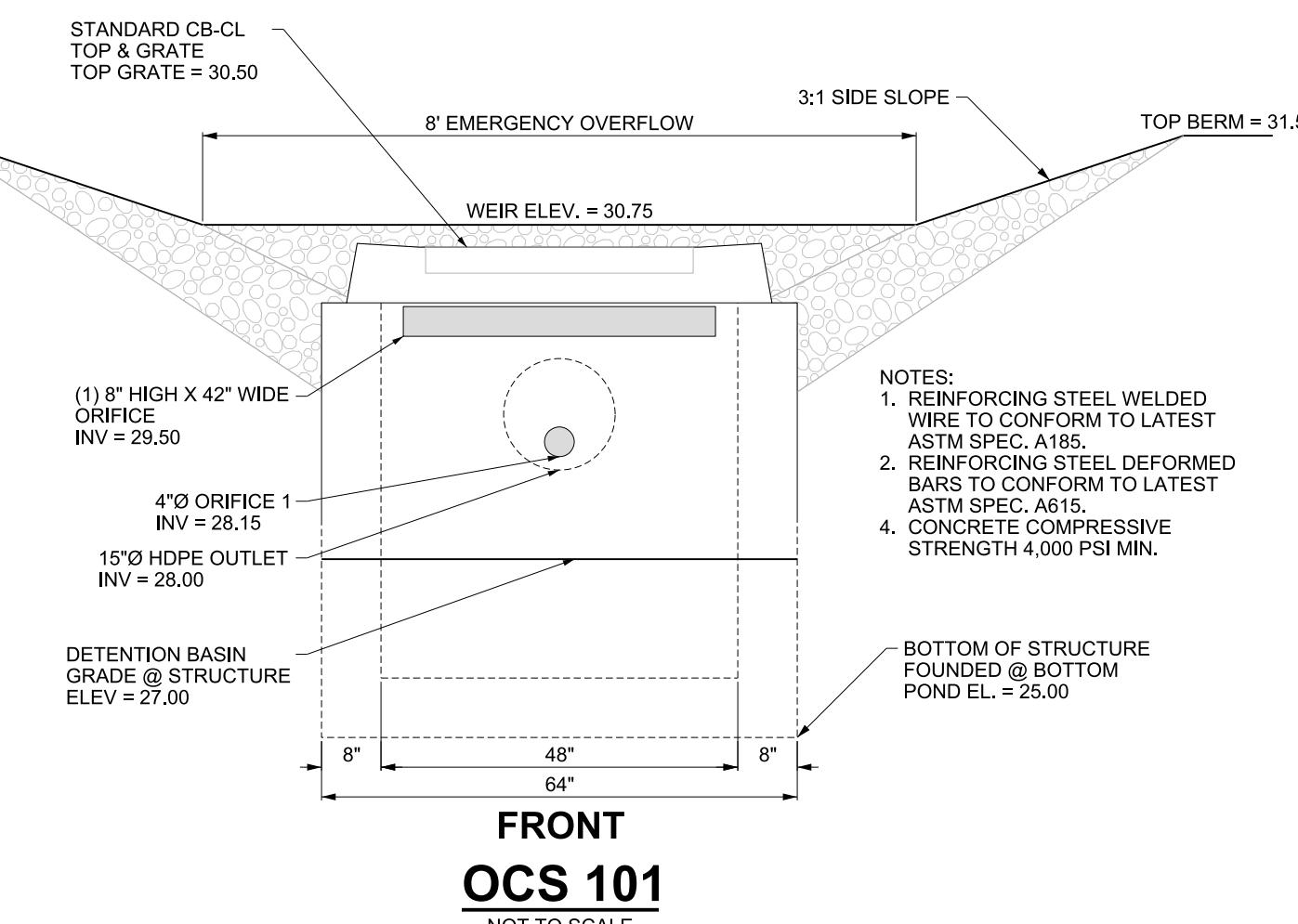
1/13/26



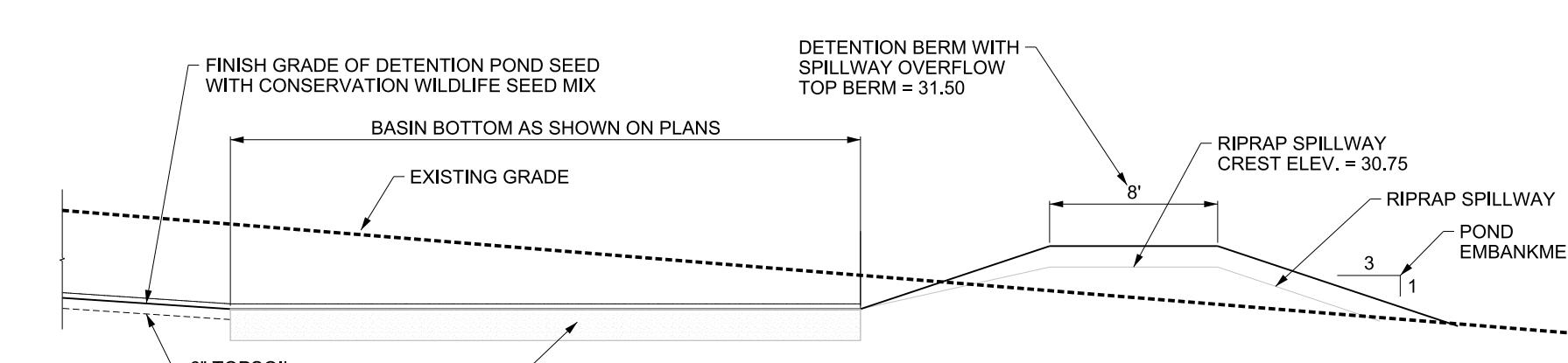
**TYPE "C", "CL" OR "CG"
STANDARD CATCH BASIN**



