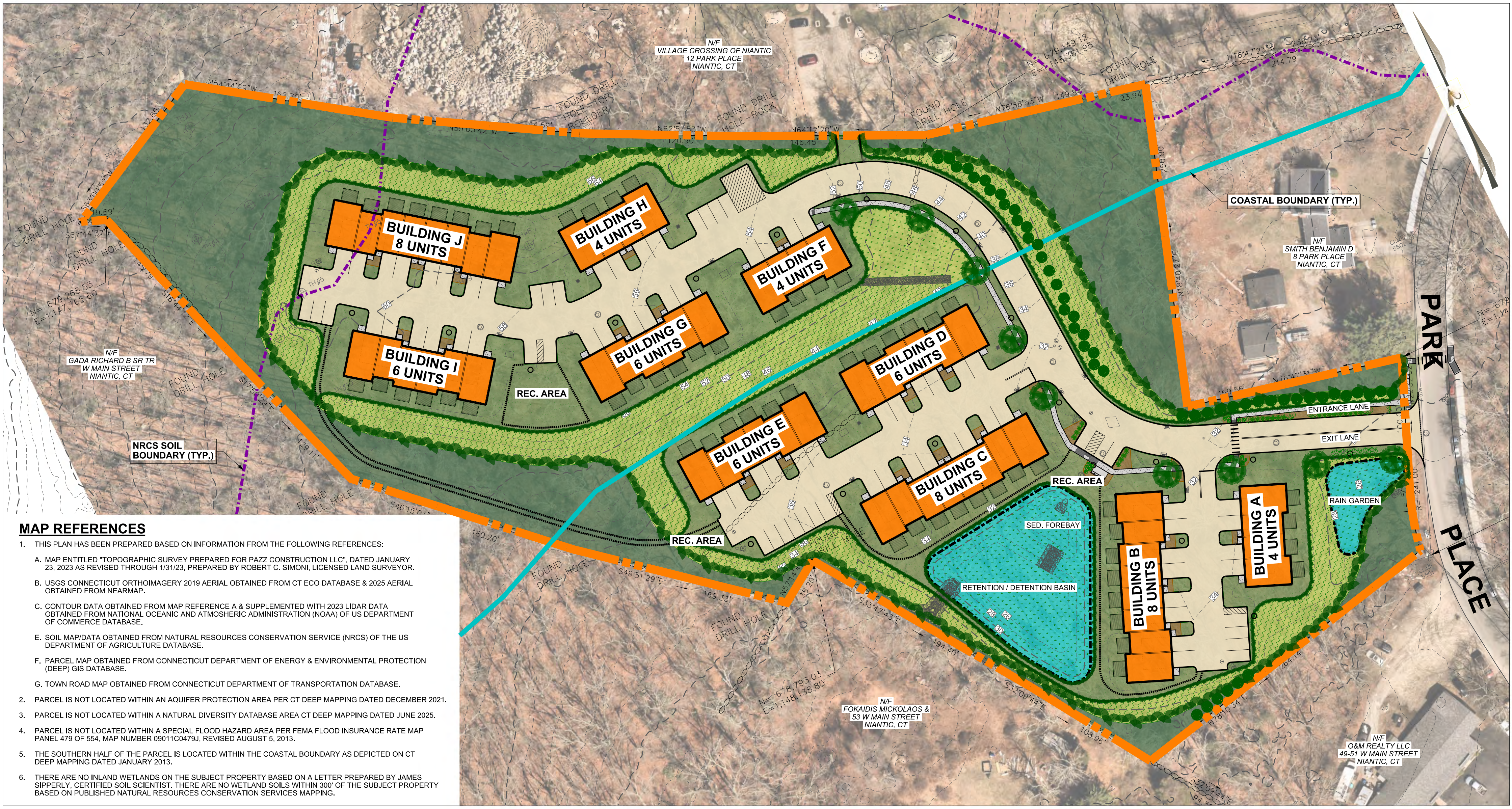
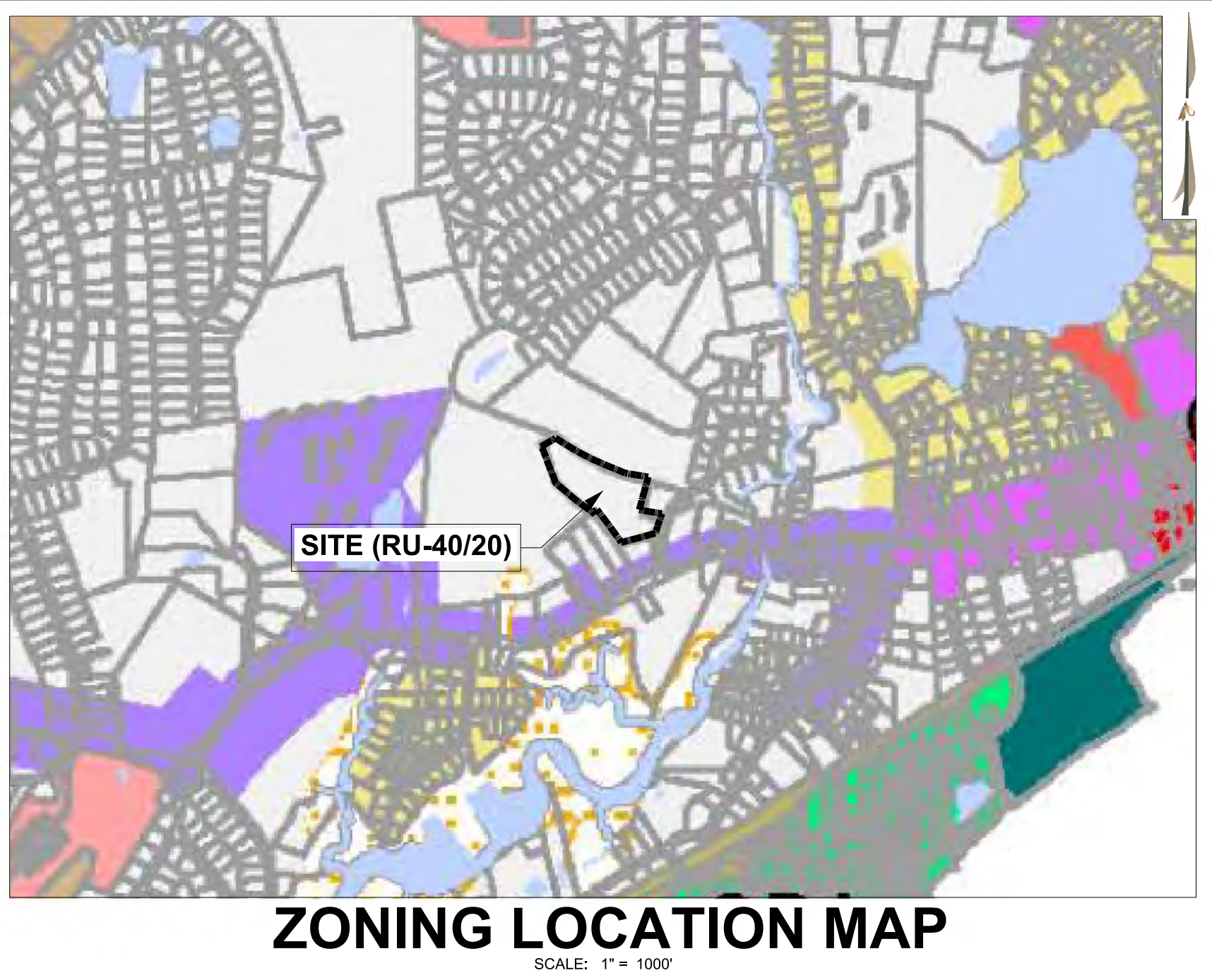
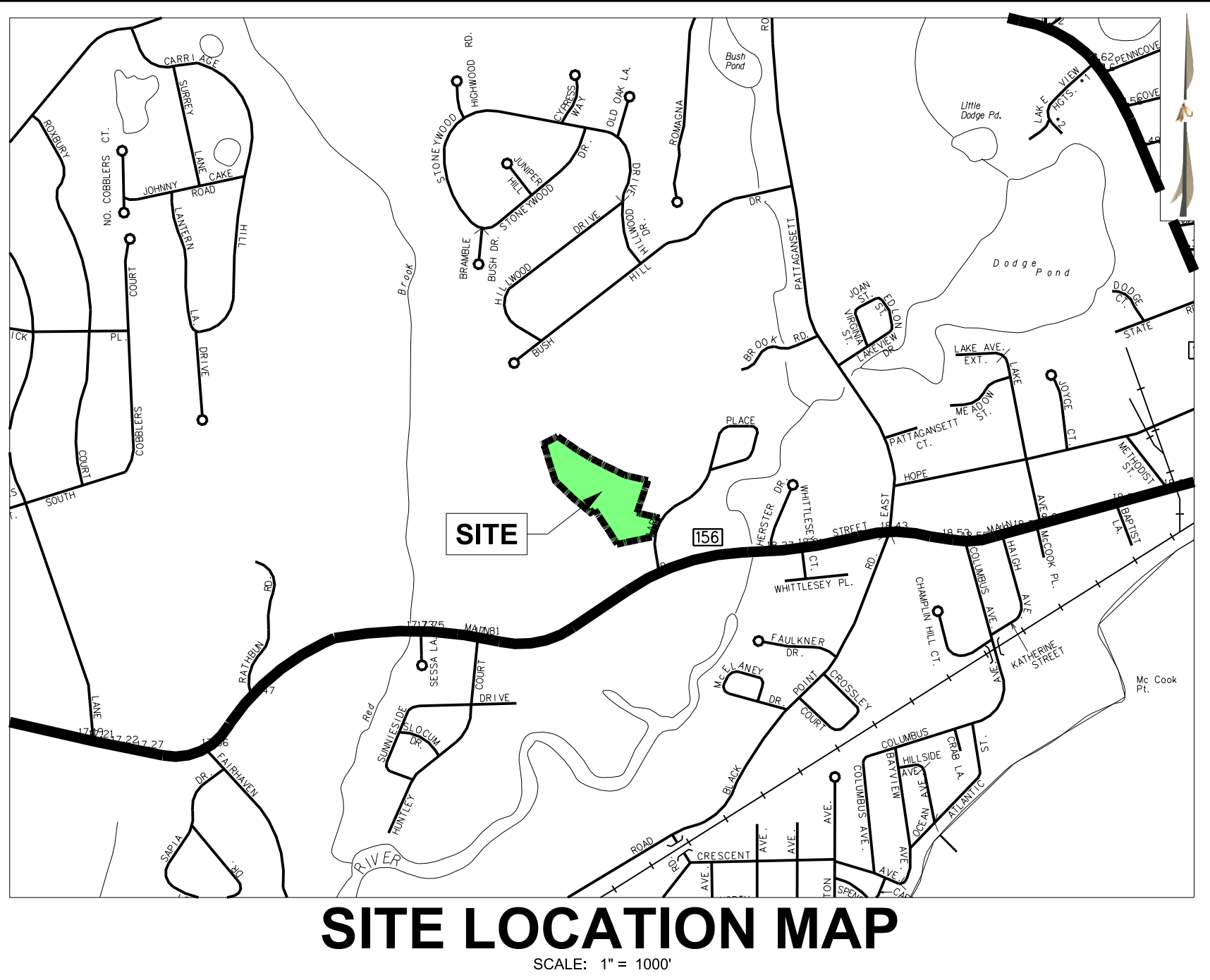


PARKERS PLACE
MULTI-FAMILY DEVELOPMENT
PARK PLACE (MAP 11.1, LOT 11)
EAST LYME, CONNECTICUT

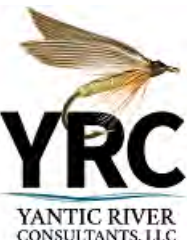
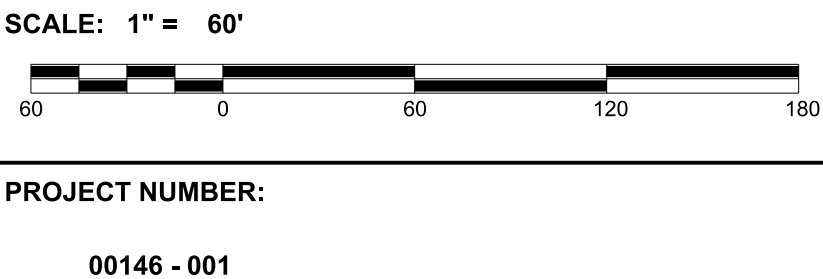
PREPARED FOR

OWNER / APPLICANT
PARKERS PLACE LLC
PO BOX 817
EAST LYME, CT 06333



INDEX OF SHEETS

DESCRIPTION	SHEET NUMBER
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PARKERS PLACE MULTI-FAMILY DEVELOPMENT		REVISION SUMMARY	SHEET
PREPARED FOR PARKERS PLACE LLC, OWNER / APPLICANT TITLE SHEET		DATE DESCRIPTION 1/13/26 PER TOWN COMMENTS	1 OF 9
			DATE 9/29/25
			REVISED 1/13/26

PARK PLACE (MAP 11.1, LOT 11) EAST LYME, CT



ZONING TABLE			
ZONE: SUBURBAN USE ZONING DISTRICT (RU-40/20)			
USE:	REQUIRED (RU-40/20)	PROPOSED	NOTES
LOT AREA:	40,000 SF (0.92 AC)	304,715 SF (6.98 AC)	C.G.S. SEC. 8-30G
FRONTAGE:	150 FT	150 FT	COMPLIES
FRONT YARD (RU-40):	50 FT	95.11 FT	COMPLIES
FRONT YARD (R-20):	40 FT	95.11 FT	COMPLIES
SIDE YARD (RU-40):	30 FT	37.62 FT	COMPLIES
SIDE YARD (R-20):	20 FT	37.62 FT	COMPLIES
REAR YARD (RU-40):	30 FT	145.88 FT	COMPLIES
REAR YARD (R-20):	20 FT	145.88 FT	COMPLIES
COVERAGE (RU-40):	15%	12.4% (37,680 SF)	COMPLIES
COVERAGE (R-20):	20%	12.4% (37,680 SF)	COMPLIES
BUILDING HEIGHT:	30 FT	SEE ARCH.	SEE ARCH.

PARKING TABLE					
USE:	MULTI-FAMILY APARTMENTS				
DWELLING	STANDARD	UNIT	REQUIRED	PROVIDED	NOTES
2-BEDROOM+ GARAGE DRIVEWAY	2.0 PER UNIT	60	120	120	COMPLIES
GUEST TOTAL	1 PER 3 UNITS	60	20	26	COMPLIES
ACCESSIBLE	101-150 SPACES	146	5	5 (1 VAN)	COMPLIES

- PARKING NOTES:
- THE INDIVIDUAL UNIT LEASES SHALL PROHIBIT THE STORAGE OR PARKING OF NON-PASSENGER VEHICLES, COMMERCIAL VEHICLES, BOATS, TRAILERS, AND/OR RECREATION VEHICLES ON THE SITE.

- PARK PLACE R.O.W. NOTES**
- ALL WORK WITHIN THE PARK PLACE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF EAST LYME PUBLIC IMPROVEMENT STANDARDS AS APPLICABLE.
 - A RIGHT-OF-WAY / DRIVEWAY PERMIT SHALL BE OBTAINED FROM THE TOWN OF EAST LYME PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING WORK.

- GENERAL SITE NOTES**
- ALL WORK ON THE PRIVATE SITE SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND/OR AS REQUIRED BY THE TOWN OF EAST LYME REGULATIONS WHERE APPLICABLE.
 - ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OUTSIDE FACE OF THE BUILDING OR OTHER LIMITS AS DEPICTED ON THE PLAN.
 - THE PROPOSED PARKING FACILITIES ARE GENERALLY PERPENDICULAR TO OR PARALLEL WITH THE PROPOSED BUILDING(S), EDGE OF PAVEMENT, OR AS DEPICTED ON THE PLAN.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION, BE RESPONSIBLE FOR ALL FIELD DIMENSIONS, AND REPORT DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS TO THE OWNER.
 - CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM EXISTING TO PROPOSED FEATURES.
 - ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ADJUTS THOSE AREAS.
 - CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH OR EROSION CONTROL BLANKET WHERE GRASS SEED HAS BEEN PLACED. SEED SHALL BE APPLIED AT THE MINIMUM RATE RECOMMENDED BY THE MANUFACTURER.
 - CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH FORM 818 OR THE TOWN OF EAST LYME STANDARDS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
 - CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PAVEMENT/CONCRETE EDGES WITH GRANULAR BACKFILL.
 - ALL PAINT STRIPING SHALL BE 4" TRAFFIC PAINT IN ACCORDANCE WITH FORM 818 AND SHALL BE WHITE OR YELLOW AS DEPICTED ON THE PLANS.
 - CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR HANDICAPPED ACCESSIBLE PARKING SPACE DIMENSIONS, STRIPING AND SIGNAGE REQUIREMENTS.

