

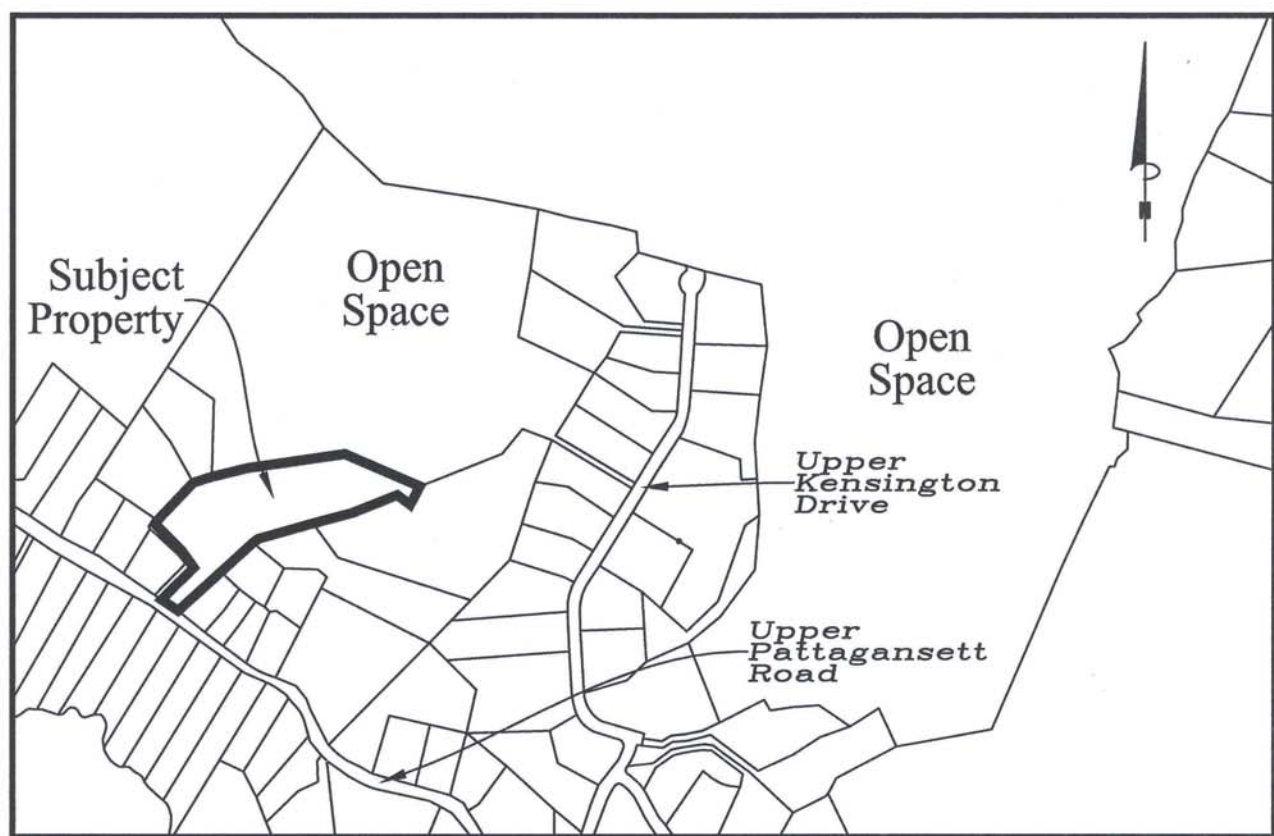
Nottingham Hills Subdivision

6 Lot Re-Subdivision of Lot 32

A Conservation Design Development (CDD)

Reference Maps

1. "NOTTINGHAM HILLS SUBDIVISION PHASE 3 NIANTIC REAL ESTATE, LLC, EAST LYME, CONNECTICUT
PREPARED BY J. ROBERT PFANNER & ASSOCIATES P.C.
DATED AUGUST 1, 2005 SCALE 1"=60'
2. "LOT LINE REVISION MAP LOT 20 UPPER KENSINGTON DRIVE & 239 UPPER PATTAGANSETT ROAD PREPARED FOR NEW ENGLAND NATIONAL LLC."
PREPARED BY J. ROBERT PFANNER & ASSOCIATES P.C.
DATED APRIL 28, 2006 SCALE 1"=80'
3. "COMPILED PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF NIANTIC REAL ESTATE, LLC, NOTTINGHAM HILLS SUBDIVISION, PHASE 3, UPPER KENSINGTON DRIVE EAST LYME, CONNECTICUT, CL&P FILE NUMBER E6247
PREPARED BY J. ROBERT PFANNER & ASSOCIATES P.C.
DATED OCTOBER 30, 2006 REVISED THRU NOVEMBER 21, 2006 SCALE 1"=80'
4. "NOTTINGHAM HILLS SUBDIVISION PHASE 4 NEW ENGLAND NATIONAL LLC, EAST LYME, CONNECTICUT
PREPARED BY J. ROBERT PFANNER & ASSOCIATES P.C.
DATED OCTOBER 20, 2010 REVISED THRU NOVEMBER 18, 2010 SCALE 1"=80'
5. "IMPROVEMENT LOCATION SURVEY ZONING LOT LINE REVISION MAP PREPARED FOR NEW ENGLAND NATIONAL LLC
LOCATION UPPER PATTAGANSETT ROAD, EAST LYME
PREPARED BY J. ROBERT PFANNER & ASSOCIATES P.C.
DATED MAY 5, 2014 SCALE 1"=80'
6. "LOT LINE REVISIONS NOTTINGHAM HILLS SUBDIVISION LOTS 19, 20, 21 & 32
PROPERTY OWNER: ENGLISH HARBOUR ASSET MANAGEMENT LLC
C/O KRISTEN CLARKE P.E. 375 N. BEND DRIVE MANCHESTER, NH
PREPARED BY GESICK & ASSOCIATES P.C.
DATED FEBRUARY 1, 2019 REVISED THRU NOVEMBER 8, 2019 SCALE 1"=100'
7. TOPOGRAPHIC SURVEY OF LOTS 19 & 21 NOTTINGHAM HILLS SUBDIVISION EAST LYME, CONNECTICUT. PREPARED FOR PROPERTY OWNER: ENGLISH HARBOUR ASSET MANAGEMENT LLC C/O KRISTEN CLARKE P.E. 375 N. BEND DRIVE MANCHESTER, NEW HAMPSHIRE
PREPARED BY GESICK & ASSOCIATES P.C.
DATED MARCH 28, 2019 SCALE 1"=80'
8. "LOT LINE REVISION PLAN NOTTINGHAM HILLS SUBDIVISION LOTS 26, 27 & 28
PREPARED FOR: ENGLISH HARBOUR ASSET MANAGEMENT LLC
PREPARED BY GESICK & ASSOCIATES P.C.
DATED JANUARY 24, 2020 REVISED THRU AUGUST 2, 2021
SCALES - PAGES 1 & 4 = 1"=50' PAGES 2 & 3 = 1"=40'