FRAME & COVER DETAIL



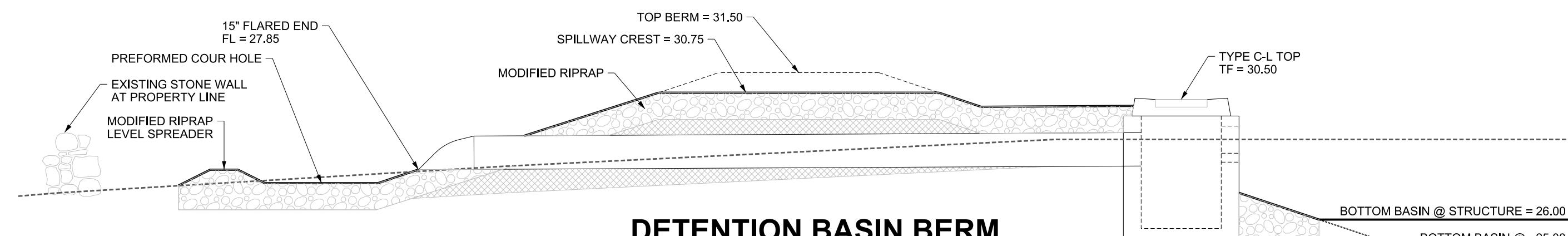
**FRONT
OCS 101**



BASIN SECTION



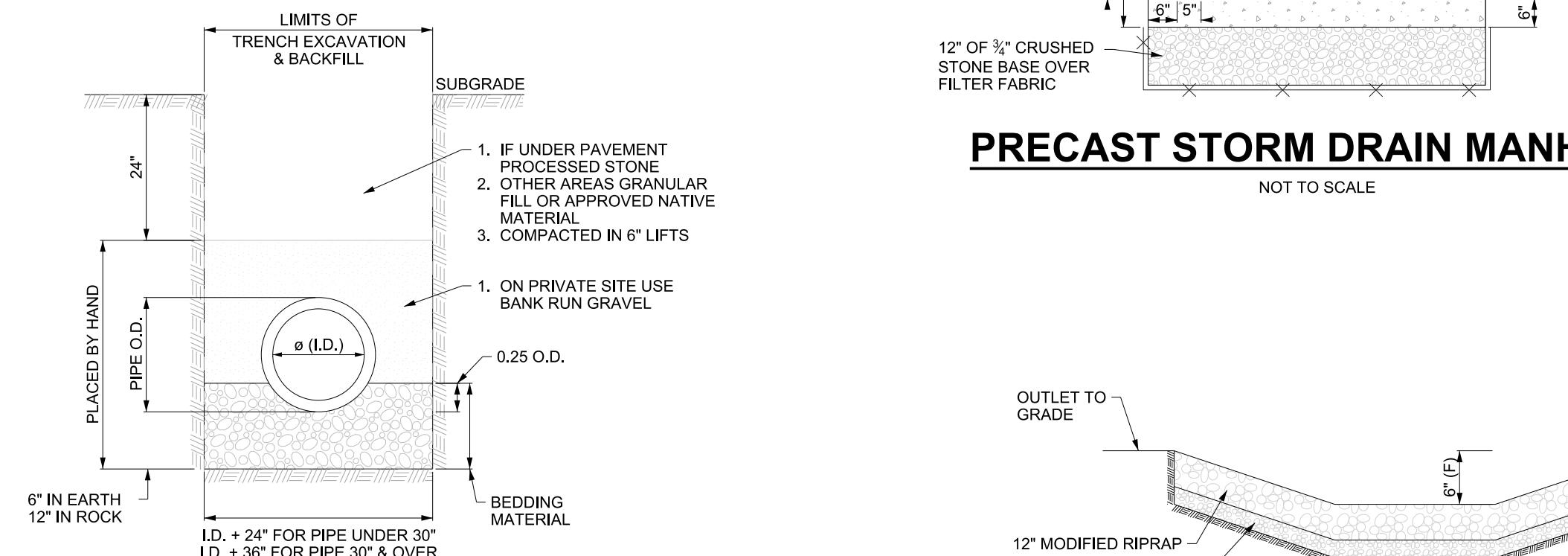