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES, PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR AND THIS PLAN SET MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" 1-800-922-4455, IN ACCORDANCE WITH CBYD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

LEGEND	
	EDGE PAVEMENT W/ CURB
	SAWCUT PAVEMENT
	CONCRETE WALK
	CONCRETE WALK/CURB MONO.
	DRAINAGE PIPE
	ROOF LEADER
	CURBS/SLOPE/WALL DRAIN
	SANITARY SEWER
	WATER
	GAS SERVICE
	ELECTRIC
	TELECOMMUNICATIONS
	POLE MOUNTED LIGHT FIXTURE
	BUILDING LIGHT (FULL CUTOFF)
	HANDICAP PARKING MARKING
	(A) BITUMINOUS CONCRETE DRIVE
	(B) PARKING STRIPING (4" WHITE)
	(C) LANE STRIPING (4" YELLOW)
	(D) CROSSWALK (16" WHITE)
	(E) STOP BAR (12" WHITE)
	(F) CONCRETE CURB/WALK MONO. (5)
	(G) CONCRETE SIDEWALK (4)
	(H) CONCRETE SIDEWALK (PUBLIC)
	(I) HANDICAP RAMP (12H:1V MAX.)
	(J) HANDICAP PARKING SIGNING
	(K) CURB (START/END)
	(L) MAIL PAD
	(M) BUS STOP PAD
	(N) STOP SIGN

SCALE: 1" = 30'

PROJECT NUMBER: 00146 - 001

YRC
YANTIC RIVER CONSULTANTS, LLC

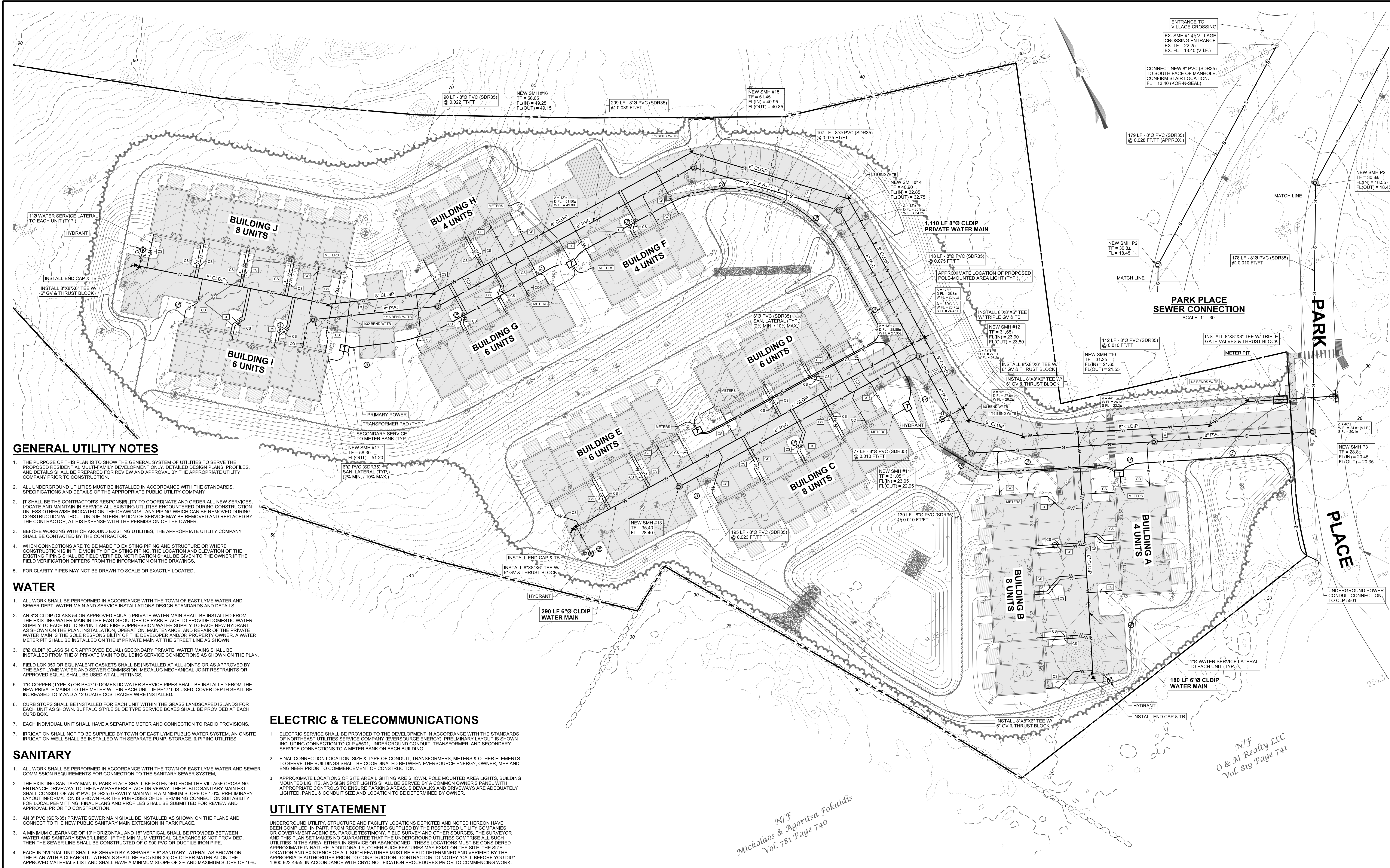
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PROFESSIONAL SEAL

*N/F
Mickolaos & Agoritsa Fokaidis
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**PARKERS PLACE
MULTI-FAMILY DEVELOPMENT**
PREPARED FOR
PARKERS PLACE LLC, OWNER / APPLICANT
DEVELOPMENT LAYOUT PLAN

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	2 OF 9
1/13/26	PER TOWN COMMENTS	
DATE		
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REVISD		
1/13/26		



GENERAL UTILITY NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GENERAL SYSTEM OF UTILITIES TO SERVE THE PROPOSED RESIDENTIAL MULTI-FAMILY DEVELOPMENT ONLY. DETAILED DESIGN PLANS, PROFILES, AND DETAILS SHALL BE PREPARED FOR REVIEW AND APPROVAL BY THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION.
2. ALL UNDERGROUND UTILITIES MUST BE INSTALLED WITH THE STANDARDS, SPECIFICATIONS AND DETAILS OF THE APPROPRIATE PUBLIC UTILITY COMPANY.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND ORDER ALL NEW SERVICES, LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
3. BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPROPRIATE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
4. WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURE OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING, THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED. NOTIFICATION SHALL BE GIVEN TO THE OWNER IF THE FIELD VERIFICATION DIFFERS FROM THE INFORMATION ON THE DRAWINGS.
5. FOR CLARITY PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.

WATER

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF EAST LYME WATER AND SEWER DEPT. WATER MAIN AND SERVICE INSTALLATIONS DESIGN STANDARDS AND DETAILS.
2. AN 8" COLDIP (CLASS 54 OR APPROVED EQUAL) PRIVATE WATER MAIN SHALL BE INSTALLED FROM THE EXISTING WATER MAIN IN THE EAST SHOULDER OF PARK PLACE TO PROVIDE DOMESTIC WATER SUPPLY TO EACH BUILDING/UNIT AND FIRE SUPPRESSION WATER SUPPLY TO EACH NEW HYDRANT AS SHOWN ON THE PLAN. INSTALLATION, OPERATION, MAINTENANCE, AND REPAIR OF THE PRIVATE WATER MAIN IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNER. A WATER METER PIT SHALL BE INSTALLED ON THE 8" PRIVATE MAIN AT THE STREET LINE AS SHOWN.
3. 6" COLDIP (CLASS 54 OR APPROVED EQUAL) SECONDARY PRIVATE WATER MAINS SHALL BE INSTALLED FROM THE 8" PRIVATE MAIN TO BUILDING SERVICE CONNECTIONS AS SHOWN ON THE PLAN.
4. FIELD LOK 350 OR EQUIVALENT GASKETS SHALL BE INSTALLED AT ALL JOINTS OR AS APPROVED BY THE EAST LYME WATER AND SEWER COMMISSION. MEGALUG MECHANICAL JOINT RESTRAINTS OR APPROVED EQUAL SHALL BE USED AT ALL FITTINGS.
5. 1" COPPER (TYPE K) OR PE4710 DOMESTIC WATER SERVICE PIPES SHALL BE INSTALLED FROM THE NEW PRIVATE MAINS TO THE METER WITHIN EACH UNIT. IF PE4710 IS USED, COVER DEPTH SHALL BE INCREASED TO 5' AND A 12 GAUGE CCS TRACER WIRE INSTALLED.
6. CURB STOPS SHALL BE INSTALLED FOR EACH UNIT WITHIN THE GRASS LANDSCAPED ISLANDS FOR EACH UNIT AS SHOWN. BUFFALO STYLE SLIDE TYPE SERVICE BOXES SHALL BE PROVIDED AT EACH CURB BOX.
7. EACH INDIVIDUAL UNIT SHALL HAVE A SEPARATE METER AND CONNECTION TO RADIO PROVISIONS.
7. IRRIGATION SHALL NOT TO BE SUPPLIED BY TOWN OF EAST LYME PUBLIC WATER SYSTEM, AN ONSITE IRRIGATION WELL SHALL BE INSTALLED WITH SEPARATE PUMP, STORAGE, & PIPING UTILITIES.

SANITARY

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF EAST LYME WATER AND SEWER COMMISSION REQUIREMENTS FOR CONNECTION TO THE SANITARY SEWER SYSTEM.
2. THE EXISTING SANITARY MAIN IN PARK PLACE SHALL BE EXTENDED FROM THE VILLAGE CROSSING ENTRANCE DRIVEWAY TO THE NEW PARKERS PLACE DRIVEWAY. THE PUBLIC SANITARY MAIN EXT. SHALL CONSIST OF AN 8" PVC (SDR35) GRAVITY MAIN WITH A MINIMUM SLOPE OF 1.0%. PRELIMINARY LAYOUT INFORMATION IS SHOWN FOR THE PURPOSES OF DETERMINING CONNECTION SUITABILITY FOR LOCAL PERMITTING. FINAL PLANS AND PROFILES SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
3. AN 8" PVC (SDR-35) PRIVATE SEWER MAIN SHALL BE INSTALLED AS SHOWN ON THE PLANS AND CONNECT TO THE NEW PUBLIC SANITARY MAIN EXTENSION IN PARK PLACE.
3. A MINIMUM CLEARANCE OF 10' HORIZONTAL AND 18" VERTICAL SHALL BE PROVIDED BETWEEN WATER MAIN AND SANITARY SEWER LINES. IF THE MINIMUM VERTICAL CLEARANCE IS NOT PROVIDED, THEN THE SEWER LINE SHALL BE CONSTRUCTED OF C-800 PVC OR DUCTILE IRON PIPE.
4. EACH INDIVIDUAL UNIT SHALL BE SERVED BY A SEPARATE 6" SANITARY LATERAL AS SHOWN ON THE PLAN WITH A CLEANOUT. LATERALS SHALL BE PVC (SDR-35) OR OTHER MATERIAL ON THE APPROVED MATERIALS LIST AND SHALL HAVE A MINIMUM SLOPE OF 2% AND MAXIMUM SLOPE OF 10%.

ELECTRIC & TELECOMMUNICATIONS

1. ELECTRIC SERVICE SHALL BE PROVIDED TO THE DEVELOPMENT IN ACCORDANCE WITH THE STANDARDS OF NORTHEAST UTILITIES SERVICE COMPANY (EVERSOURCE ENERGY). PRELIMINARY LAYOUT IS SHOWN INCLUDING CONNECTION TO CLP #5501, UNDERGROUND CONDUIT, TRANSFORMER, AND SECONDARY SERVICE CONNECTIONS TO A METER BANK ON EACH BUILDING.
2. FINAL CONNECTION LOCATION, SIZE & TYPE OF CONDUIT, TRANSFORMERS, METERS & OTHER ELEMENTS TO SERVE THE BUILDINGS SHALL BE COORDINATED BETWEEN EVERSOURCE ENERGY, OWNER, MEP AND ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. APPROXIMATE LOCATIONS OF SITE AREA LIGHTING ARE SHOWN. POLE MOUNTED AREA LIGHTS, BUILDING MOUNTED LIGHTS, AND SIGN SPOT LIGHTS SHALL BE SERVED BY A COMMON OWNER'S PANEL WITH APPROPRIATE CONTROLS TO ENSURE PARKING AREAS, SIDEWALKS AND DRIVEWAYS ARE ADEQUATELY LIGHTED. PANEL & CONDUIT SIZE AND LOCATION TO BE DETERMINED BY OWNER.

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES, PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR AND THIS PLAN SET MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" 1-800-922-4455, IN ACCORDANCE WITH CBYD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

SCALE: 1" = 30'

PROJECT NUMBER:
00146-001

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REVISION SUMMARY		SHEET
DATE	DESCRIPTION	4 OF 9
1/13/26	PER TOWN COMMENTS	
DATE		9/29/25
REVISION		1/13/26

PARKERS PLACE
MULTI-FAMILY DEVELOPMENT
PREPARED FOR
PARKERS PLACE LLC, OWNER / APPLICANT
UTILITY PLAN
PARK PLACE (MAP 11.1, LOT 11)
EAST LYME, CT

N/F
Mickolaos & Agoritsa Fokaidis
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N/F
O & M Realty LLC
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GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL PERMITS FOR THE WORK TO BE PERFORMED.
2. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF ALL LOCAL AGENCIES OF THE TOWN OF EAST LYME AND THE STATE OF CONNECTICUT.

SEQUENCE OF CONSTRUCTION:

1. COORDINATE AND COMPLETE A MEETING WITH TOWN AND OWNER, RESPONSIBLE PARTIES TO BE IDENTIFIED AND EMERGENCY PHONE NUMBERS PROVIDED.
2. LIMITS OF CLEARING TO BE STAKED BY LICENSED LAND SURVEYOR, COMPLETE CLEARING (NO GRUBBING) AND INSTALL EROSION CONTROL MEASURES AT THE LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED FOR FIELD CONDITIONS.
3. COMPLETE GRUBBING, REMOVE AND DISPOSE OF STUMPS OFFSITE, STRIP & STOCKPILE TOPSOIL.
4. CONSTRUCT TEMPORARY SILT TRAPS, INCLUDING PLACEMENT OF FILL TO CREATE RETENTION BERM AND EMERGENCY WEIR PER PLAN, CONSTRUCT DIVERSION SWALES.
5. EXCAVATE, PLACE FILL, ROUGH GRADE AND COMPACT SITE IN LISTS TO ACHIEVE SUBGRADE.
6. CONSTRUCT WESTERLY SCREENING BERM AND PLANT SCREENING TREES.
7. INSTALL FOUNDATIONS & ERECT BUILDINGS, BUILDING CONSTRUCTION MAY OCCUR IN SEQUENCE.
8. INSTALL UTILITIES AND STORM DRAINAGE.
9. CONSTRUCT ACCESS DRIVES AND PARKING AREAS.
10. INSTALL CONCRETE SIDEWALKS AND PADS.
11. INSTALL BITUMINOUS CONCRETE BINDER COURSE.
12. REMOVE TEMPORARY SILT TRAP & COLLECTED SEDIMENTS, FINISH GRADE RETENTION/DETENTION BASIN PER PLAN.
13. INSTALL CURBING AND BITUMINOUS CONCRETE FINISH COURSE.
14. FINISH GRADE, SPREAD TOPSOIL, SEED, AND COMPLETE PLANTING.
15. REMOVE EROSION AND SEDIMENTATION CONTROLS WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED, CONTACT TOWN PRIOR TO REMOVAL.

E & S CONTROL NARRATIVE:

THE PROPOSED PROJECT CONSISTS OF A MULTI-FAMILY RESIDENTIAL TOWNHOUSE DEVELOPMENT, CONSISTING OF 60 TOWNHOUSE UNITS WITHIN 10 SEPARATE BUILDINGS. THE GENERAL SCOPE OF SITE WORK IS DESCRIBED ABOVE IN THE CONSTRUCTION SEQUENCE.

APPROXIMATELY 4.9 ACRES OF THE 6.9-ACRE SITE (71%) WILL BE DISTURBED AS PART OF THE FULL DEVELOPMENT. THE PLAN MINIMIZES THE AREA, LIMIT AND TIME SOILS ARE EXPOSED TO RAIN AND WIND AND SUBJECT TO EROSION & SEDIMENTATION, PHASING OF MASS EARTH WORK IS NOT REASONABLE IN ORDER TO ACHIEVE A BALANCED SITE, HOWEVER STABILIZATION OF THE SITE WILL OCCUR IN SEQUENCE AS BUILDINGS AND SURROUNDING AREAS ARE COMPLETED.