Location Map

Scale: 1"=800'

Notes

- 1) THIS SURVEY PLAN HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF THE LAND SURVEYORS, INC. ON OCTOBER 26, 2018.
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C. THIS SURVEY CONFORMS TO THE STANDARDS AND THE ACCURACY OF CLASS: A-2 HORIZONTAL & T-2 TOPOGRAPHIC ACCURACY.
D. BEARINGS AS DEPICTED ARE BASED UPON THE CONNECTICUT GRID SYSTEM NORTH AMERICAN DATUM OF 1983.
E. ELEVATIONS BASED UPON NORTH AMERICAN VERTICAL DATUM 1988
F. CONTOUR INTERVAL = 2'
G. THE INTENT OF THIS MAP IS TO DEPICT THE EXISTING CONDITIONS OF THE PROPERTY.
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- 5) KRISTEN CLARKE IS THE INDIVIDUAL RESPONSIBLE INSTALLATION, MONITORING AND CORRECTION OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES.
- 6) UTILITY EASEMENT DEPICTED ON SHEETS 4&5 IS TAKEN FROM REFERENCE MAP #3 AND ALSO RECORDED IN THE EAST LYME LAND RECORDS DRAWER 6 #441 AND VOLUME 794 PAGE 510.
- 7) LOTS 32, 32.1, 32.2, 32.3, 32.4, & 32.5 SHARE A COMMON DRIVEWAY & UTILITY EASEMENT AS IS IDENTIFIED IN THESE PLANS. A MAINTENANCE AGREEMENT FOR THIS COMMON DRIVEWAY WILL BE RECORDED IN THE LAND RECORDS OF THE TOWN OF EAST LYME SIMULTANEOUSLY WITH THE MYLARS OF THESE PLANS.
- 8) WELL AND SEPTIC LOCATIONS / LAYOUT PROVIDED BY KRISTEN CLARKE P.E. MANAGER, ENGLISH HARBOUR ASSET MANAGEMENT LLC. PER DISCUSSIONS WITH LEDGE LIGHT HEALTH DISTRICT.
- 9) PURSUANT TO THE TOWN OF EAST LYME, CONNECTICUT SUBDIVISION REGULATIONS SECTIONS 6-10-3 (D) & (E) THE COMMON DRIVEWAY IDENTIFIED IN THESE PLANS WILL NOT BE OWNED BY THE TOWN OF EAST LYME. ALL MAINTENANCE, REPAIR, AND SERVICES SUCH AS SNOW REMOVAL, SANDING, AND SWEEPING OF THE COMMON DRIVEWAY WILL BE THE RESPONSIBILITY OF THE ADJOINING LANDOWNERS. THE TOWN OF EAST LYME SHALL NOT BE RESPONSIBLE FOR THE INITIAL COST, MAINTENANCE FEES, OR UTILITY BILLS ASSOCIATED WITH ALL STREET SIGN OR STREET LIGHTS LOCATED ON THE COMMON DRIVEWAY OR ADJACENT TO AND SERVING THE COMMON DRIVEWAY.

EROSION AND SEDIMENTATION CONTROL PLAN CERTIFIED BY VOTE OF THE EAST LYME PLANNING COMMISSION ON

Date _____ Chairman or Secretary
Planning Commission

APPROVED BY THE EAST LYME PLANNING COMMISSION

Chairman / Secretary _____
Approval Date _____
Filing Date _____
Expiration Date _____

Sheet Index
Sheet 1 - Title Sheet
Sheets 2 & 3 - Existing Conditions Survey
Sheets 4 & 5 - Subdivision Plan & Site Plan
Sheets 6, 7 & 8 - Details



Copies of this survey may not bearing the Land Surveyor's Embossed Seal be valid copies. Certificates indicated or implied hereby are void. This survey is prepared, and on behalf of the additional parties listed herein, and is not transferable to additional parties or subsequent owners not listed herein.

To the best of my knowledge and belief this map is substantially correct as noted herein.

Donald L. Gesick, Jr., L.S.
Reg. No. 10411

GESICK & ASSOCIATES, P.C.
SURVEYORS & MAPERS & PLANNERS
19 CEDAR ISLAND AVE.
CLINTON, CONNECTICUT 06413
OFFICE: 860-669-7799 FAX: 860-669-5833
www.gesicksurveyors.com

Nottingham Hills Subdivision
6 Lot Re-Subdivision of Lot 32
Prepared for
Kristen Clarke P.E.

Revisions

8/12/2025	Revised Per
	Comments
9/3/2025	Revised Per
	Comments

Date: January 17th, 2025

Drawing: 23-005h

Drawn: P.H.