SPILLWAY DETAIL



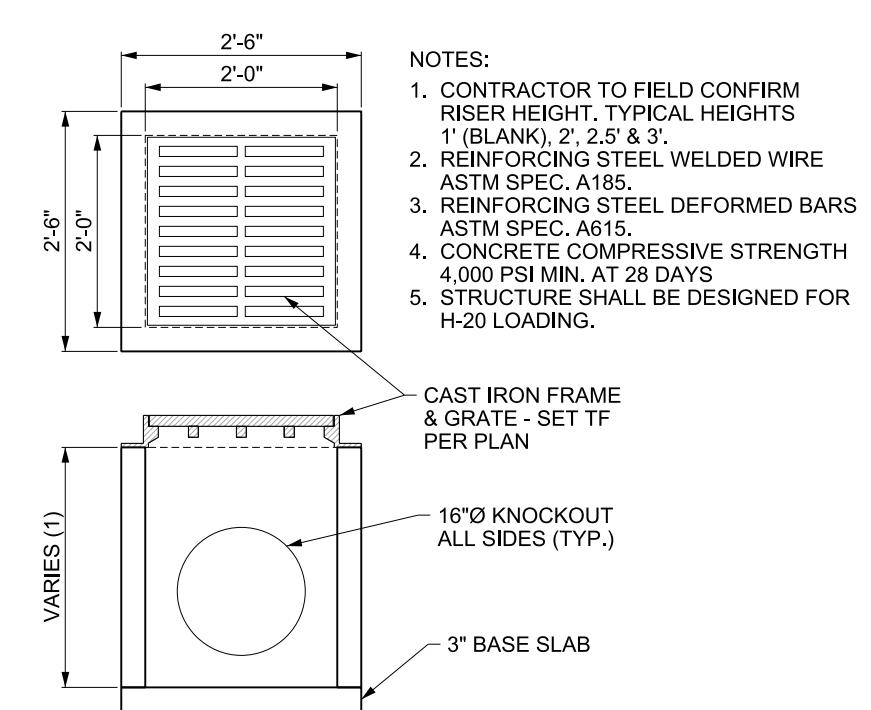
DETENTION BASIN BERM