THE EROSION & SEDIMENTATION CONTROL NOTES, INSPECTION REQUIREMENTS, PLANS & DETAILS DEPICTED ON THIS SHEET SHALL BE FOLLOWED. IN ADDITION THE FOLLOWING SITE SPECIFIC E&S CONTROL CONCERNS & ISSUES SHALL BE NOTED:

1. PER USDA NRCS SOIL MAPPING, THE SITE MAINLY CONSISTS OF CHARLTON-CHATFIELD COMPLEX SOILS, WHICH HAVE A MODERATE SUSCEPTIBILITY TO SHEET AND RILL EROSION AND A MODERATE TO HIGH SUSCEPTIBILITY TO WIND-BLOWN EROSION. LONG-TERM EXPOSURE OF THESE SOILS SHALL BE AVOIDED. DUST-CONTROL MEASURES SHALL BE EMPLOYED AS REQUIRED, SUCH AS COVERING STOCKPILES OR APPLYING WATER.
2. THE TOPOGRAPHY CONSISTS OF GENTLE TO MODERATE TERRAIN, WITH SLOPES RANGING FROM 2% TO 10% WITHIN THE DEVELOPMENT AREA. THE CONTRACTOR SHALL TAKE CARE TO PRESERVE NATURAL VEGETATION ALONG THE TOP OF CUT SLOPES AND BOTTOM OF FILL SLOPES, MINIMIZE SOIL DISTURBANCE, AND MAINTAIN E&S CONTROLS FOR THE DURATION OF CONSTRUCTION UNTIL DISTURBED AREAS ARE STABILIZED.

E & S CONTROL PLAN:

1. OWNER & PARTY RESPONSIBLE FOR E&S CONTROL PLAN: PARKERS PLACE, LLC. EMERGENCY CONTACT: TO BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMIT.
2. ALL EROSION AND CONTROL MEASURES SHALL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREVER POSSIBLE. E&S MEASURES SHALL BE MOVED AND/OR ADDED TO ACCOMMODATE THE PROGRESSION OF WORK.
3. AN ANTI-TRACKING APRON SHALL BE INSTALLED AT ALL ENTRANCES TO THE SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC. ROAD SURFACES SHALL BE SWEEPED AS REQUIRED.
4. ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE PROTECTED WITH INLET CONTROL FILTER/SILT SACKS AS SHOWN ON THE PLAN THROUGHOUT THE CONSTRUCTION PERIOD. IF REQUIRED, NEW CATCH BASINS ON SITE SHALL BE PROTECTED WITH STRAW WADDLES OR BALES.
5. AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND STOCKPILES OF SOIL.
6. DUST CONTROL MEASURES SHALL BE APPLIED DURING CONSTRUCTION AS REQUIRED.
7. TEMPORARY SILTATION TRAPS (TST) AND DIVERSION SWALES SHALL BE INSTALLED AS NECESSARY DURING SITE CONSTRUCTION. ALL DEWATERING DISCHARGE AND CONSTRUCTION RUNOFF SHALL BE DIRECTED TO THE TST'S. CONSTRUCTION WASTEWATERS SHALL NOT BE DIRECTLY DISCHARGED TO STORM DRAINAGE, THE ROAD, OR ADJACENT PROPERTIES. AT ALL TIMES DURING CONSTRUCTION, THE TST'S AND SWALES SHALL BE MAINTAINED TO CONTROL RUNOFF AND PREVENT SEDIMENT DISCHARGE FROM THE WORK AREAS.

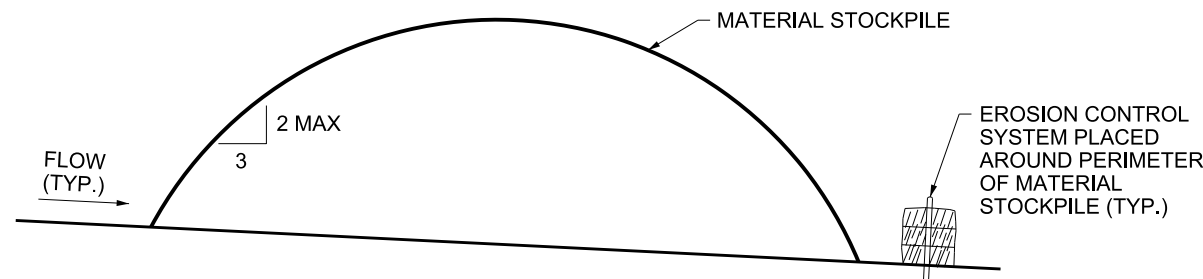
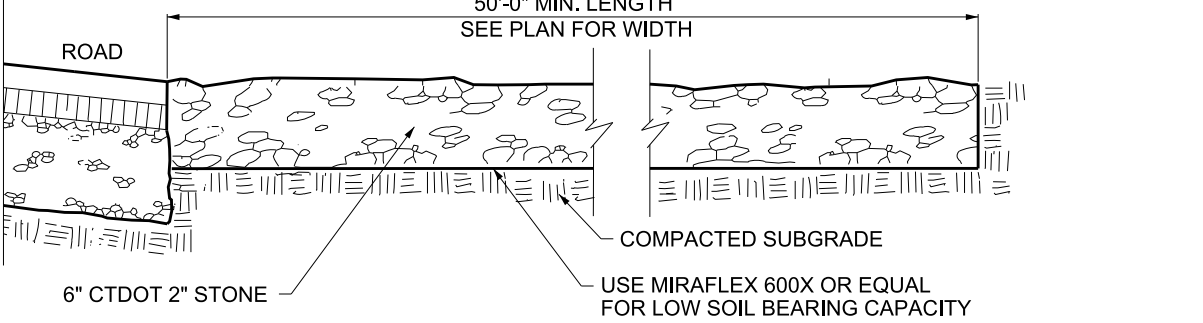
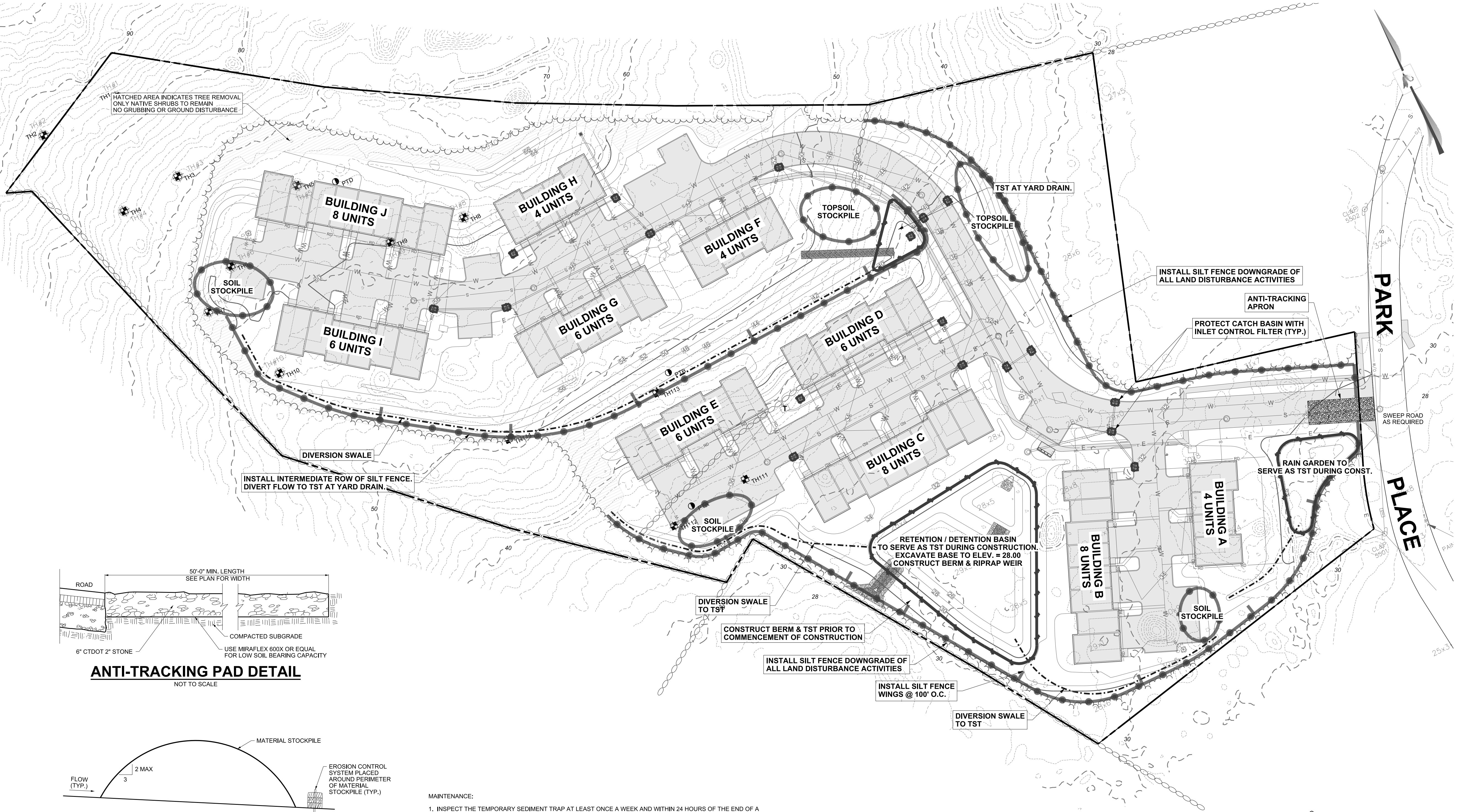
E & S CONTROL NOTES:

1. CONSTRUCTION IS ANTICIPATED TO START IN SPRING 2026 AND BE COMPLETED IN 2028.
2. E&S CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS, OR AS DIRECTED BY THE TOWN.
3. ALL E&S CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2023, AS AMENDED AND THE TOWN OF EAST LYME REGULATIONS.
4. EROSION CONTROL DEVICES SHALL BE MAINTAINED, REPLACED AND/OR ADDED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR REQUIRED BY THE ENGINEER OR TOWN.
5. SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL E&S CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER OR TOWN.
7. ALL DISTURBED AREAS ARE TO BE RAKED, SEEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPEC. IN CTDOT FORM 818.
8. AREAS OUTSIDE OF IMPERVIOUS AREAS TO RECEIVE A MINIMUM 4" OF TOPSOIL.
9. THE FOLLOWING DATES FOR SEEDING SHALL BE USED:
SPRING: APRIL 15 TO JUNE 15, FALL: AUGUST 15 TO SEPTEMBER 15
10. GRASS SEED MIXTURES SHALL BE TALL FESCUE BLEND APPLIED AT A RATE NO LESS THAN 100LBS PER ACRE OR AS RECOMMENDED BY MANUFACTURER.
11. TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS APPLIED AT A RATE OF 100 LBS. PER ACRE.

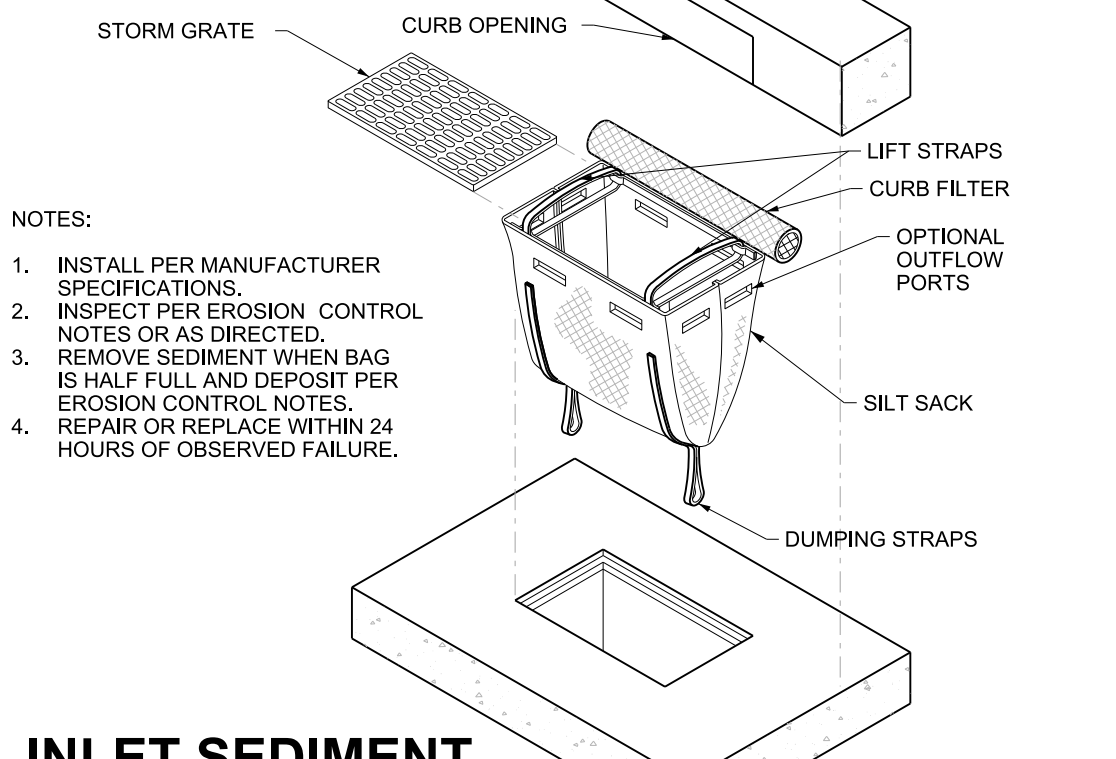
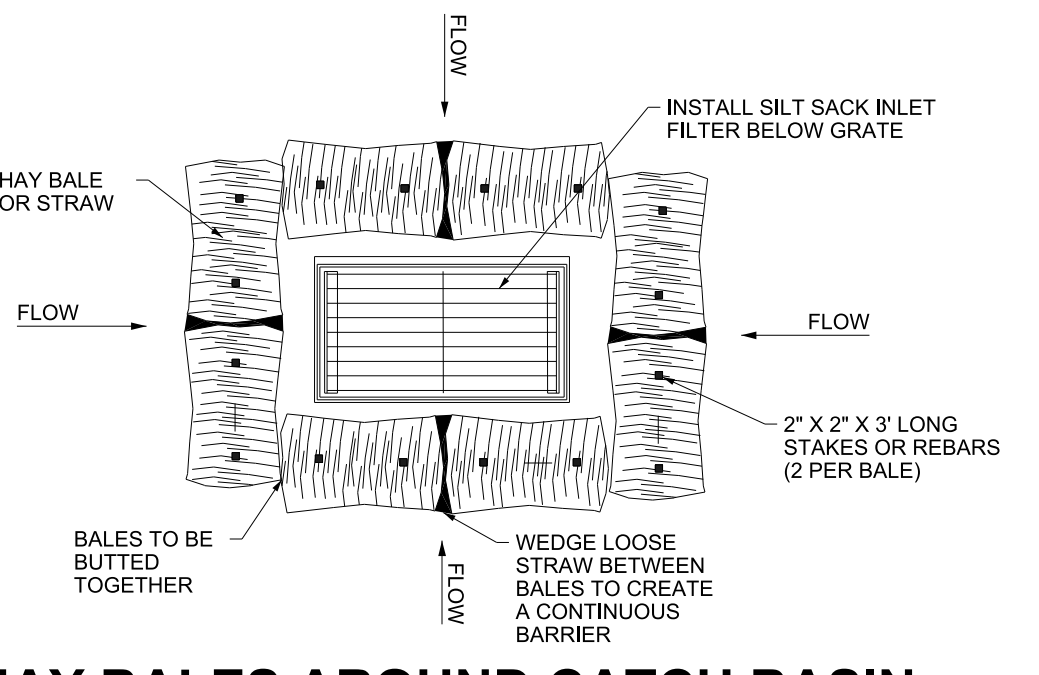
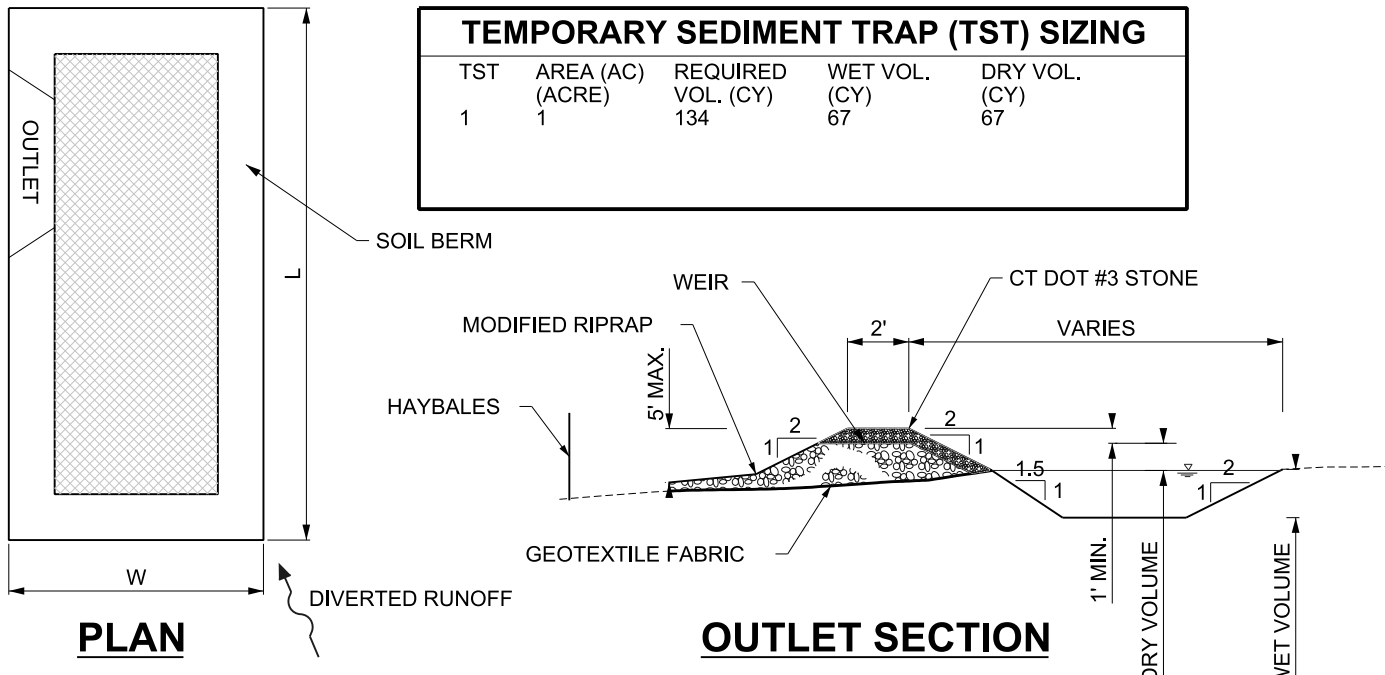
INSPECTION AND MAINTENANCE:

REGULAR INSPECTION AND MAINTENANCE IS CRITICAL FOR THE EFFECTIVENESS OF E&S CONTROLS. THE RESPONSIBLE PARTY SHALL IMPLEMENT THE FOLLOWING THROUGHOUT THE CONSTRUCTION PERIOD UNTIL THE SITE IS STABILIZED.