Sheet
1 of 7



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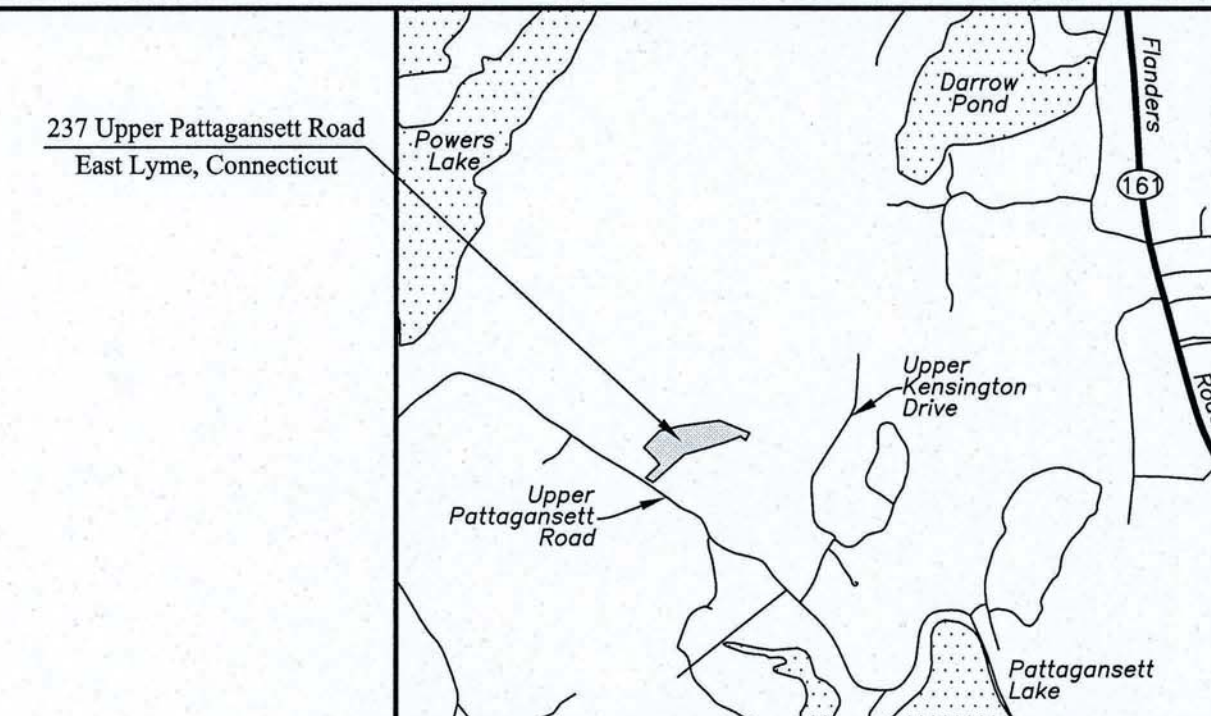
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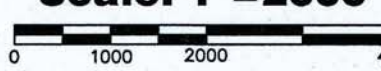
Topographic Survey & Existing Conditions

Revisions
8/12/2025 - Revised Per Comments
9/3/2025 - Revised Per Comments
Date: December 30th, 2024
Drawing: 23-005h
Drawn: P.H.
Sheet
2 OF 7



Location Map

Scale: 1"=2000'



Legend

<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>SYMBOL</u>	<u>DESCRIPTION</u>
●	PROPERTY CORNER		TREELINE
○	IP / REBAR		INDEX CONTOUR
□	MON / MERESTONE		INTERMEDIATE CONTOUR
⊕	BENCH MARK		EASEMENT LINE
	UTILITY POLE		PROPERTY LINE
	GUY WIRE		PROPERTY LINE OTHER
	SIGN		ROAD PAINTMARKS
	LIGHT POLE WITH WOOD PLANTER	$X.X.X'$	SPOT ELEVATION
	TEST BORE		GRAVEL AREA
	TEST PIT	N/F	NOW OR FORMERLY
	MAILBOX	ELEV / EL	ELEVATION
	DECIDUOUS TREE	INV	INVERT
	STONEWALL	P.V.C.	POLYVINYL CHLORIDE
	OVERHEAD WIRES	E.O.P.	EDGE OF PAVEMENT

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- 9) TREES AND STUMPS SHOWN ON THIS MAP WERE FIELD LOCATED BUT ARE NOT SHOWN TO SCALE.
- 10) UNLESS OTHERWISE NOTED, BUILDING OFFSETS ARE TO BUILDING SIDING ABOVE THE FOUNDATION.
- 11) SURVEY TIE LINE IS NOT PROPERTY LINE.

Reference Maps

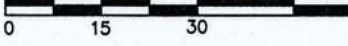
1. PROPERTY SURVEY OF 237 UPPER PATTAGANSETT ROAD EAST LYME, CONNECTICUT
PREPARED FOR ENGLISH HARBOUR ASSET MANAGEMENT LLC
PREPARED BY GESICK & ASSOCIATES P.C.
DATED MARCH 3, 2023 SCALE 1"=50'

Subject Parcel Information

OWNER: ENGLISH HARBOR CAPITAL PARTNERS LLC
PARCEL ADDRESS: 237 UPPER PATTAGANSETT ROAD, EAST LYME, CONNECTICUT 06333
MAILING ADDRESS: 30 N GOULD STREET, SUITE 21326, SHERIDAN, WYOMING 82801
PARCEL ID: MAP 39.0 LOT 10-2
DEED: VOLUME 1094 PAGE 646
LAND USE ZONE: R40
AREA: 283,648.44 SQ. FT. ± OR 6.51 ACRES ±
FLOOD ZONE: ZONE X PER FIRM MAP COMMUNITY PANEL #09011C0338G
DATED JULY 18, 2011 (SEE NOTE #6)

Line Data Table		
Number	Direction	Distance
L1	S 54°28'18" W	15.45'
L2	S 47°22'24" W	12.90'

Scale: 1"=30'