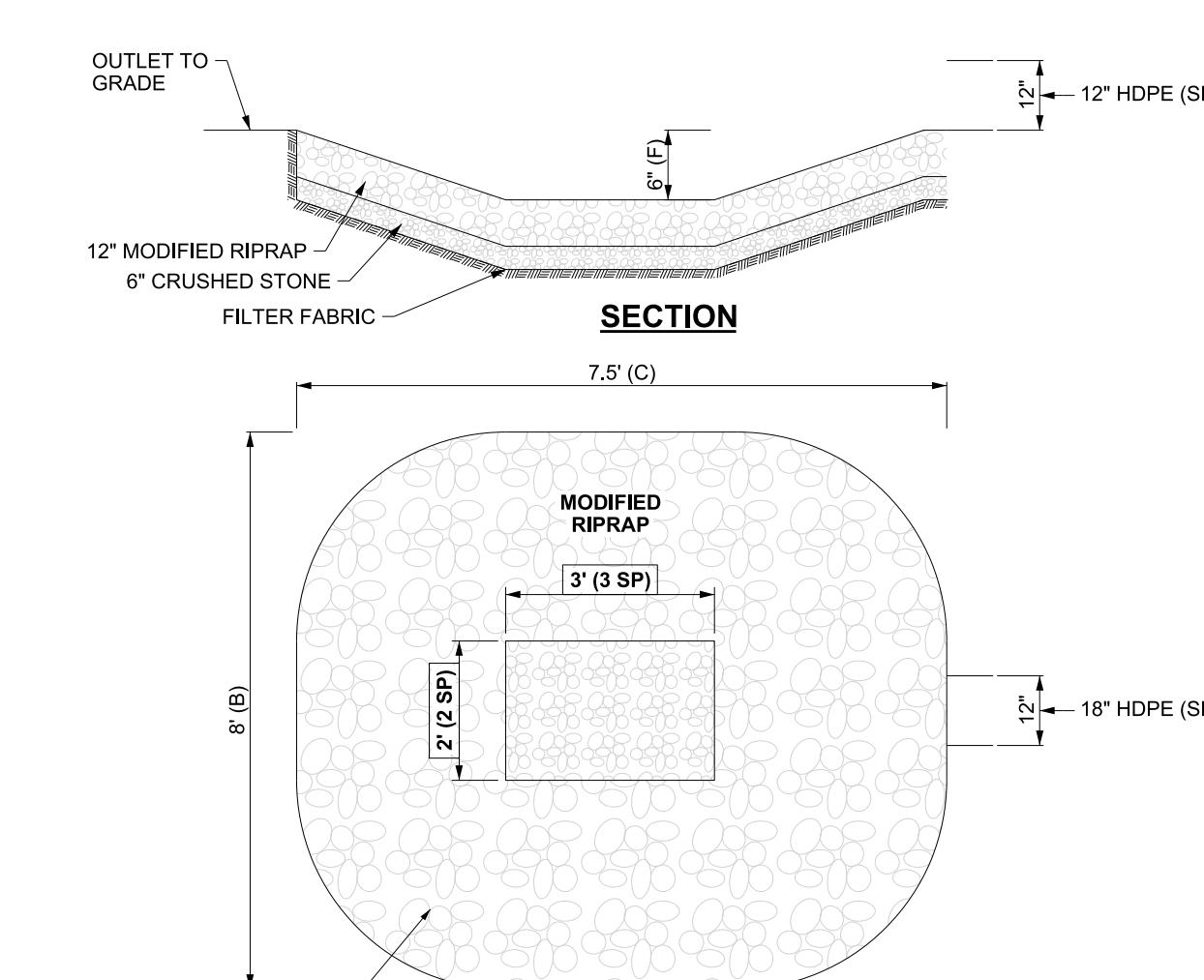
PRECAST STORM DRAIN MANHOLE



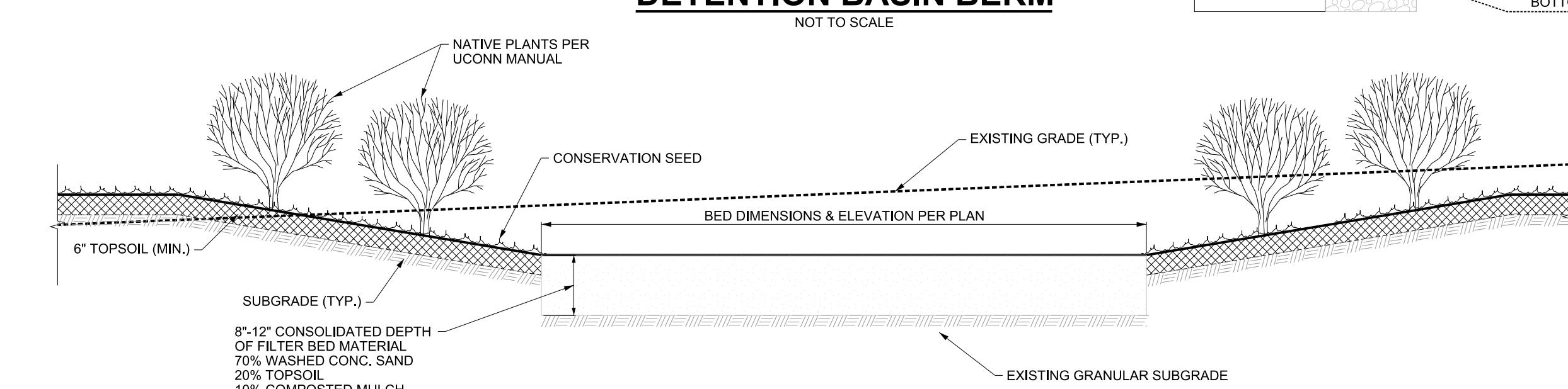
TRENCHING & BACKFILLING