1. THE RESPONSIBLE PARTY SHALL PERFORM ROUTINE INSPECTIONS BASED ON THE FOLLOWING.
2. PRIOR TO A MAJOR STORM IN WHICH THE NOAA ISSUES WARNINGS OF FLOODING, SEVERE WEATHER CONDITIONS OR EFFECTS, ALL E&S CONTROLS SHALL BE INSPECTED, MAINTAINED, REPAIRED AND/OR CLEANED TO ENSURE THEY ARE IN PROPER WORKING ORDER.
3. ALL E&S CONTROLS SHALL BE INSPECTED, REPAIRED, AND CLEANED IF NECESSARY WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES.
4. ALL STORMWATER STRUCTURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES AND CLEANED AS FOLLOWS:
A. CATCH BASINS - REMOVE COLLECTED SEDIMENT @ ½ DEPTH OF SUMP
B. SWALES - REMOVE COLLECTED SEDIMENT @ ½ DEPTH
C. DEWATERING BASINS - REMOVE COLLECTED SEDIMENT @ ½ CAPACITY
5. ROUTINE INSPECTION AND MAINTENANCE SCHEDULE:
A. INSPECT ROAD DAILY AND SWEEP/REMOVE TRACKED MATERIALS AS REQUIRED
B. TEMPORARY CONTROLS SHALL BE INSPECTED WEEKLY AND CLEANED:
I. ANTI-TRACKING APRON - REFILL OR REPLACE STONE AS REQUIRED
II. SILT FENCE - REMOVE COLLECTED SEDIMENT @ ½ THE HEIGHT (MAX.)
III. SILT SACKS - CLEAN PER MANUFACTURER'S RECOMMENDATIONS
IV. STRAW BALES - REMOVE COLLECTED SEDIMENT @ ½ THE HEIGHT (MAX.)
6. ALL STORMWATER STRUCTURES SHALL BE CLEANED AFTER REMOVAL OF E&S CONTROLS.



- MAINTENANCE:
1. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER.
 2. DEWATER, REMOVE SEDIMENTS AND RESTORE BASIN TO ORIGINAL DIMENSIONS WHEN SEDIMENTS ACCUMULATED TO ½ WET STORAGE VOLUME.
 3. THE TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.
 4. ALL PROPOSED SEDIMENT TRAPS SHALL BE CONSTRUCTED ACCORDING TO THE 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL REQUIREMENTS.



SCALE: 1" = 40'

PROJECT NUMBER: 00146 - 001

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PROFESSIONAL SEAL

PARKERS PLACE MULTI-FAMILY DEVELOPMENT

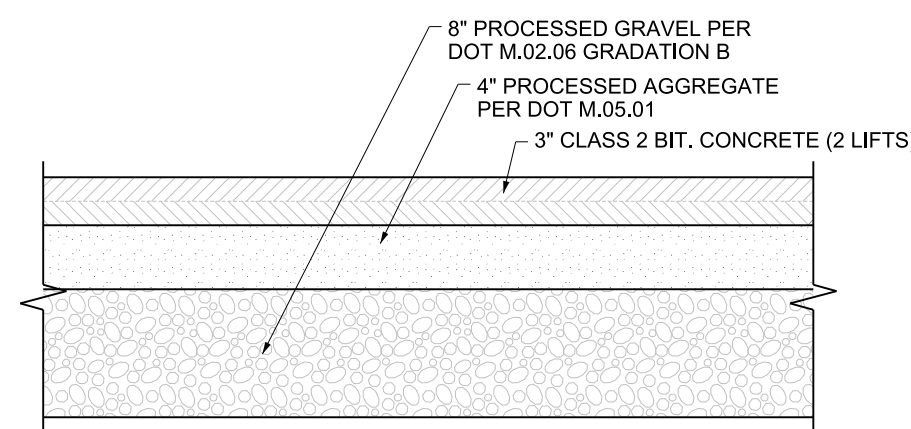
PREPARED FOR
PARKERS PLACE LLC, OWNER / APPLICANT

EROSION & SEDIMENTATION CONTROL PLAN

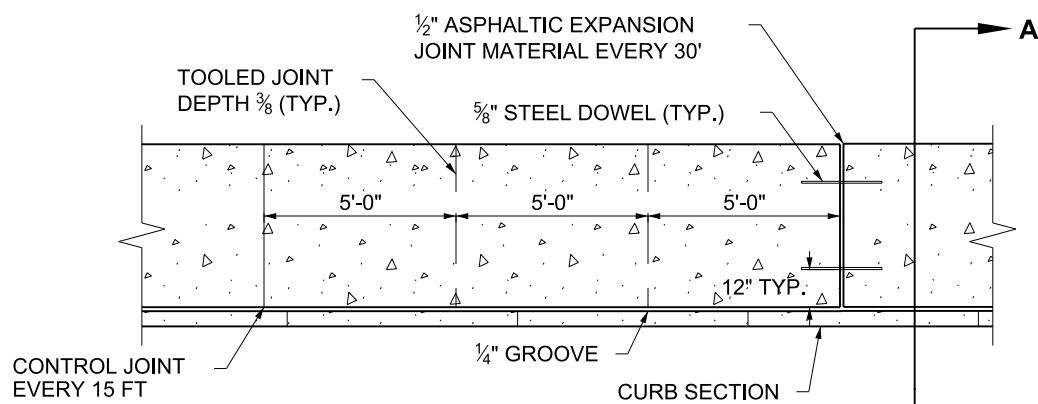
PARK PLACE (MAP 11.1, LOT 11)

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	
1/13/26	PER TOWN COMMENTS	5 OF 9
		DATE
		9/29/25
		REVISED
		1/13/26



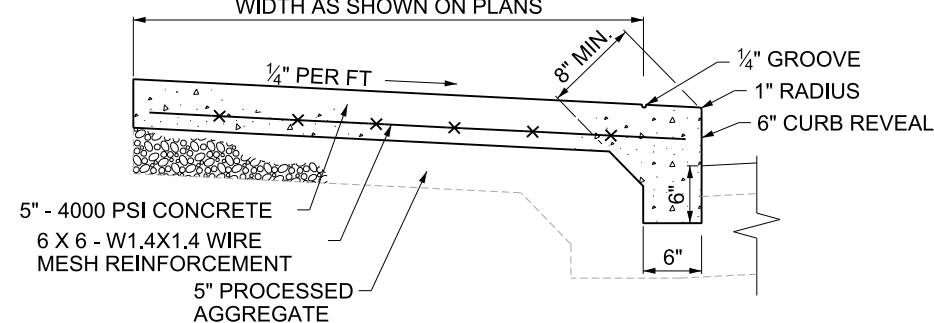


BITUMINOUS PAVEMENT
NOT TO SCALE



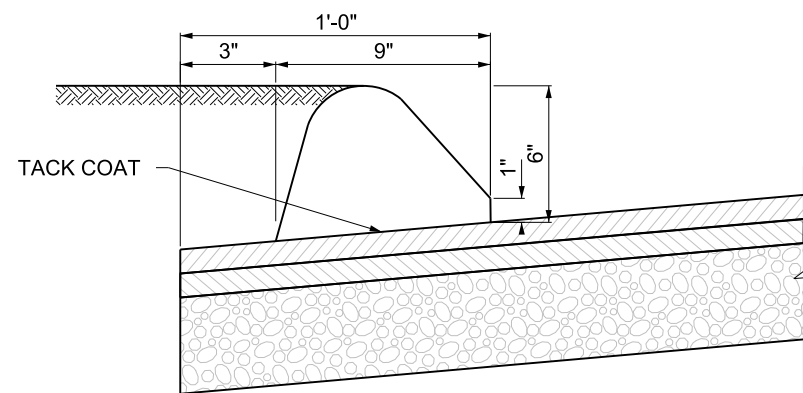
PLAN

CURB SECTION



SECTION A-A

CONCRETE SIDEWALK AND CURB MONOLITHIC
NOT TO SCALE

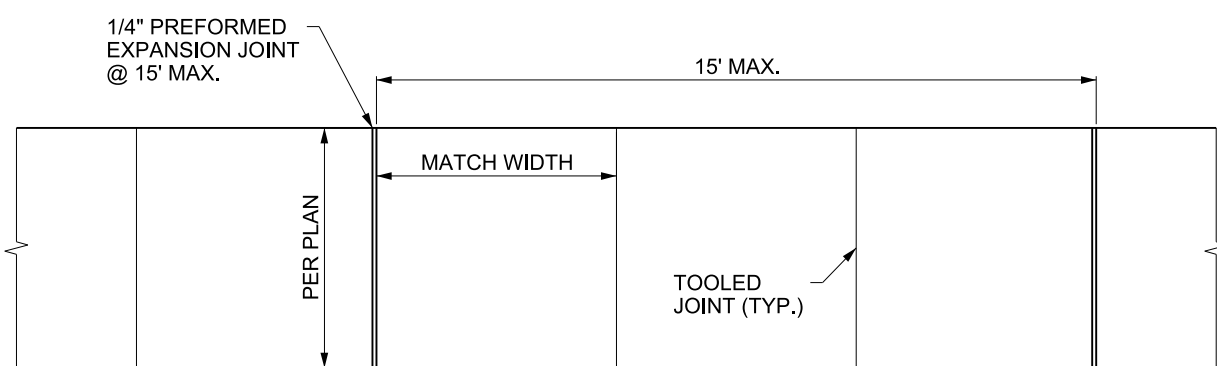


SECTION

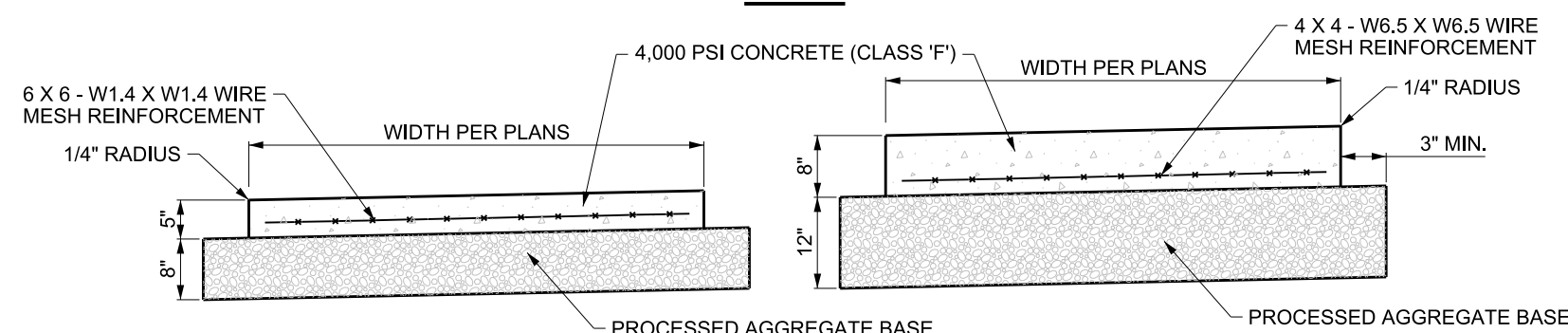
NOTES:

1. CURBING SHALL BE MACHINE EXTRUDED.

BITUMINOUS CONCRETE CURB (BCLC)
NOT TO SCALE



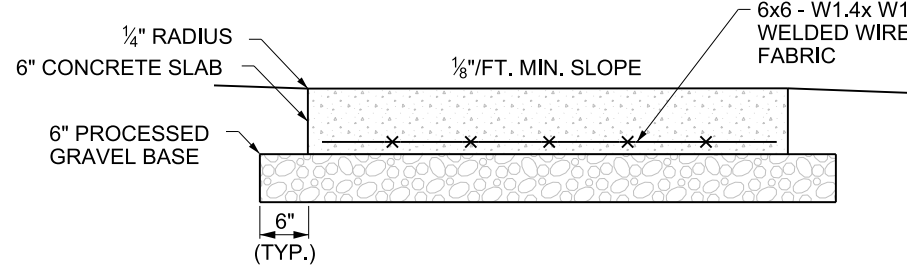
PLAN



SECTION (TYPICAL)

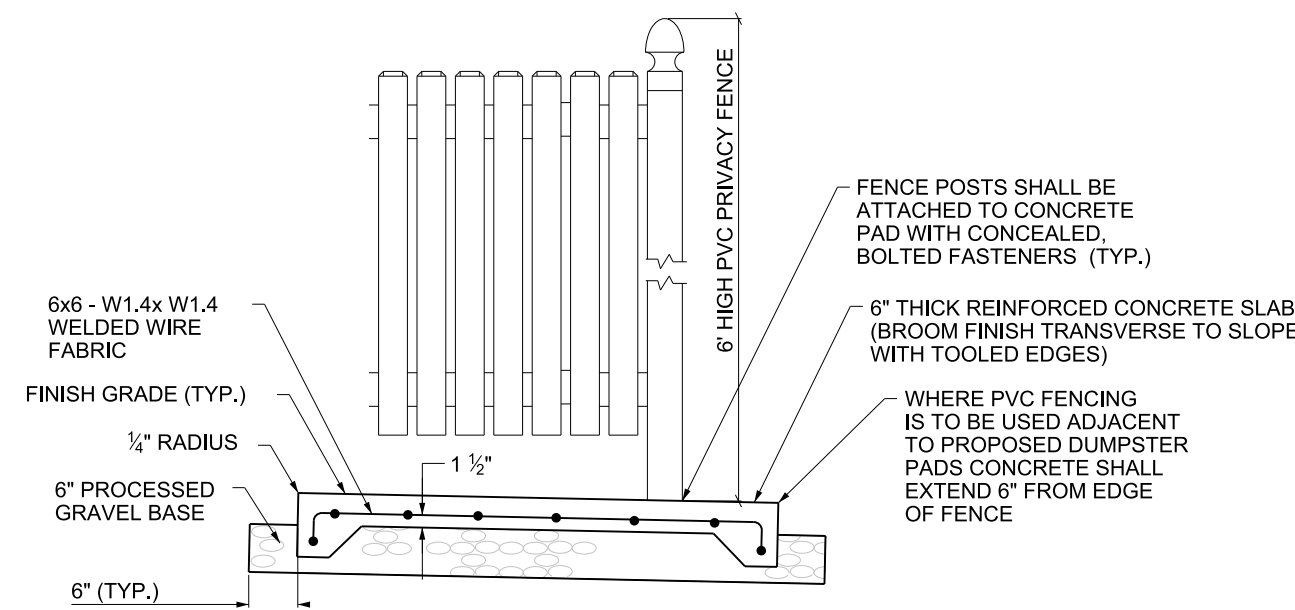
SECTION (@ DRIVEWAY)

CONCRETE SIDEWALK
NOT TO SCALE



1. ALL CONCRETE TO BE 4,000 PSI MIN.
2. CONCRETE SURFACE SHALL BE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE PAD.