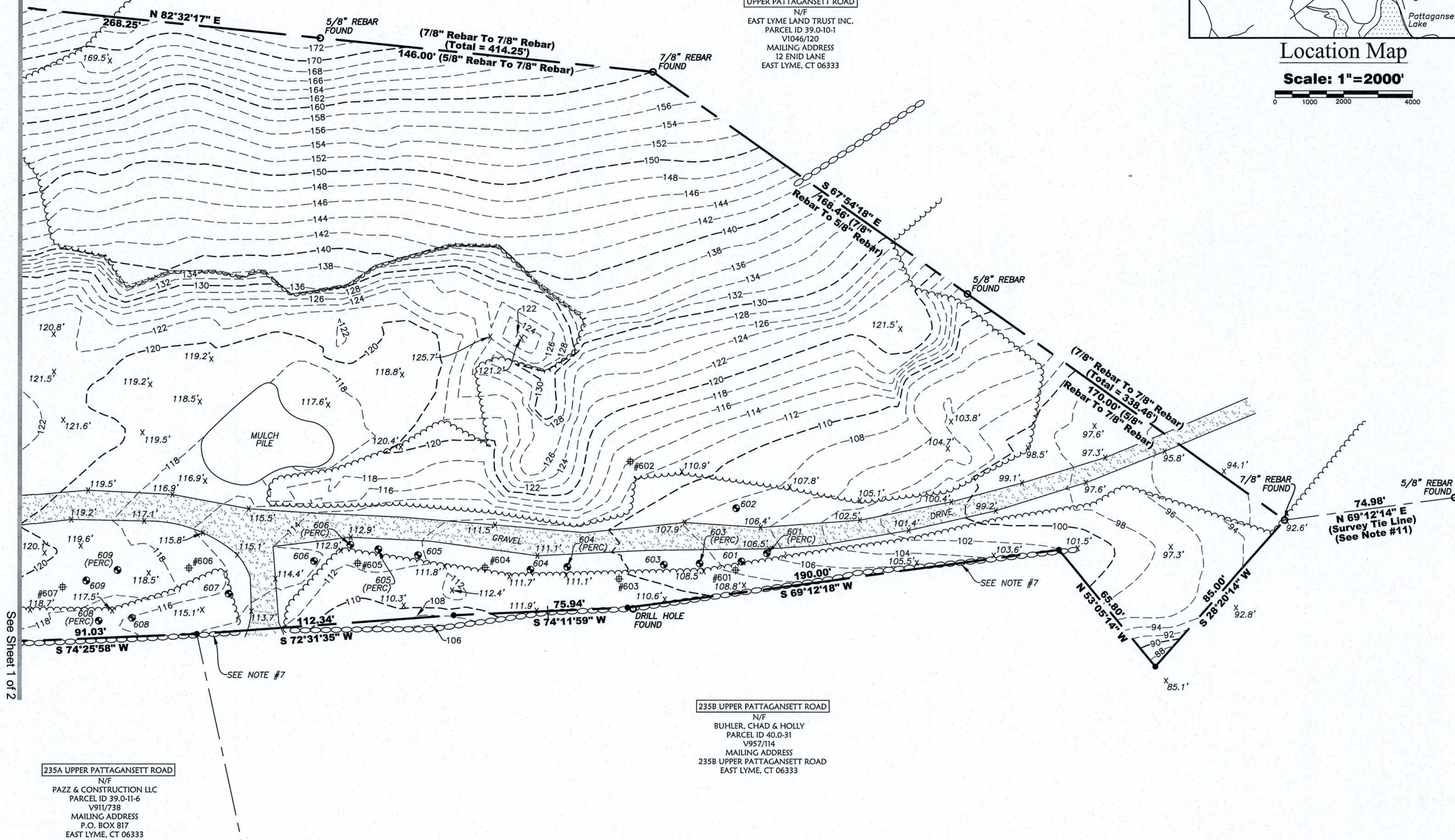


Legend			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
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⊕	BENCH MARK	---	EASEMENT LINE
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⊙	LIGHT POLE	X.X'	SPOT ELEVATION
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Matchline A



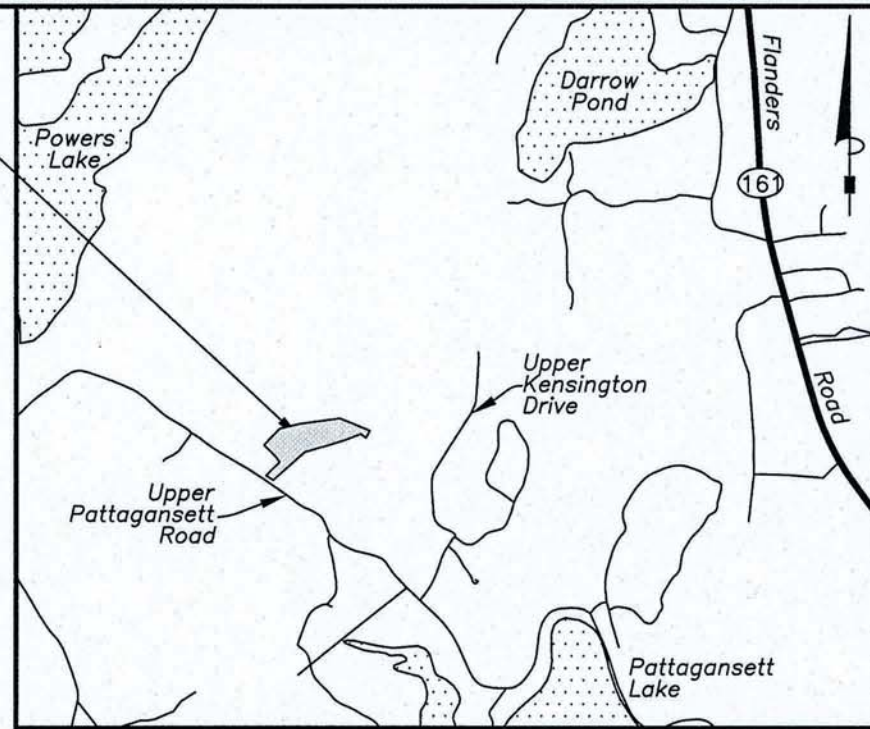
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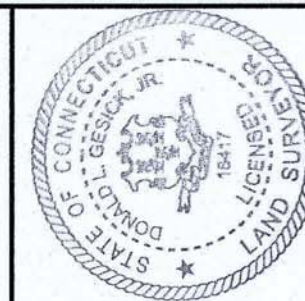
237 Upper Pattagansett Road
East Lyme, Connecticut



Location Map

Scale: 1"=2000'

0 1000 2000 4000



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To the best of my knowledge and belief this map is substantially correct as noted herein.

Kristen Clarke
Kristen Clarke, P.E.
Surveyor
June 15, 1981

GESICK & ASSOCIATES, P.C.

SURVEYORS & MAPPERS & PLANNERS
19 CEDAR ISLAND AVE.
CLINTON, CONNECTICUT 06413
OFFICE: 860-669-7799 FAX: 860-669-5833
www.gesicksurveyors.com

**Topographic Survey
& Existing Conditions**
of
237 Upper Pattagansett Road
East Lyme, Connecticut
Prepared for
Kristen Clarke P.E.