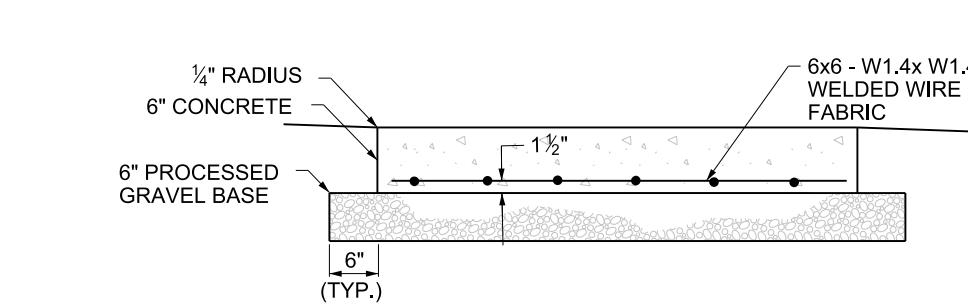
YARD DRAIN



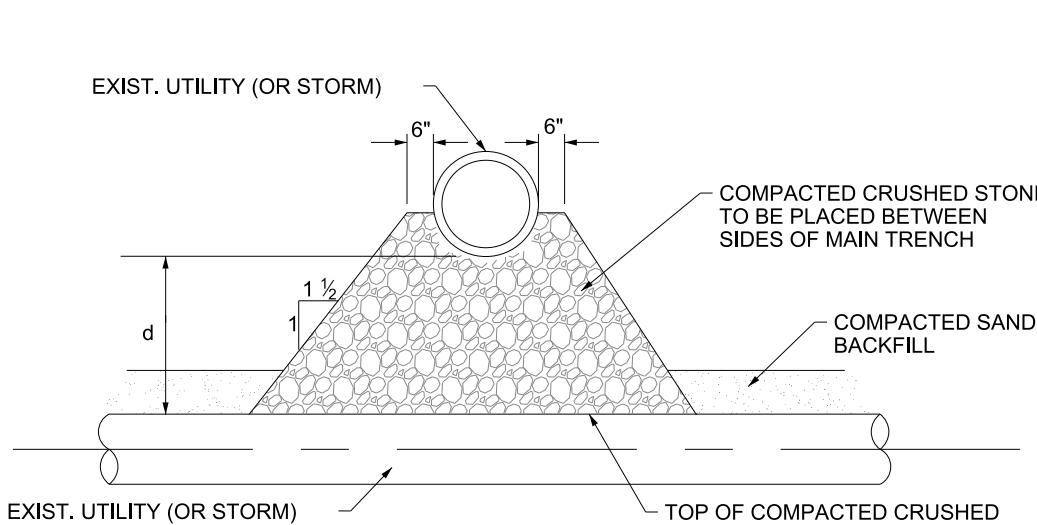
PREFORMED SCOUR HOLE (TYPE 2)