CONCRETE MAIL PAD
NOT TO SCALE



NOTES:

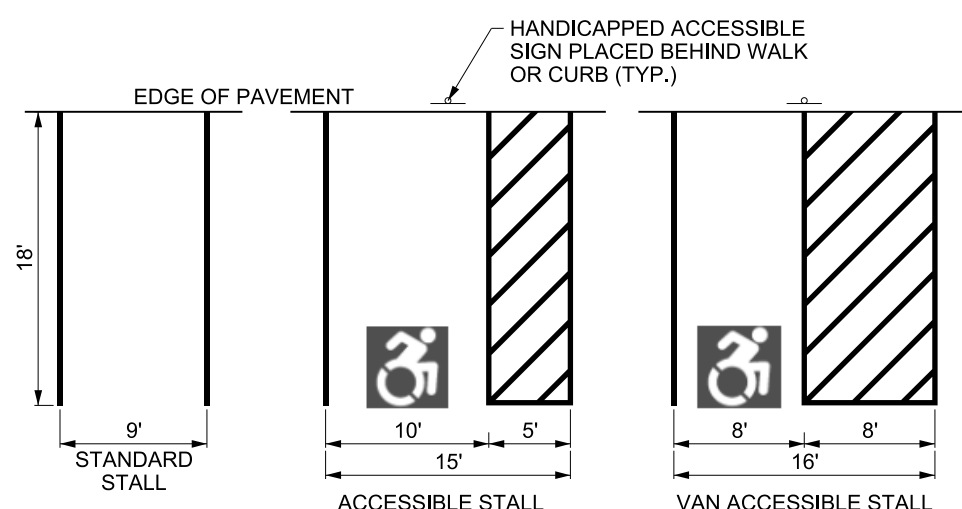
1. WHERE PVC FENCING IS TO BE USED ADJACENT TO PROPOSED DUMPSTER PAD THE DUMPSTER SHALL NOT BE HIGHER THAN THE FENCE.
2. PROPOSED GATES AT DUMPSTER PADS SHALL BE PVC, DOUBLE OUTSWING AND SHALL BE KEPT CLOSED AT ALL TIMES EXCEPT DURING ACCESS TO DUMPSTER.

DUMPSTER PAD & PVC FENCE
NOT TO SCALE



BACKGROUND: BLUE, REFLECTORIZED
LEGEND: SILVER, REFLECTORIZED
NOTES:
1. "VAN ACCESSIBLE" SIGN ONLY INSTALLED AT VAN ACCESSIBLE DESIGNATED PARKING STALL(S).
VIOLATORS WILL BE FINED MIN. \$150

HANDICAPPED PARKING
NOT TO SCALE



- NOTES:
1. ALL STRIPING TO BE 4" WHITE
2. PAINTED SYMBOL TO BE INTERNATIONAL SIGN OF ACCESSIBILITY

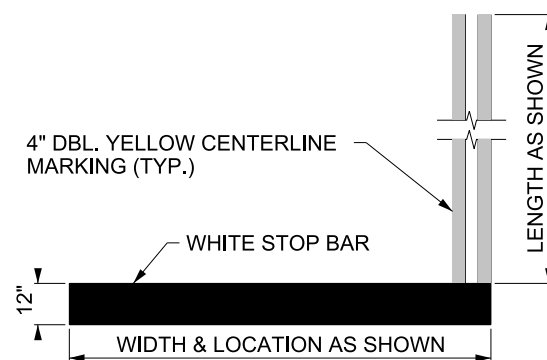
PARKING STALL DETAILS
NOT TO SCALE



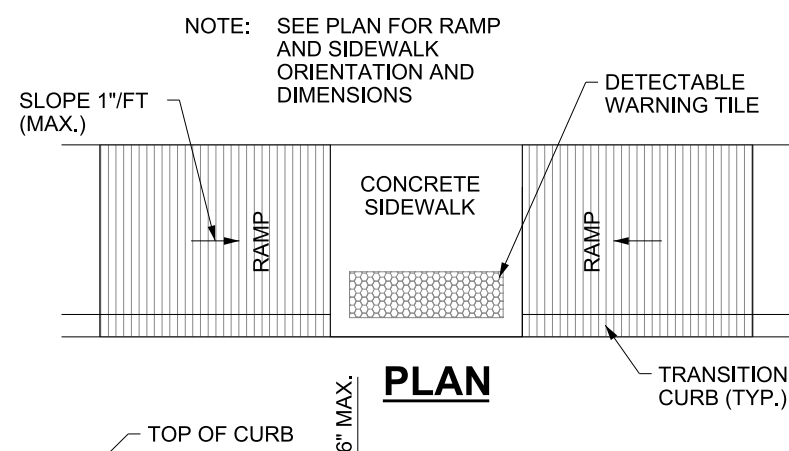
NOTES:

1. 30" SIGN TO BE INSTALLED PER CONDOT STANDARDS SIGN #31-0552
2. SECURE TO (1) TYPE A GALVANIZED STEEL POST WITH BREAKAWAY
3. SEE CONDOT STANDARD DRAWING TR-1208-02 FOR METAL SIGN POST & MOUNTING WITHIN DOT ROW.

STOP SIGN
NOT TO SCALE

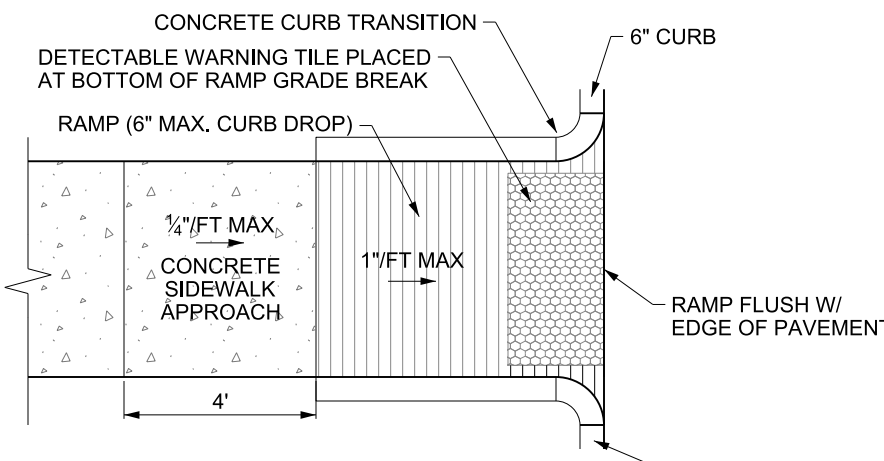


STOP BAR
NOT TO SCALE

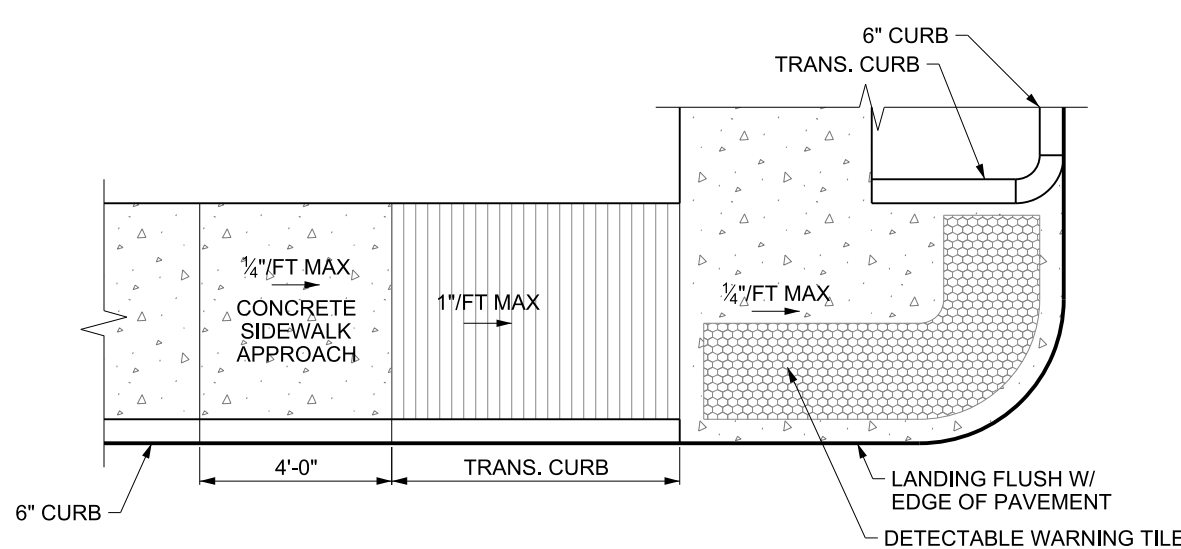


ELEVATION

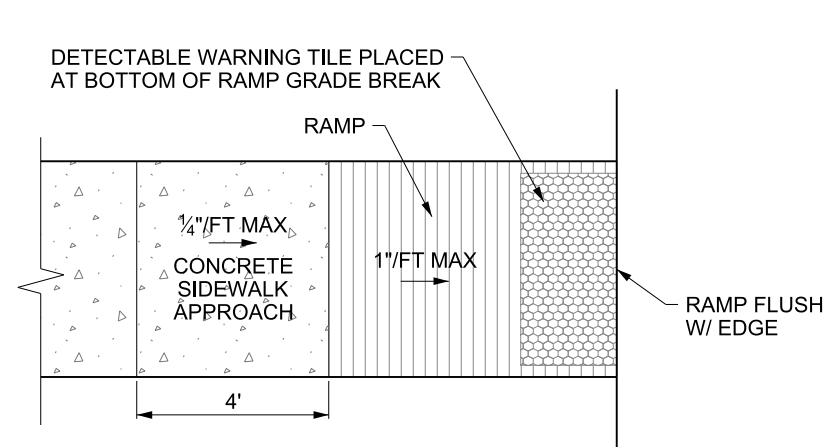
SIDEWALK RAMP (TYPE 9)
NOT TO SCALE



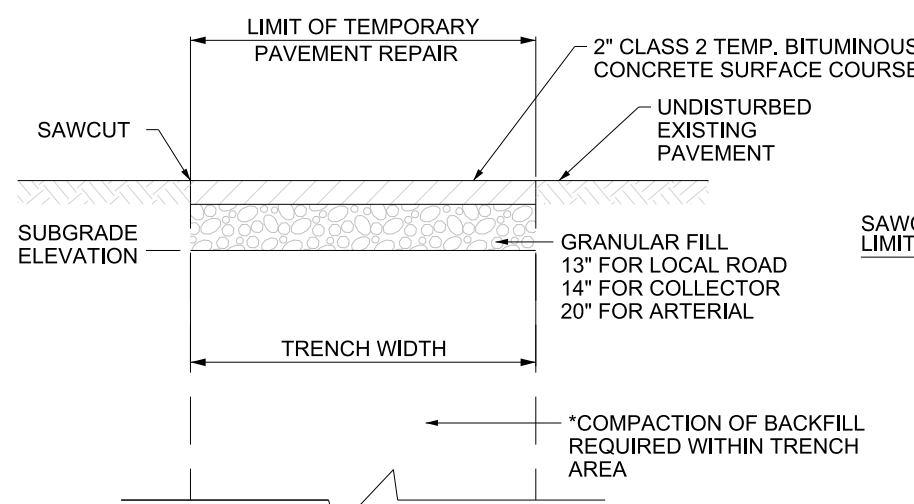
SIDEWALK RAMP (TYPE 16)
NOT TO SCALE



SIDEWALK RAMP (TYPE 14)
NOT TO SCALE



SIDEWALK RAMP (TYPE 17)
NOT TO SCALE



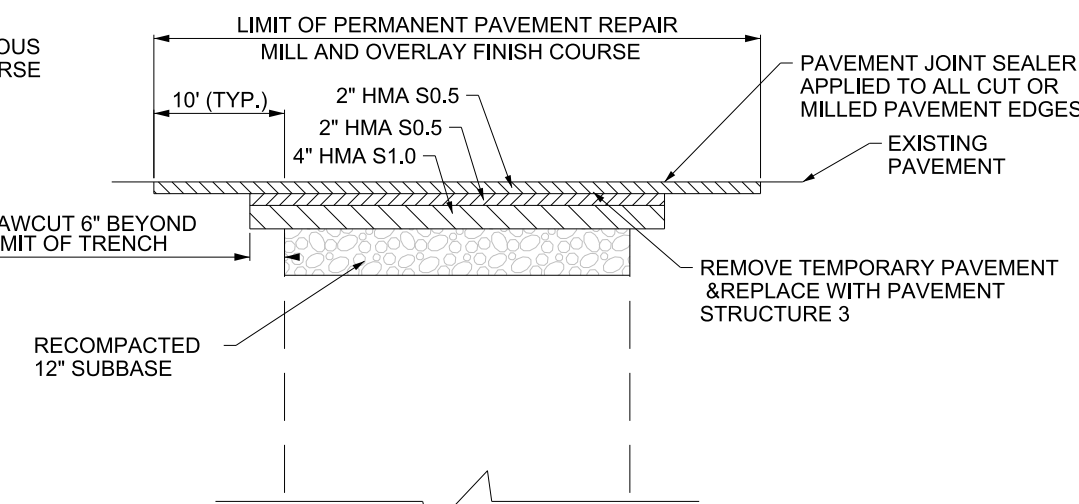
TEMPORARY REPAIR

NOTES:

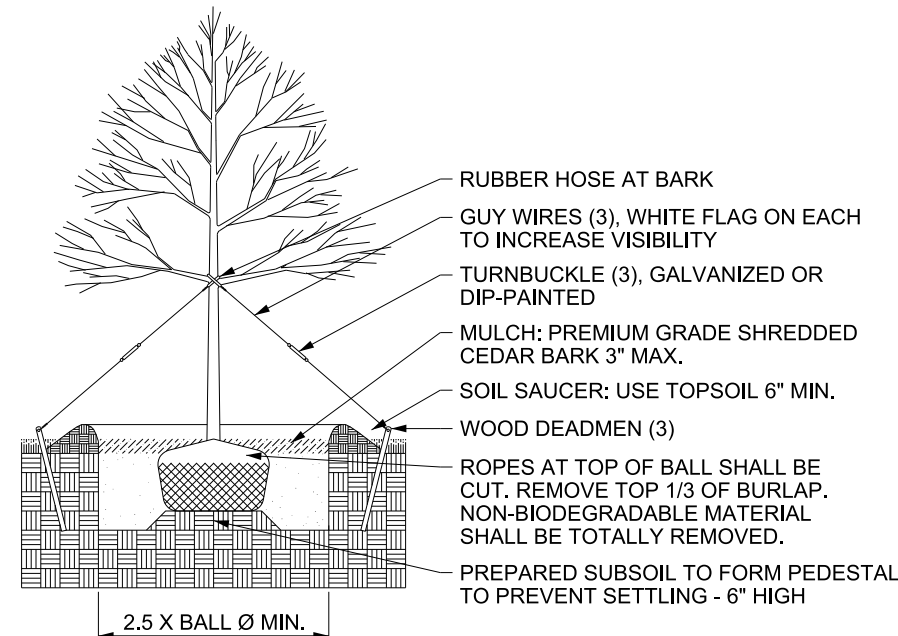
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CT DOT STANDARDS OR AS OTHERWISE DETERMINED IN THE FIELD BY THE DOT INSPECTOR.