Revisions	
8/12/2025	Revised Per Comments
9/3/2025	Revised Per Comments

Date: December 30th, 2024

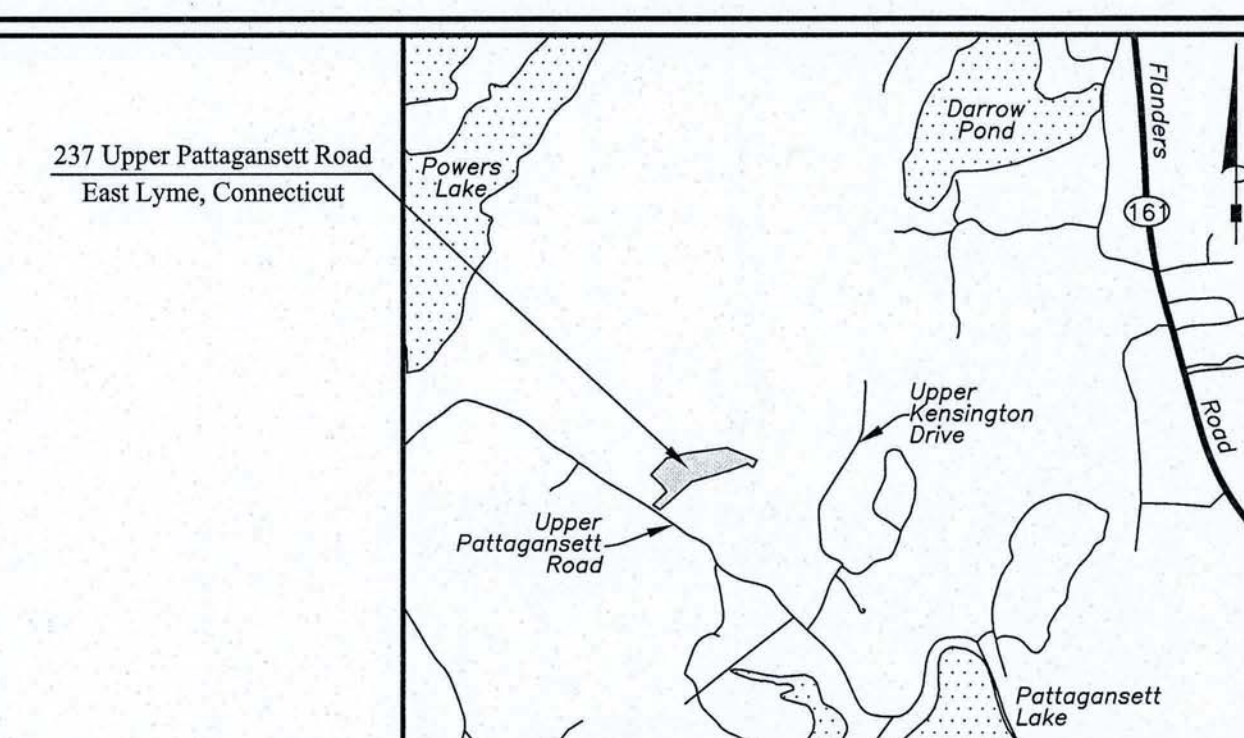
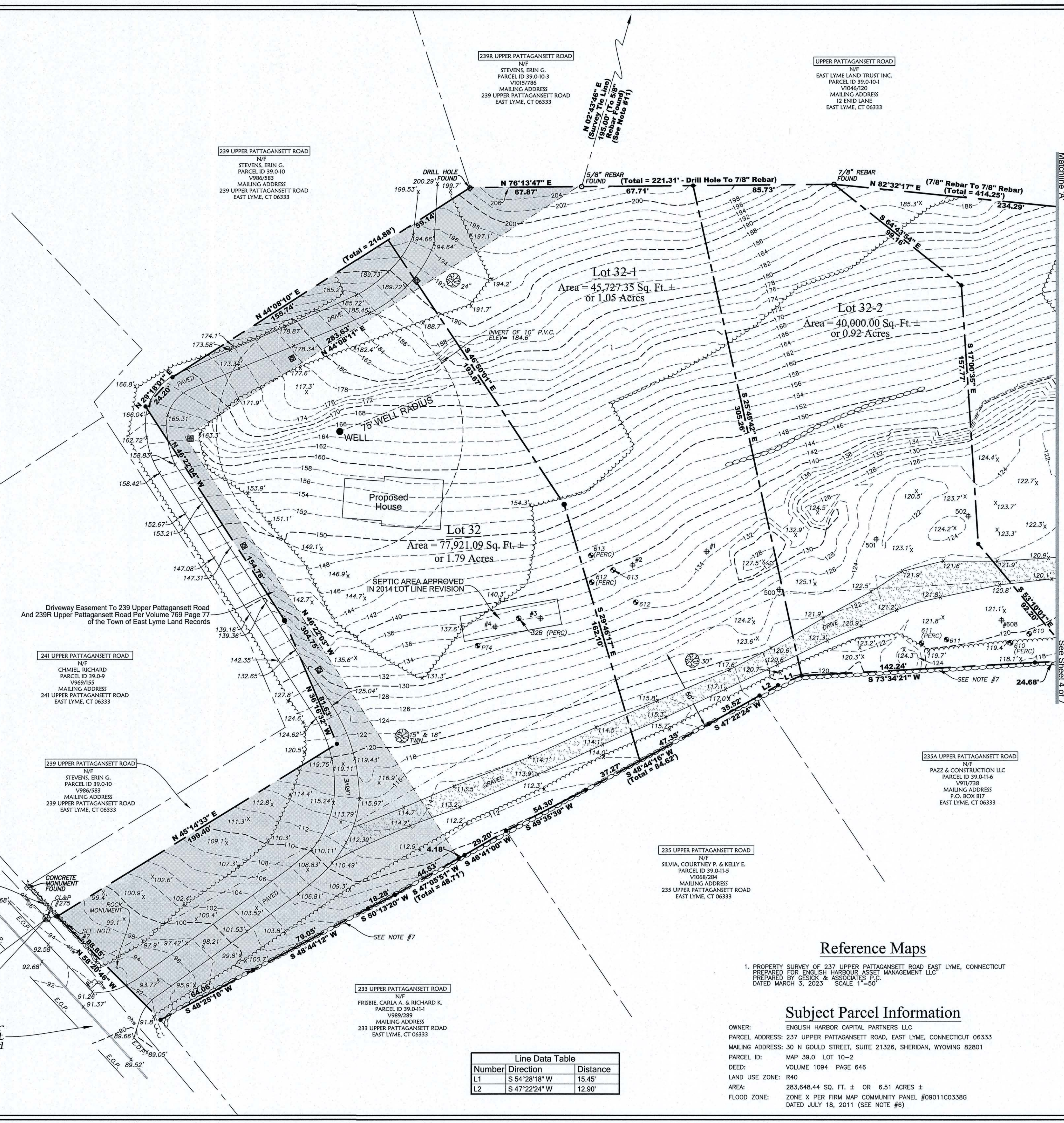
Drawing: 23-005h

Drawn: P.H.