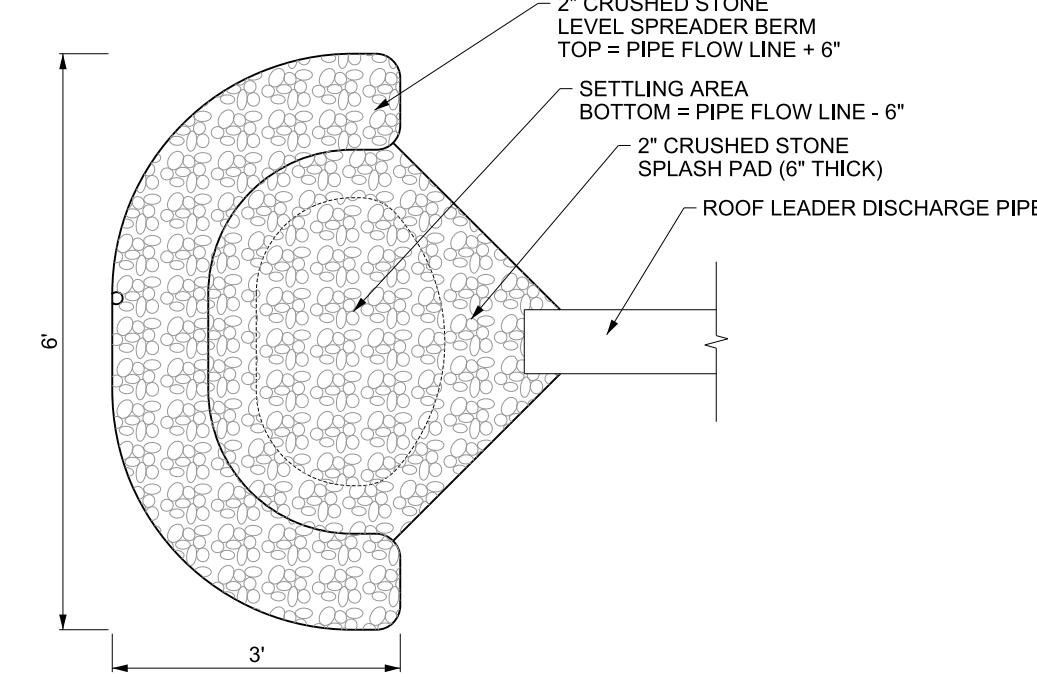
RAIN GARDEN TYPICAL SECTION



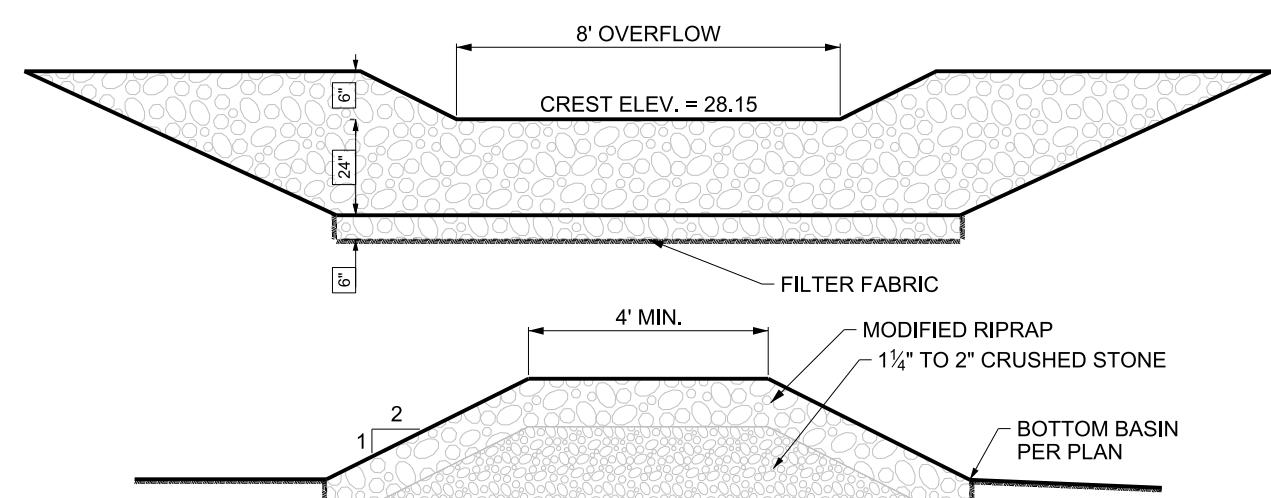