PAVEMENT RESTORATION OVER TRENCH

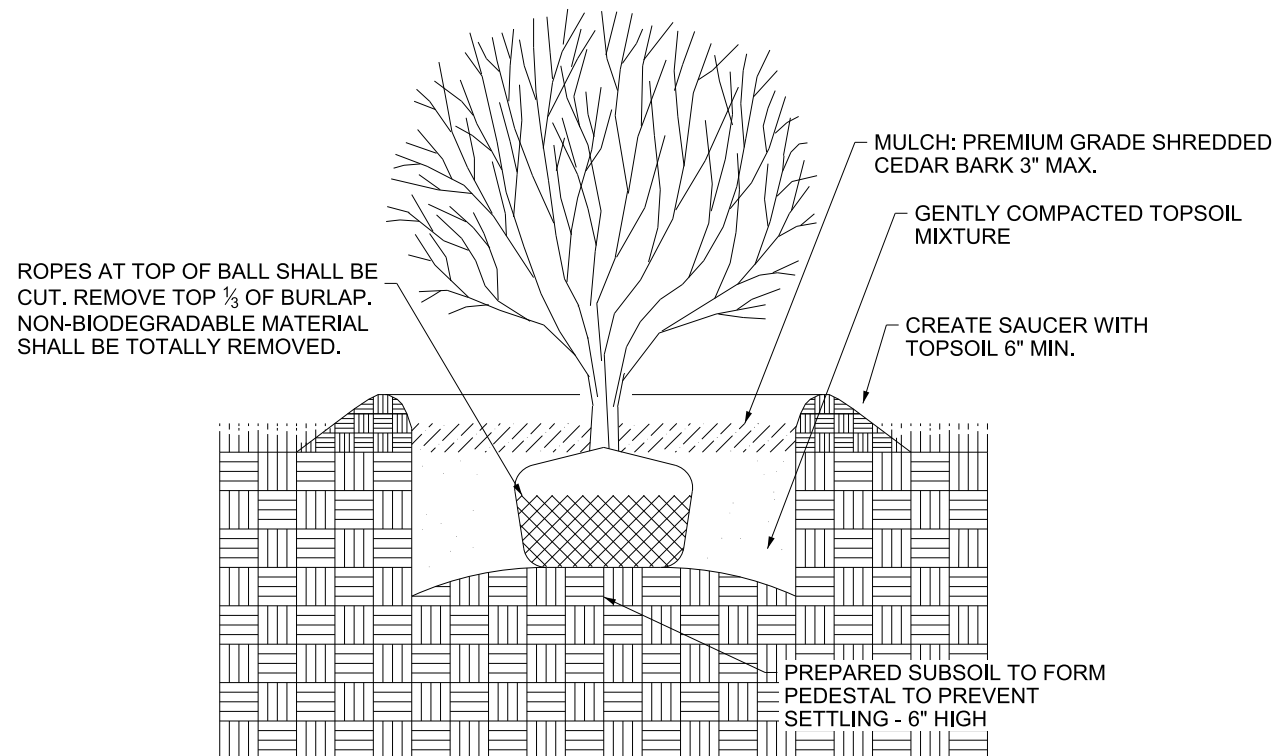
NOT TO SCALE



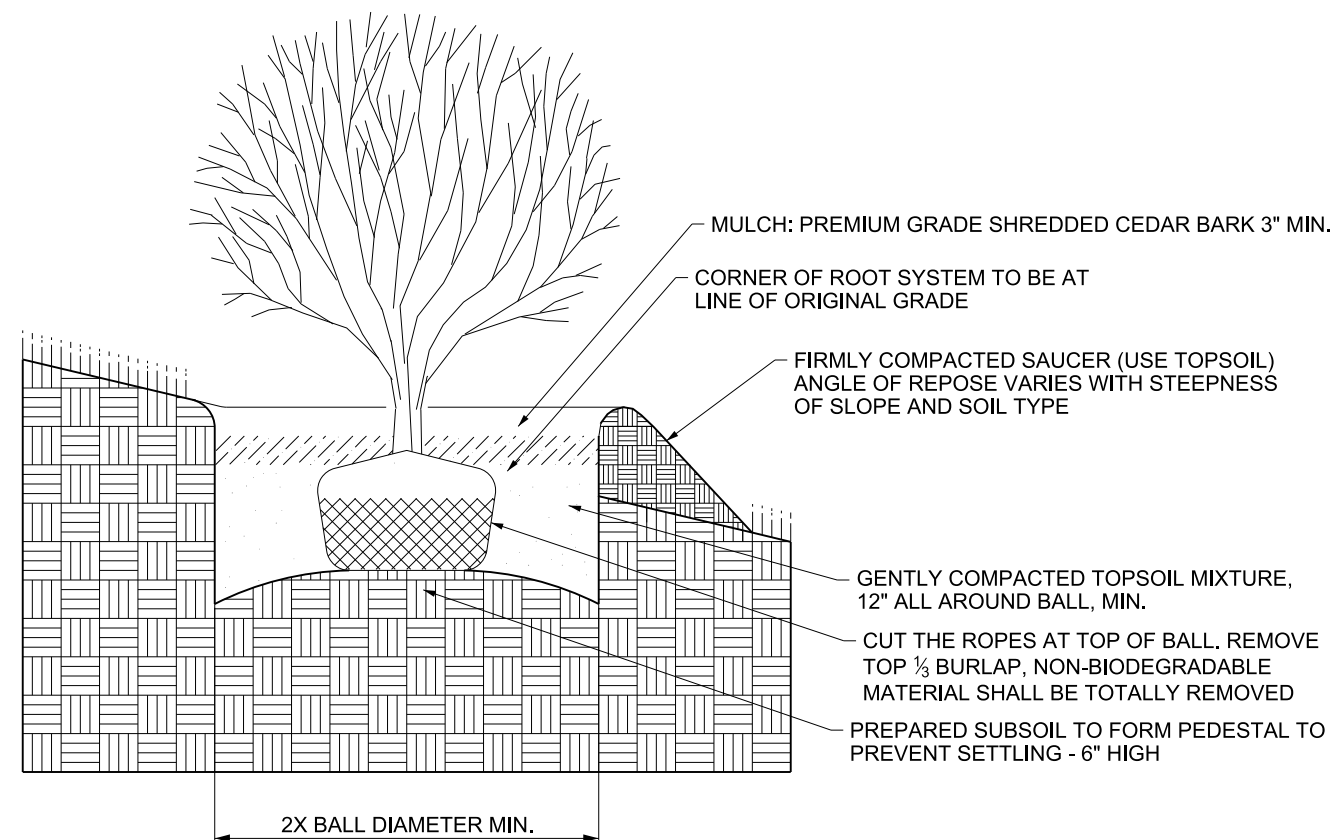
PERMANENT REPAIR



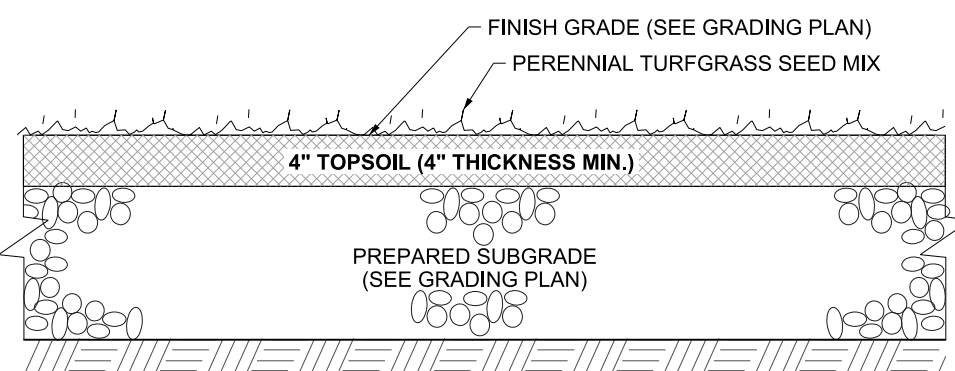
TREE PLANTING
NOT TO SCALE



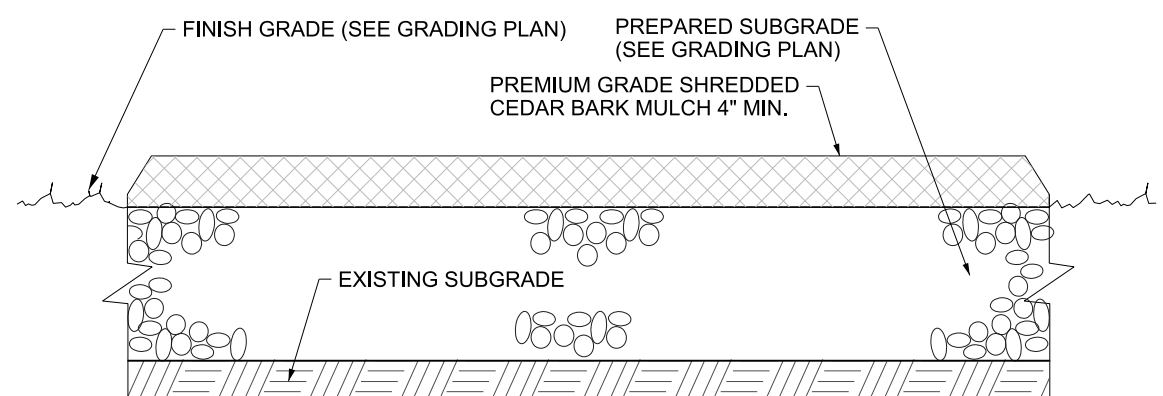
SHRUB PLANTING
NOT TO SCALE



SHRUB PLANTED ON SLOPE
NOT TO SCALE



TURF ESTABLISHMENT
NOT TO SCALE



MULCH SURFACE TREATMENT
NOT TO SCALE



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00146 - 001



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PROFESSIONAL SEAL

**PARKERS PLACE
MULTI-FAMILY DEVELOPMENT**

PREPARED FOR
PARKERS PLACE, LLC, OWNER / APPLICANT

SITE DETAILS

PARK PLACE (MAP 11.1, LOT 11)

EAST LYME, CT

REVISION SUMMARY

DATE DESCRIPTION
1/13/26 PER TOWN COMMENTS

SHEET

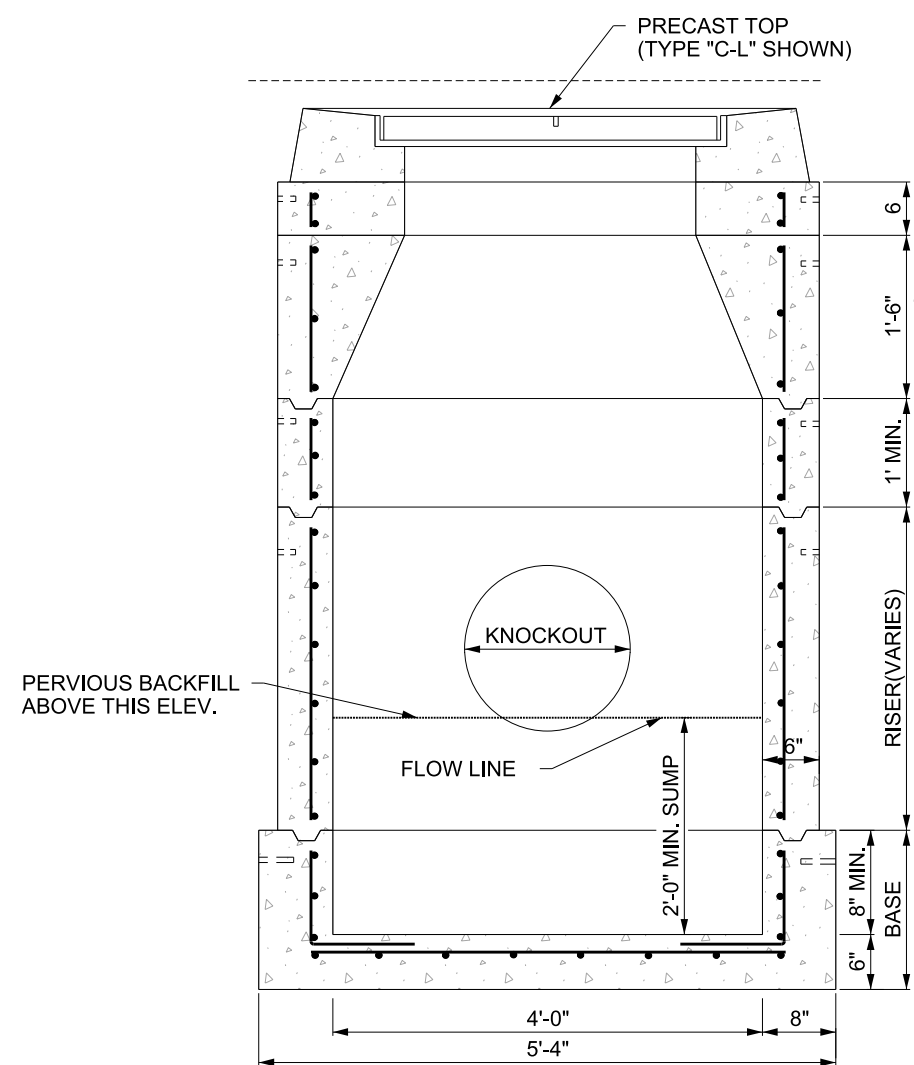
7 OF 9

DATE

9/29/25

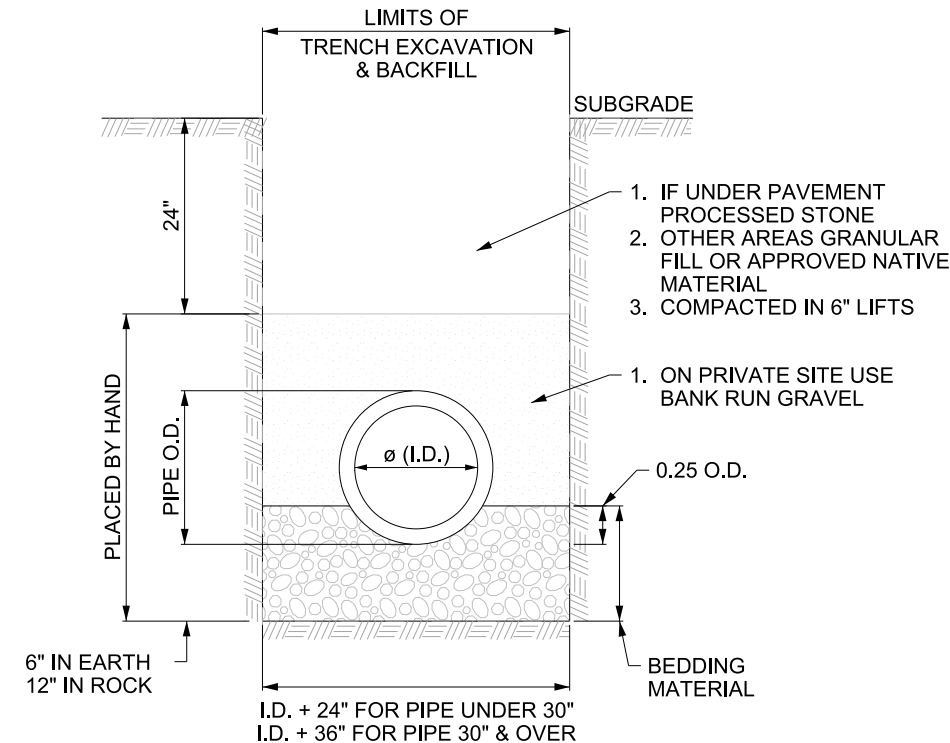
REVISED

1/13/26



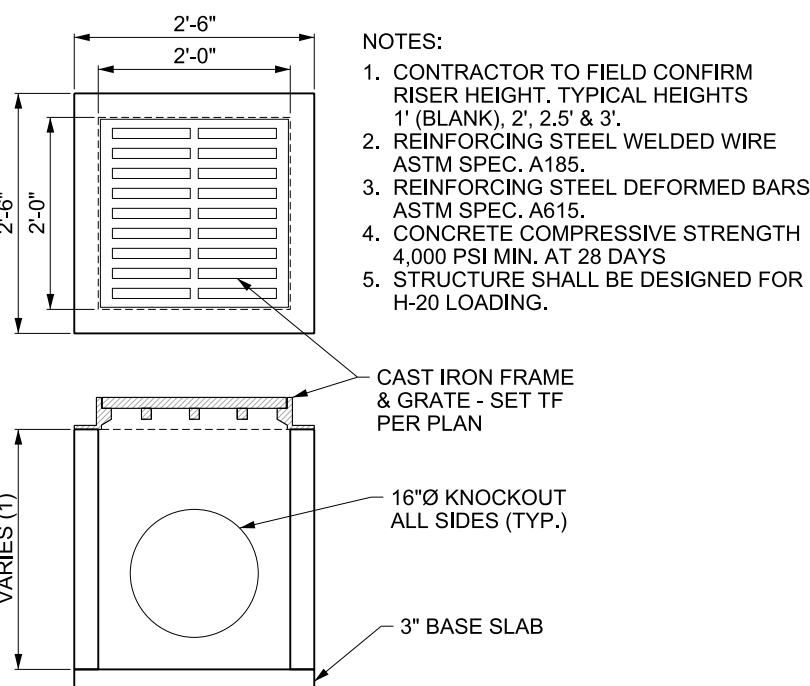
**TYPE "C", "CL" OR "CG"
STANDARD CATCH BASIN**