Sheet

3 OF 7

Scale: 1"=30'
0 15 30 60



SYMBOL		DESCRIPTION	
●	PROPERTY CORNER	—	TREELINE
○	IP / REBAR	---	INDEX CONTOUR
□	MON / MERESTONE	---	INTERMEDIATE CONTOUR
⊕	BENCH MARK	---	EASEMENT LINE
○	UTILITY POLE	---	PROPERTY LINE
—	GUY WIRE	---	PROPERTY LINE OTHER
—	SIGN	---	ROAD PAINTMARKS
—	LIGHT POLE WITH WOOD PLANTER	X, X'	SPOT ELEVATION
—	TEST BORE	—	GRAVEL AREA
—	TEST PIT	N/F	NOW OR FORMERLY
—	MAILBOX	ELEV / EL	ELEVATION
—	DECIDUOUS TREE	INV	INVERT
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6) THE FLOOD ZONE BOUNDARIES SHOWN WERE DERIVED UTILIZING FLOOD INSURANCE RATE MAPS. THE FLOOD ZONE BOUNDARIES WERE DIGITIZED AND ARE TO BE CONSIDERED AS APPROXIMATE ONLY AND FOR INFORMATIONAL PURPOSES ONLY.

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9) TREES AND STUMPS SHOWN ON THIS MAP WERE FIELD LOCATED BUT ARE NOT SHOWN TO SCALE.

10) UNLESS OTHERWISE NOTED, BUILDING OFFSETS ARE TO BUILDING SIDING ABOVE THE FOUNDATION.

11) SURVEY TIE LINE IS NOT PROPERTY LINE.

Reference Maps

1. PROPERTY SURVEY OF 237 UPPER PATTAGANSETT ROAD EAST LYME, CONNECTICUT PREPARED FOR ENGLISH HARBOR ASSET MANAGEMENT LLC PREPARED BY GESICK & ASSOCIATES, P.C. DATED MARCH 3, 2023 SCALE 1"=50'

Subject Parcel Information

OWNER: ENGLISH HARBOR CAPITAL PARTNERS LLC
PARCEL ADDRESS: 237 UPPER PATTAGANSETT ROAD, EAST LYME, CONNECTICUT 06333
MAILING ADDRESS: 30 N GOULD STREET, SUITE 21326, SHERIDAN, WYOMING 82801
PARCEL ID: MAP 39.0 LOT 10-2
DEED: VOLUME 1094 PAGE 646
LAND USE ZONE: R40
AREA: 283,648.44 SQ. FT. ± OR 6.51 ACRES ±
FLOOD ZONE: ZONE X PER FIRM MAP COMMUNITY PANEL #09011C0338G DATED JULY 18, 2011 (SEE NOTE #6)

Line Data Table		
Number	Direction	Distance
L1	S 54°28'18" W	15.45'
L2	S 47°22'24" W	12.90'

Scale: 1"=30'



Copies of this survey map not bearing the Land Surveyor's Seal shall not be considered as valid copies. Certificates indicated or implied herein for whom the survey is prepared, and on behalf of whom the survey is conducted, are not transferable to additional parties or subsequent projects and third parties.

The best of my knowledge and belief this map is substantially correct as noted herein.

Kristen Clarke P.E.
Kristen Clarke P.E.
Surveyor
1981

SYMBOL		DESCRIPTION	
—	PROPERTY CORNER	—	TREELINE
---	INDEX CONTOUR	---	INTERMEDIATE CONTOUR
---	EASEMENT LINE	---	PROPERTY LINE
---	PROPERTY LINE OTHER	---	ROAD PAINTMARKS
X, X'	SPOT ELEVATION	---	GRAVEL AREA
N/F	NOW OR FORMERLY	---	ELEVATION
INV	INVERT	---	POLYVINYL CHLORIDE
P.V.C.	POLYVINYL CHLORIDE	---	EDGE OF PAVEMENT
E.O.P.	EDGE OF PAVEMENT	---	

GESICK & ASSOCIATES, P.C.
SURVEYORS & MAPPERS & PLANNERS
19 CEDAR ISLAND AVE.
CLINTON, CONNECTICUT 06413
OFFICE: 860-669-7799 FAX: 860-669-5833
www.gesicksurveyors.com

Proposed Subdivision Plan
of
237 Upper Pattagansett Road
East Lyme, Connecticut
Prepared for
Kristen Clarke P.E.

Revisions	
8/12/2025	Revised Per Comments
9/9/2025	Revised Per Comments
Date: January 17th, 2025	
Drawing: 23-005h	
Drawn: P.H.	
Sheet	
4 OF 7	