TRANSFORMER PAD



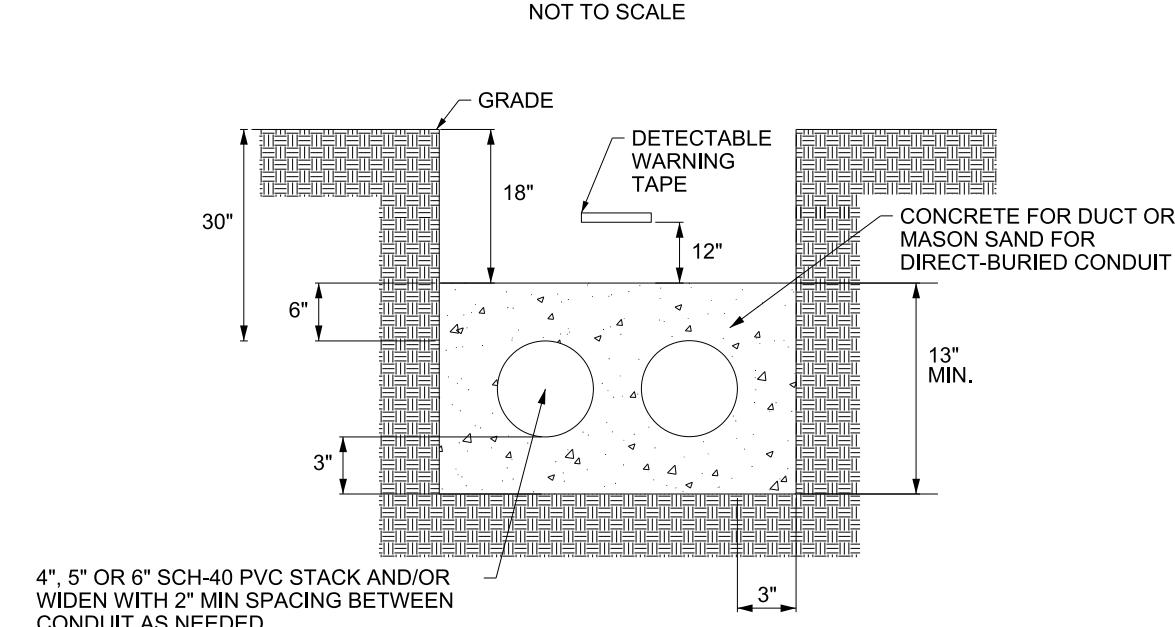
TYPE A (D ≥ 12")