NOT TO SCALE



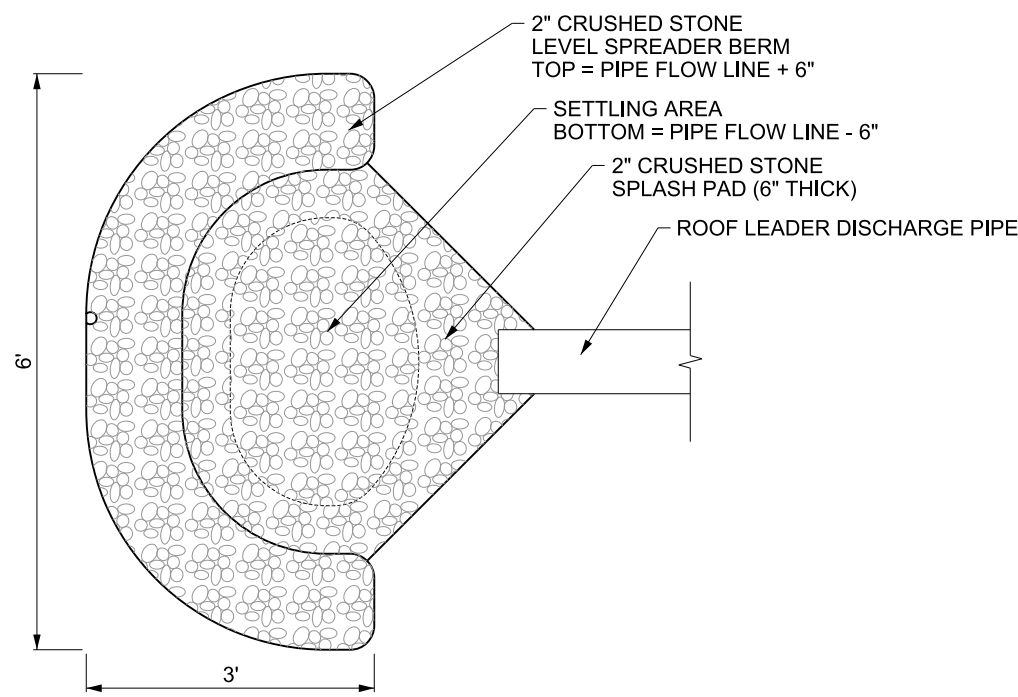
TRENCHING & BACKFILLING

NOT TO SCALE



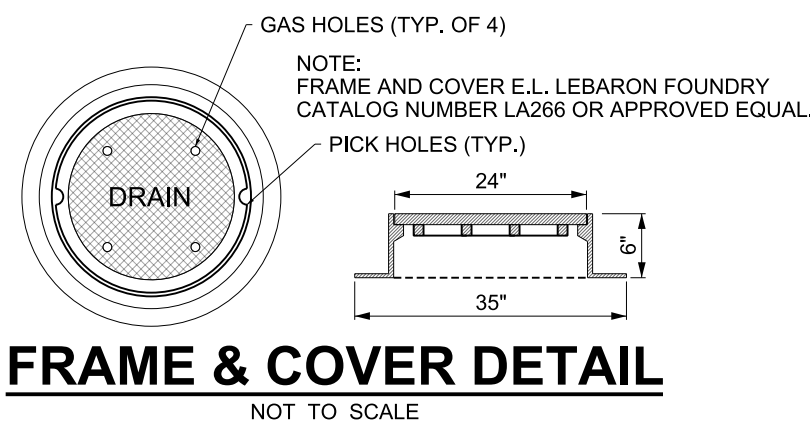
YARD DRAIN

NOT TO SCALE



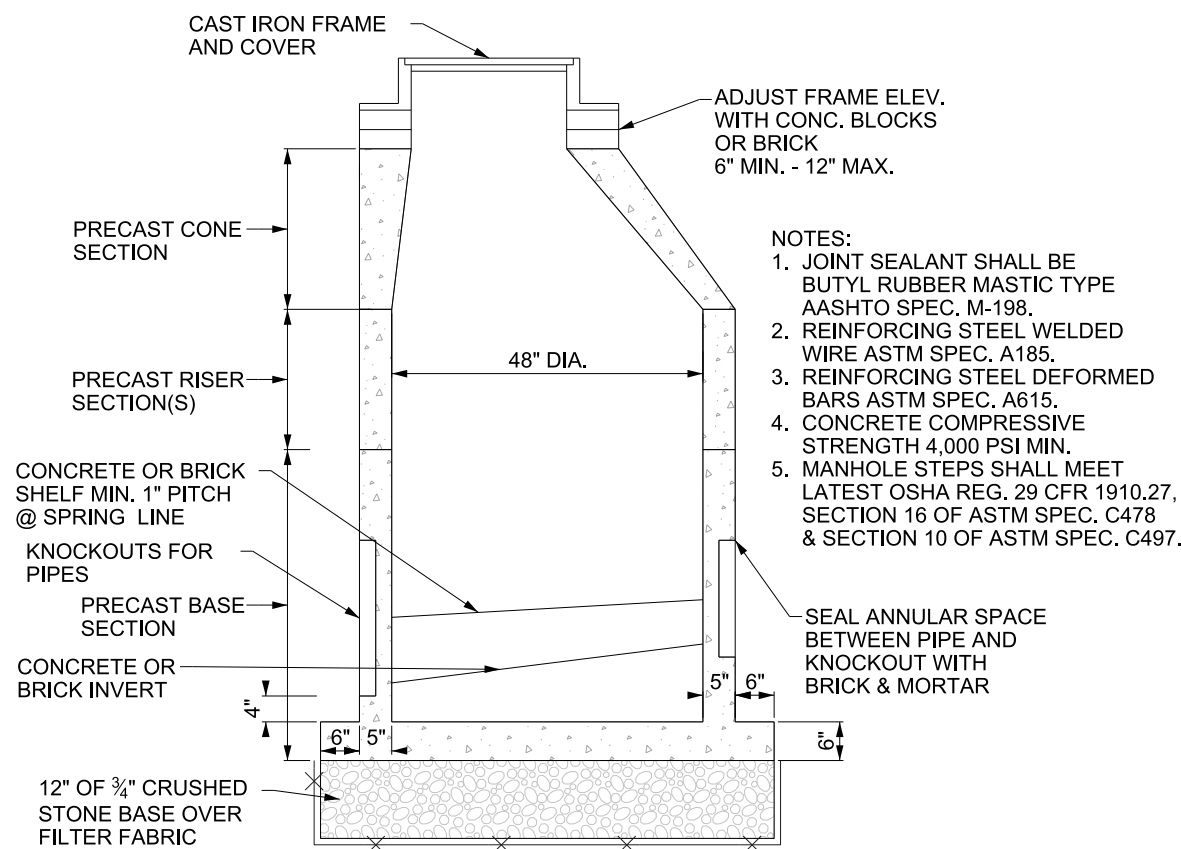
ROOF LEADER SPLASH PAD

NOT TO SCALE



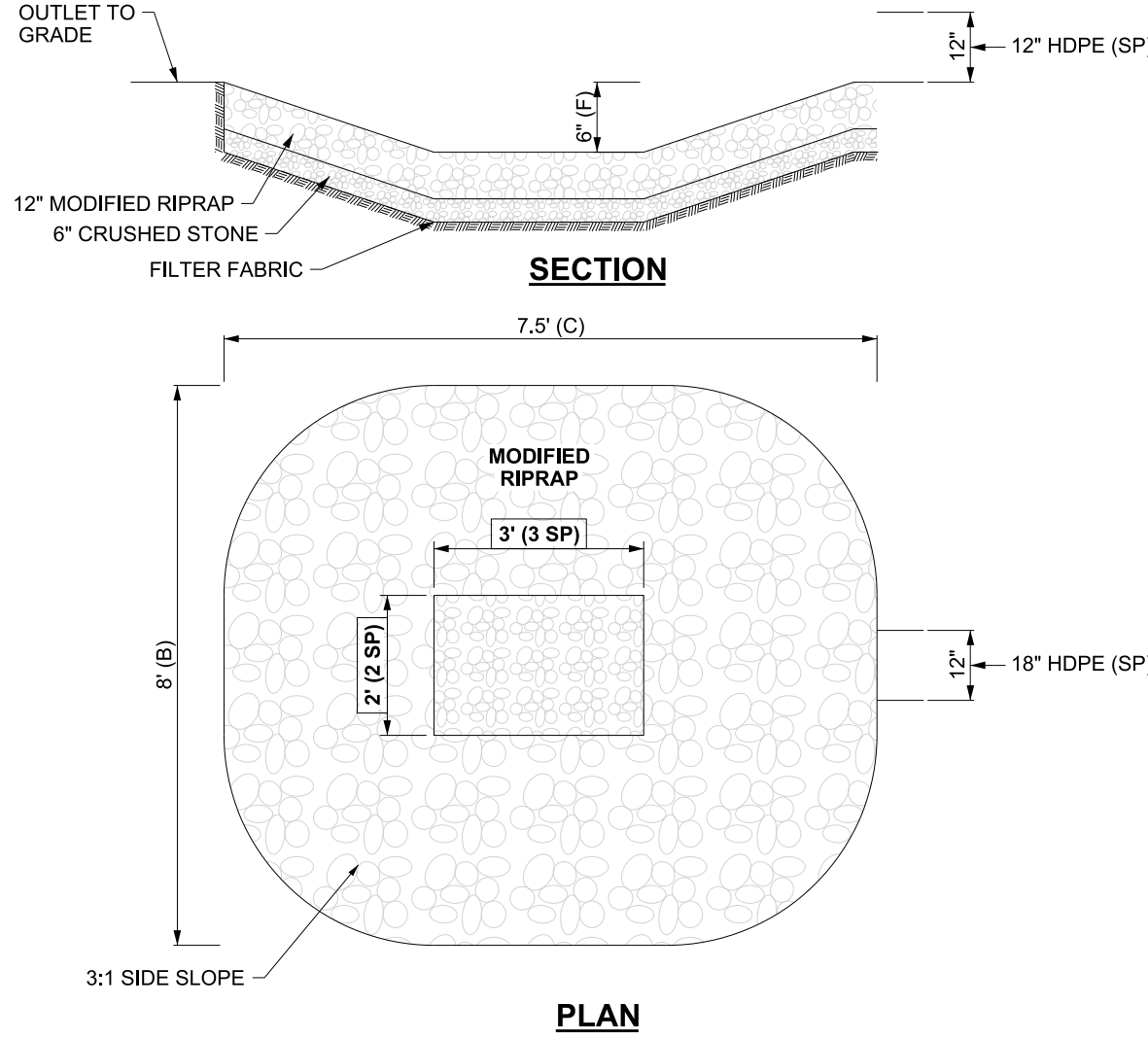
FRAME & COVER DETAIL

NOT TO SCALE



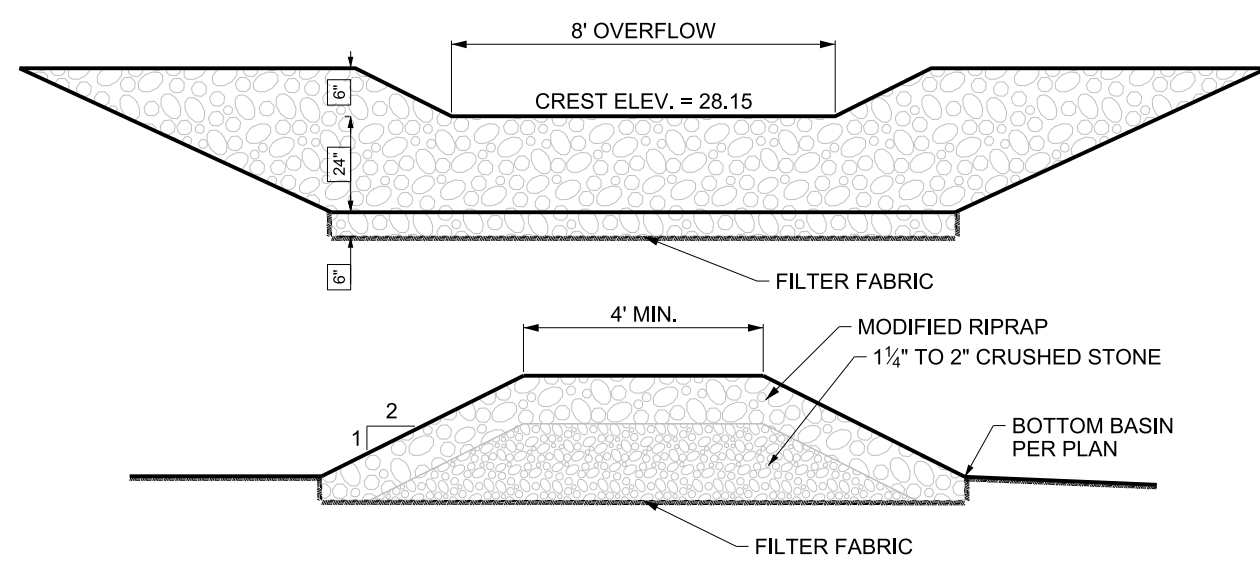
PRECAST STORM DRAIN MANHOLE

NOT TO SCALE



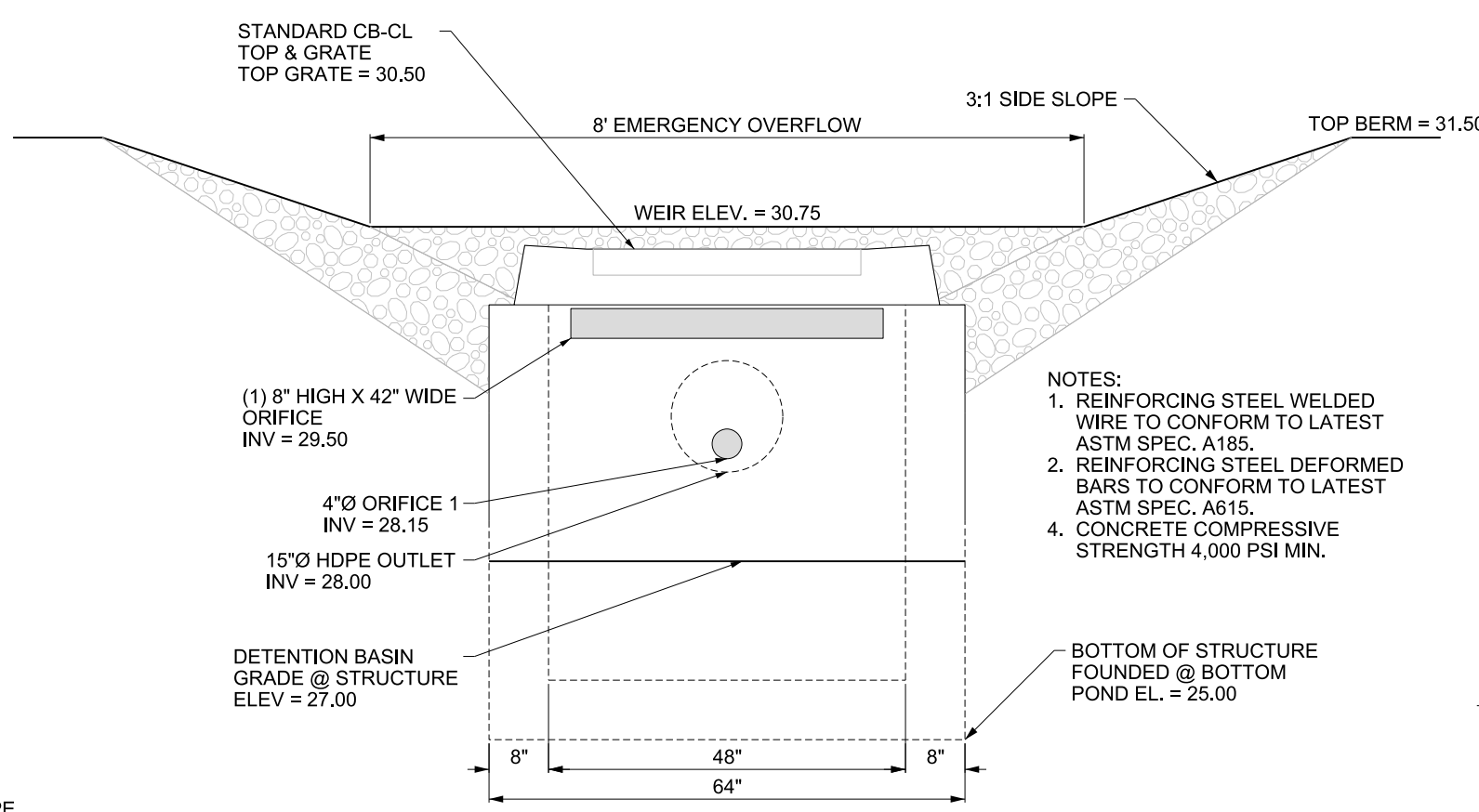
PREFORMED SCOUR HOLE (TYPE 2)