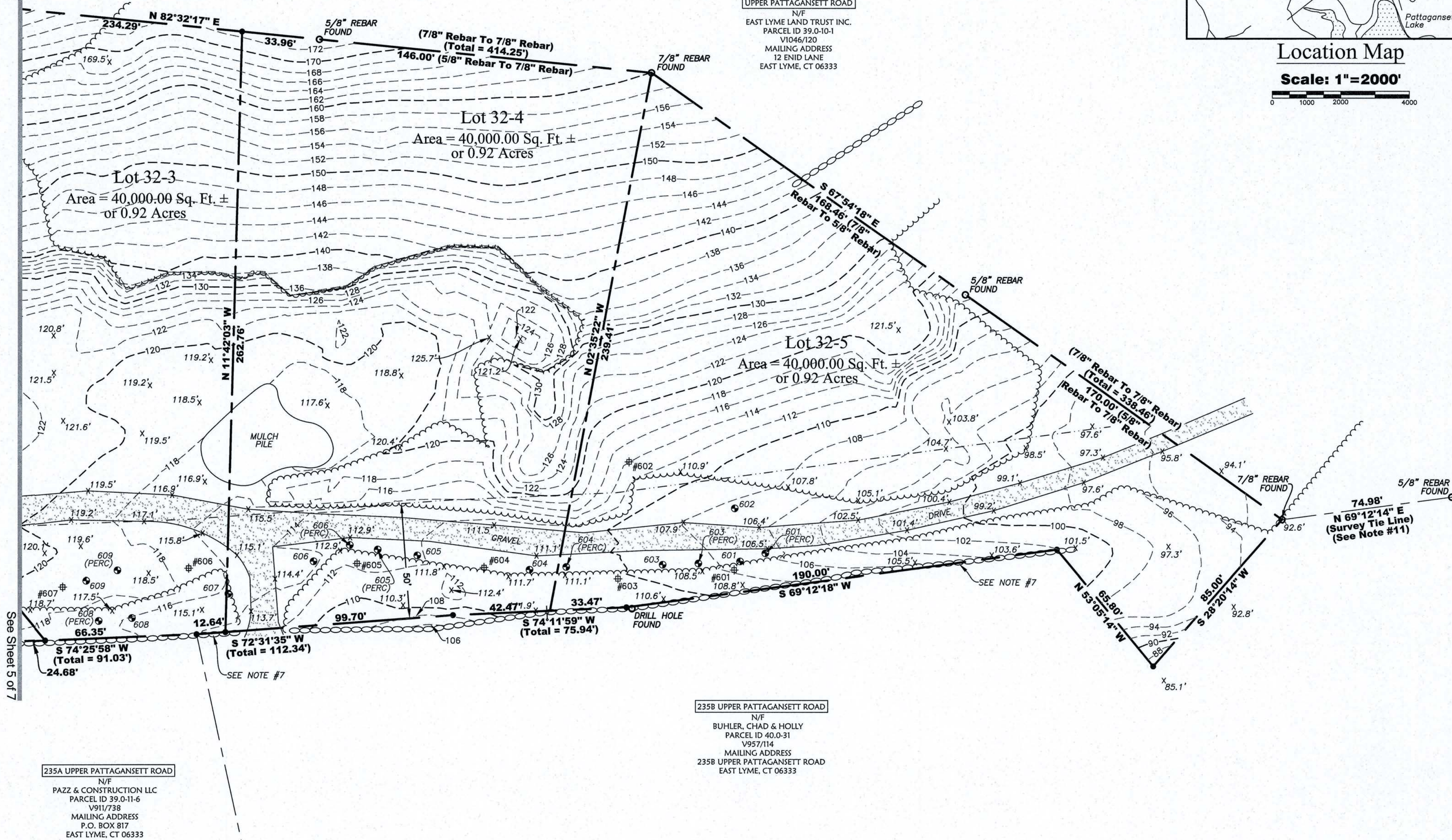
Legend

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
●	PROPERTY CORNER	---	TREELINE
○	IP / REBAR	---	INDEX CONTOUR
□	MON / MERESTONE	---	INTERMEDIATE CONTOUR
⊕	BENCH MARK	---	EASEMENT LINE
⊙	UTILITY POLE	---	PROPERTY LINE
⊗	GUY WIRE	---	PROPERTY LINE OTHER
⊥	SIGN	---	ROAD PAINTMARKS
⊙	LIGHT POLE	X.X'	SPOT ELEVATION
⊙	TEST BORE	■	GRAVEL AREA
⊙	TEST PIT	N/F	NOW OR FORMERLY
⊙	MAILBOX	ELEV / EL	ELEVATION
⊙	DECIDUOUS TREE	INV	INVERT
⊙	STONEWALL	P.V.C.	POLYVINYL CHLORIDE
ohw	OVERHEAD WIRES	E.O.P.	EDGE OF PAVEMENT

Notes

- 1) THIS SURVEY PLAN HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF THE LAND SURVEYORS, INC. ON OCTOBER 26, 2018.
A. TYPE OF SURVEY: TOPOGRAPHIC SURVEY.
B. WITH RESPECT TO THE PERIMETER OF THE PROPERTY THE BOUNDARY DETERMINATION IS BASED UPON A RESURVEY OF REFERENCE MAP #1.
C. THIS SURVEY CONFORMS TO THE STANDARDS AND THE ACCURACY OF CLASS: A-2 HORIZONTAL & T-2 TOPOGRAPHIC ACCURACY.
D. BEARINGS AS DEPICTED ARE BASED UPON THE CONNECTICUT GRID SYSTEM NORTH AMERICAN DATUM OF 1983.
E. ELEVATIONS BASED UPON NORTH AMERICAN VERTICAL DATUM 1988.
F. CONTOUR INTERVAL = 2'.
G. THE INTENT OF THIS MAP IS TO DEPICT THE EXISTING CONDITIONS OF THE PROPERTY.
- 2) BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.
- 3) THE WORD "CERTIFY" AS USED IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR. IT IS A DECLARATORY STATEMENT, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER GUARANTEE NOR WARRANTY, EXPRESSED OR IMPLIED, OF ANY INFORMATION CONTAINED HEREON. NO CERTIFICATION IS EXPRESSED OR IMPLIED ON ANY ORIGINAL OR ANY DUPLICATE OF THIS MAP UNLESS IT BEARS AN ORIGINAL STAMP OR SEAL AND ORIGINAL SIGNATURE OF THE INDIVIDUAL WHOSE REGISTRATION NUMBER APPEARS HEREON.
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Machine A'