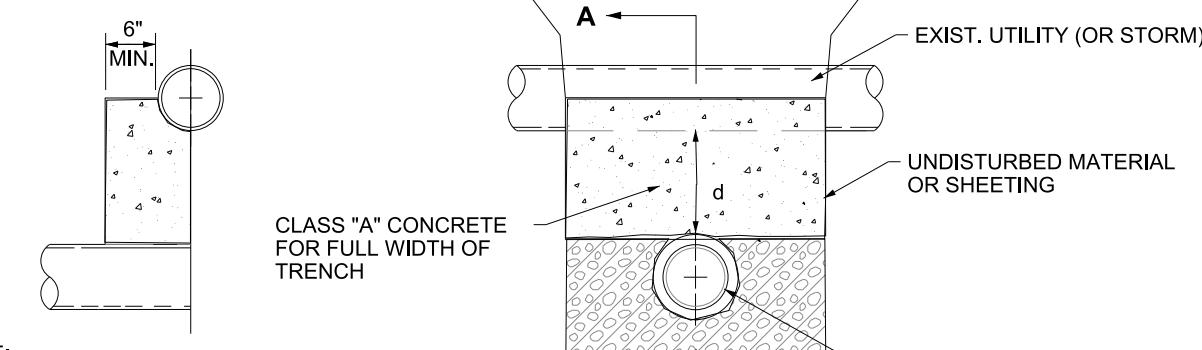
ROOF LEADER SPLASH PAD



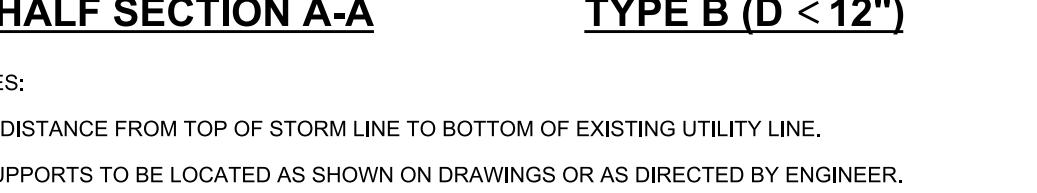
SEDIMENT FOREBAY FILTER BERM



**TYPICAL U/G CONDUIT
OR DUCT BANK**



HALF SECTION A-A



TYPE B (D < 12")

NOTES:
1. d=DISTANCE FROM TOP OF STORM LINE TO BOTTOM OF EXISTING UTILITY LINE.
2. SUPPORTS TO BE LOCATED AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.

TYPICAL SUPPORT FOR UTILITIES

SCALE: AS SHOWN



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PROFESSIONAL SEAL

PROJECT NUMBER:

00146 - 001

REVISION SUMMARY

SHEET 8 OF 9

DATE 1/13/26 PER TOWN COMMENTS

DATE 9/29/25

REVISED 1/13/26

**PARKERS PLACE
MULTI-FAMILY DEVELOPMENT**
PREPARED FOR
PARKERS PLACE, LLC, OWNER / APPLICANT
DRAINAGE & UTILITY DETAILS

PARK PLACE (MAP 11.1, LOT 11)
EAST LYME, CT