NOT TO SCALE



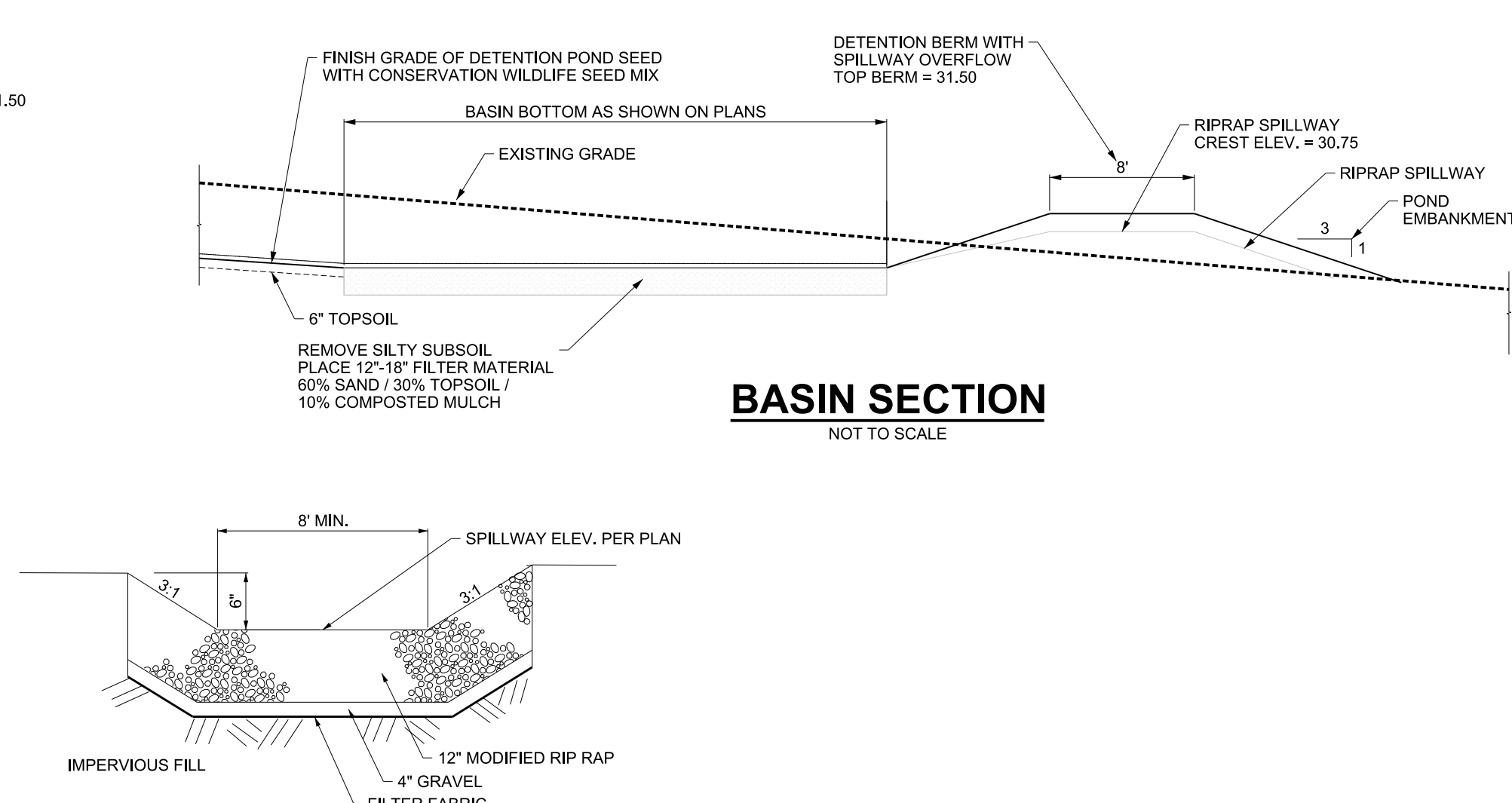
SEDIMENT FOREBAY FILTER BERM

NOT TO SCALE



**FRONT
OCS 101**

NOT TO SCALE



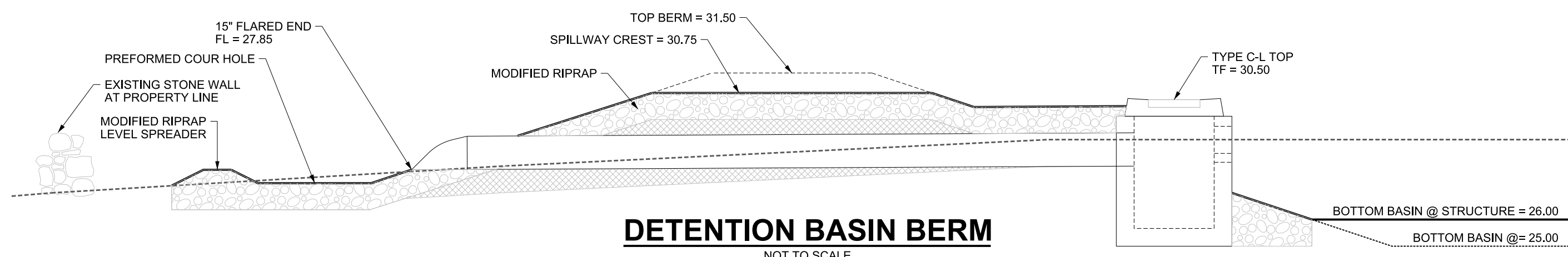
BASIN SECTION

NOT TO SCALE



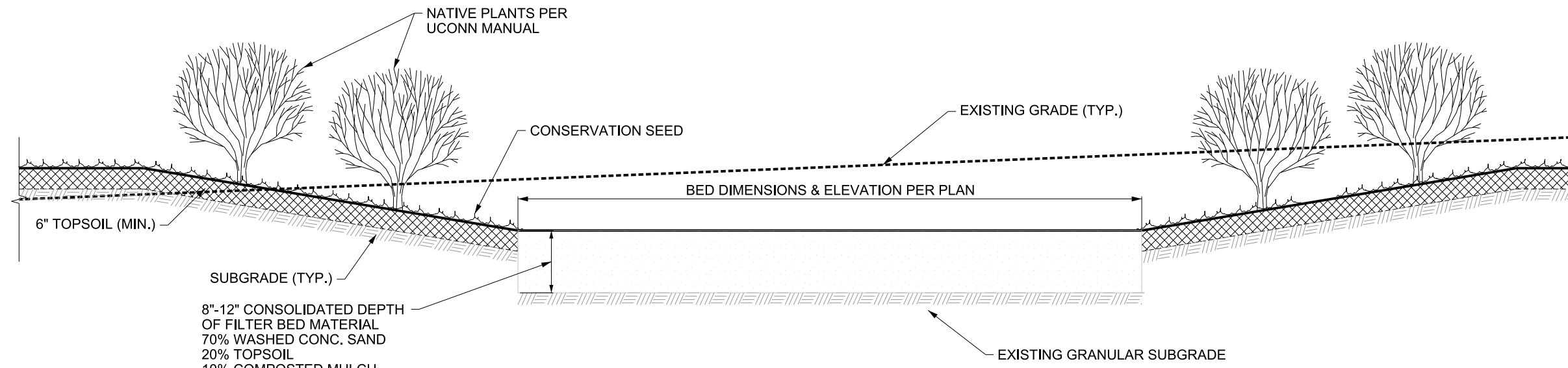
SPILLWAY DETAIL

NOT TO SCALE



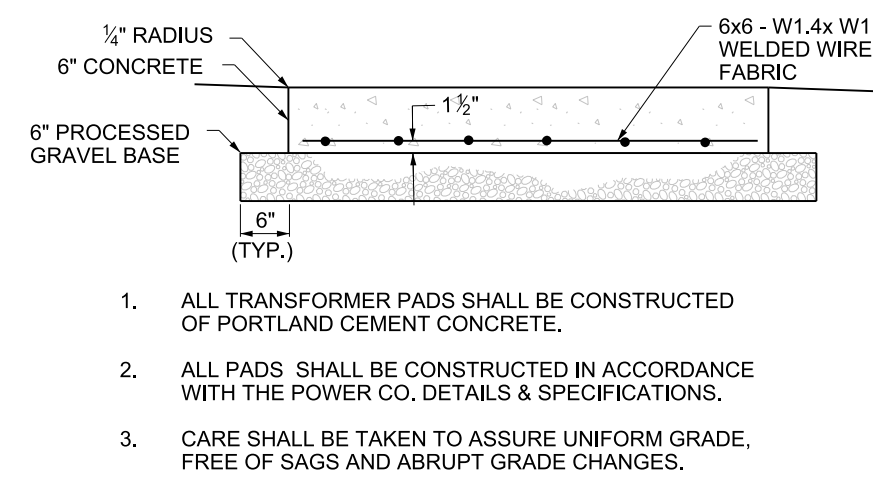
DETENTION BASIN BERM

NOT TO SCALE



RAIN GARDEN TYPICAL SECTION

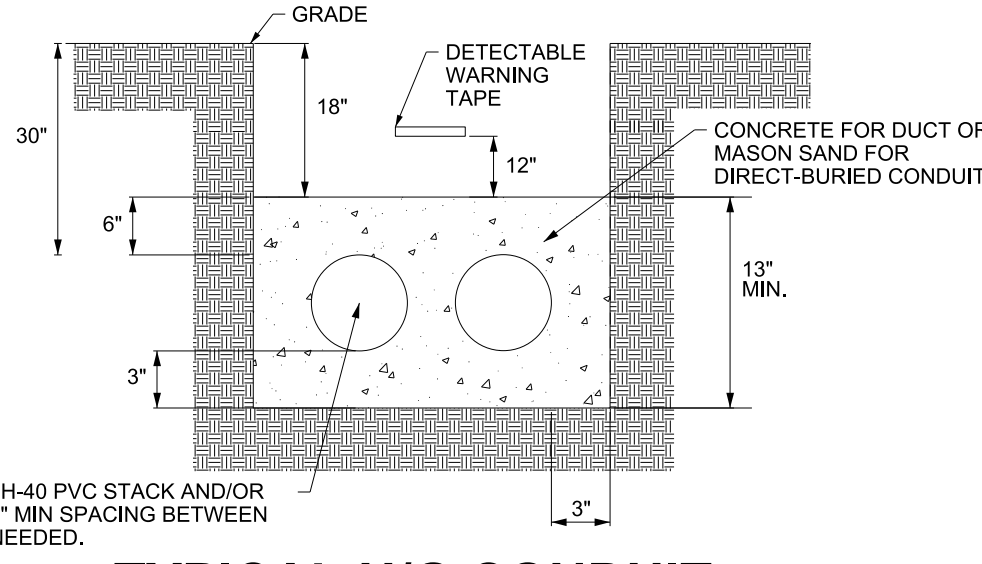
NOT TO SCALE



1. ALL TRANSFORMER PADS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE.
2. ALL PADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE POWER CO. DETAILS & SPECIFICATIONS.
3. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND ABRUPT GRADE CHANGES.
4. CONDUITS SHALL BE CENTERED IN THE PAD IN ACCORDANCE WITH THE POWER CO. DETAILS & SPECIFICATIONS.

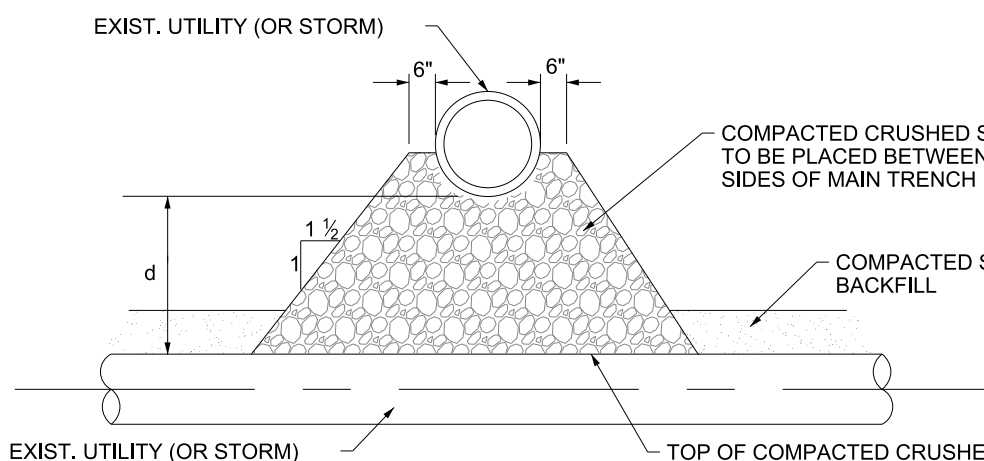
TRANSFORMER PAD

NOT TO SCALE

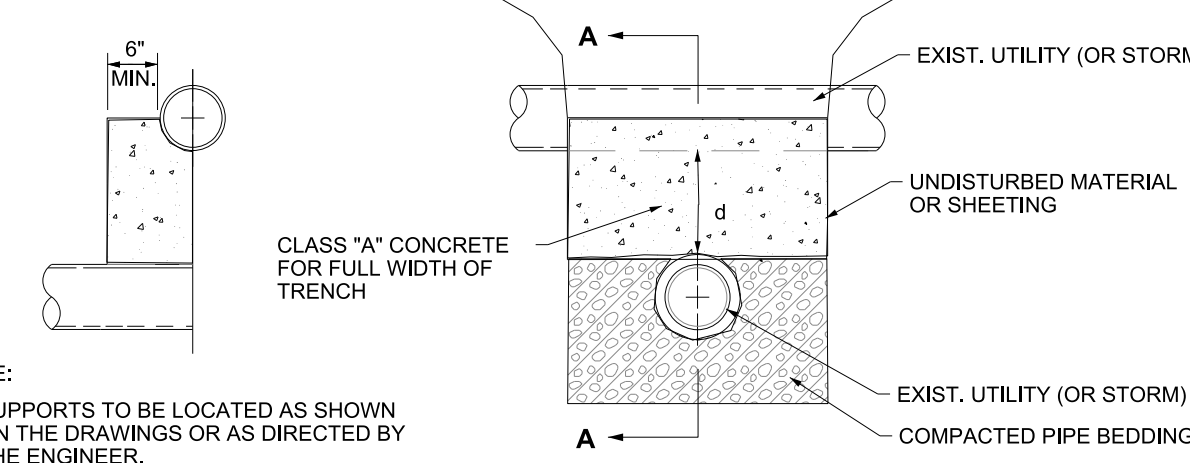


**TYPICAL U/G CONDUIT
OR DUCT BANK**

NOT TO SCALE



TYPE A (D ≥ 12")



TYPE B (D < 12")

- NOTE:
1. SUPPORTS TO BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.

HALF SECTION A-A

- NOTES:
1. d=DISTANCE FROM TOP OF STORM LINE TO BOTTOM OF EXISTING UTILITY LINE.
 2. SUPPORTS TO BE LOCATED AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.

TYPICAL SUPPORT FOR UTILITIES

NOT TO SCALE



PROJECT NUMBER:

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PROFESSIONAL SEAL

**PARKERS PLACE
MULTI-FAMILY DEVELOPMENT**
PREPARED FOR
PARKERS PLACE, LLC, OWNER / APPLICANT
DRAINAGE & UTILITY DETAILS

PARK PLACE (MAP 11.1, LOT 11)

EAST LYME, CT

REVISION SUMMARY

DATE	DESCRIPTION
1/13/26	PER TOWN COMMENTS

SHEET

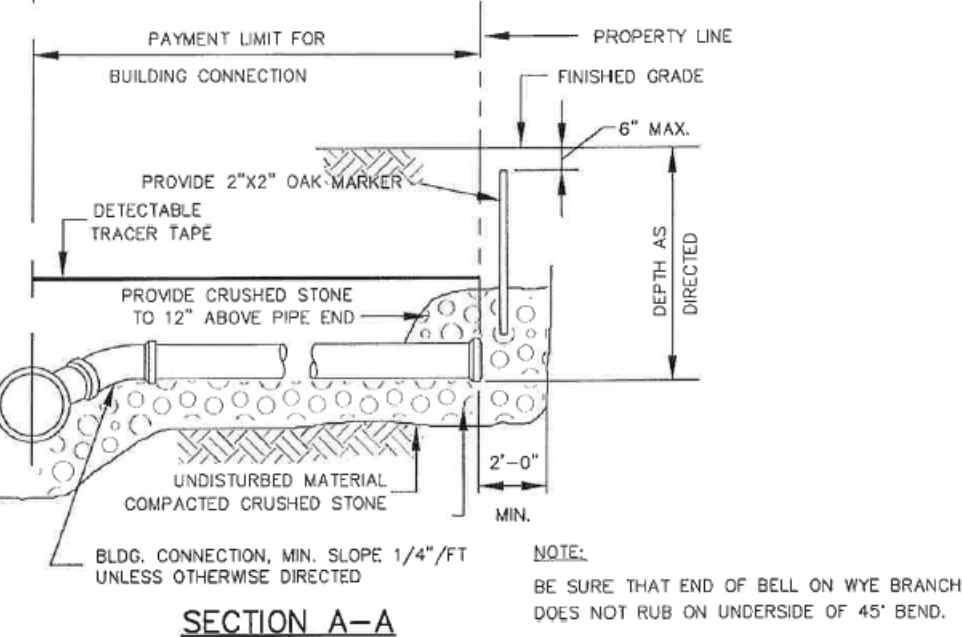
8 OF 9

DATE

9/29/25

REVISED

1/13/26



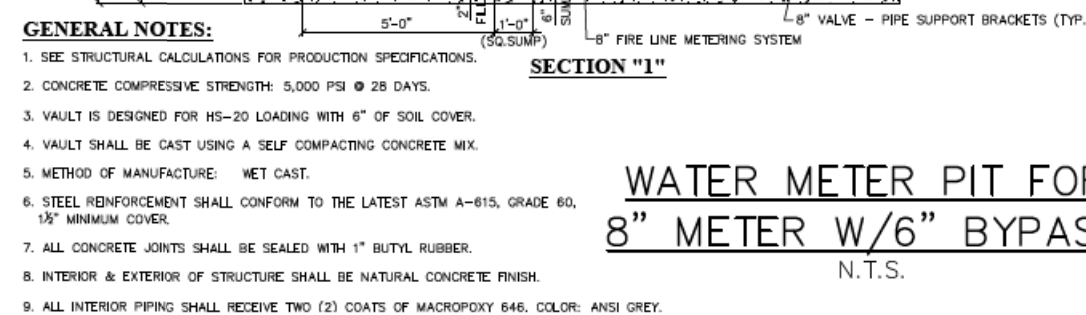
N.T.S



(REQUIRED WHERE CLEARANCE IS LESS THAN 18")



N.T.S.

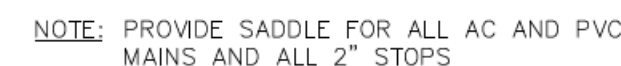


(PLUG SIMILAR)

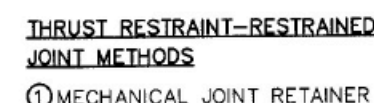
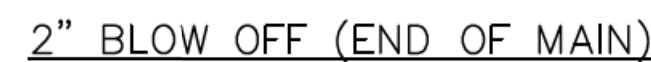
SIZE OF MAIN	90° BENDS, TEES, CAPS AND PLUGS	45° BENDS AND WYES	22-1/2° BENDS	11-1/4° BENDS
6", 8"	5	4	2	2
10", 12"	12	9	5	2
16"	20	15	8	4
20"	36	24	13	7

- NOTES:
1. ALL WATER MAIN FITTINGS SHALL HAVE CONCRETE BACKING AND THRUST BLOCK UNLESS OTHERWISE SPECIFIED.
 2. CONTRACTOR SHALL USE CARE TO AVOID PLACEMENT OF CONCRETE ON THE FITTING JOINTS
 3. CONCRETE SHALL BE 3,000 PSI.

CONCRETE THRUST BLOCK



WATER SERVICE CONNECTION



TYPICAL JOINT RESTRAINT