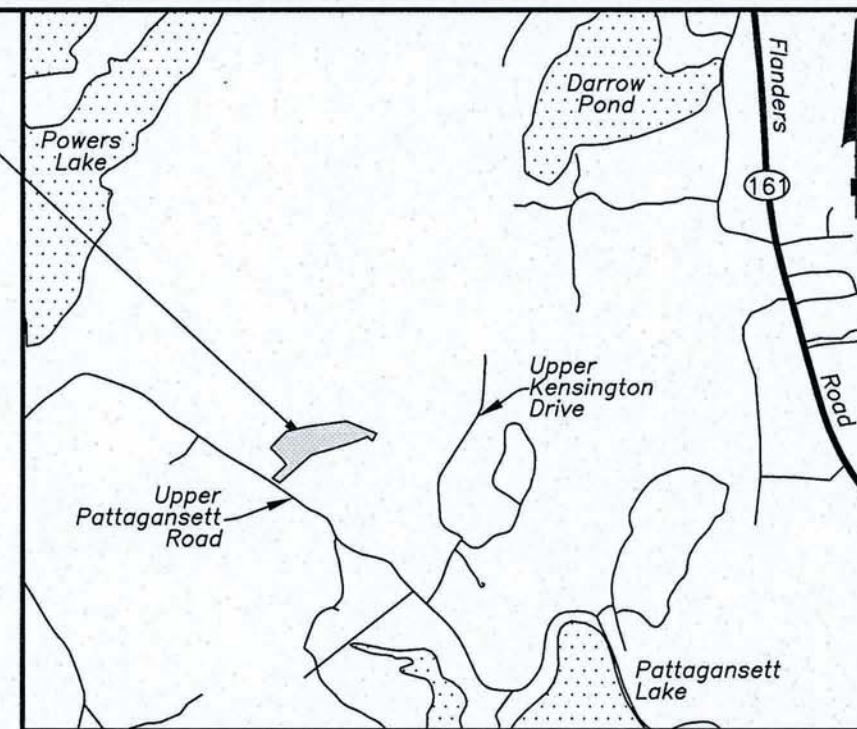
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PARCEL ID: MAP 39.0 LOT 10-2
DEED: VOLUME 1094 PAGE 646
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237 Upper Pattagansett Road
East Lyme, Connecticut



Location Map

Scale: 1"=2000'

0 1000 2000 4000



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The best of my knowledge and belief this map is substantially correct as noted herein.

Kristen Clarke
Kristen Clarke, P.E.
Surveyor No. 18417

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Proposed Subdivision Plan
of
237 Upper Pattagansett Road
East Lyme, Connecticut
Prepared for:
Kristen Clarke P.E.

Revisions
8/12/2025 - Revised Per Comments
9/3/2025 - Revised Per Comments

Date: January 17th, 2025

Drawing: 23-005h

Drawn: P.H.

Sheet

5 OF 7

Scale: 1"=30'

0 15 30 60

PRE-CONSTRUCTION

- ## DURING CONSTRUCTION

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.
- 12.

- ## SOIL AND EROSION CONTROL

- | MULCHES | RATES
PER 1000 FT | NOTES |
|---------------------------------------|----------------------|--|
| STRAW OR HAY 1/2 - 2 TONS
PER ACRE | 70-90lbs. | FREE FROM WEEDS & COARSE
MATTER. MUST BE ANCHORED
SPREAD WITH MULCH BLOWER
OR BY HAND |

-
- The diagram illustrates the construction of a straw bale barrier in four steps:
- 1. EXCAVATE A TRENCH 4" DEEP AND THE WIDTH OF A STRAW BALE.** A cross-section view shows a trench being dug into the ground. A straw bale is shown being placed into the trench. A label "TRENCH" points to the excavation.
 - 2. PLACE AND STAKE TWO STRAW BALES, TWO STAKES PER BALE.** A side view shows a straw bale being secured by two vertical stakes. Labels "STRAW BALE" and "STAKE" point to the respective components.
 - 3. WEDGE LOOSE STRAW BETWEEN BALES TO CREATE A CONTINUOUS BARRIER.** A cross-section view shows two straw bales joined together with loose straw wedged between them. Labels "PACKED HAY" and "PLAN VIEW" are present.
 - 4. BACK FILL AND COMPACT THE EXCAVATED SOIL, AS SHOWN, ON THE UPHILL SIDE OF THE BARRIER TO PREVENT PIPING.** A cross-section view shows the completed barrier with soil backfilled and compacted on the uphill side.

10. ALL ROAD SECTION EMBANKMENTS, EITHER CUT OR FILL, SHOULD BE STABILIZED AT THE TOE OF THE SLOPE BY STAKED HAY BALES OR SILT FENCE.

-
- WRONG
- 10'
- RIGHT
- PLAN
- FLOW
- BOTTOM OF DRAINAGE WAY
- PLAN
- ELEVATIONS: POINT A SHOULD BE HIGHER THAN POINT B.
- ELEVATION

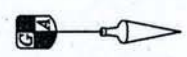
The map shows the study area in the upper right quadrant, indicated by a rectangle. The area includes Powders Lake, Darrow Pond, Upper Kensington Drive, Upper Patagonsett Road, Patagonsett Lake, and the intersection of Routes 15 and 1. A north arrow is located in the upper right corner.

Scale: 1"=2000

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To the best of my knowledge and belief this map is substantially correct as noted herein.


Donald L. Gesick Jr., L.S.
Reg. No. 18417



GESICK & ASSOCIATES, P.C.

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Details

**Nottingham Hills Subdivision
6 Lot Re-Subdivision of Lot 32
Prepared for Kristen Clarke P.E.**

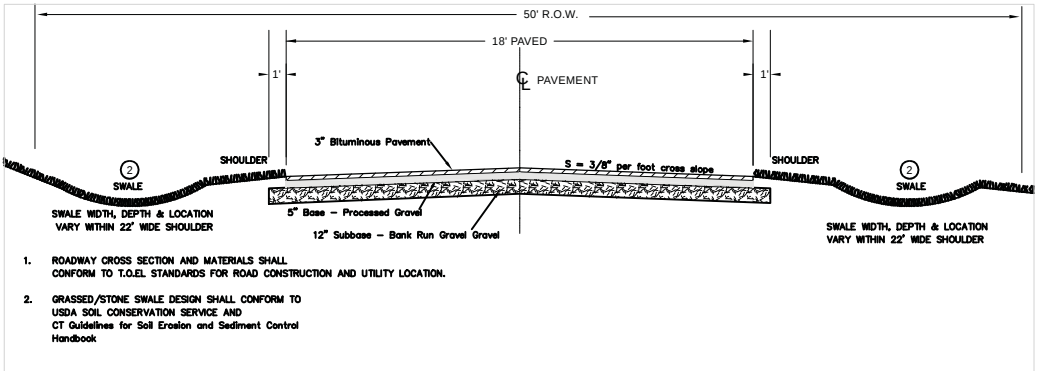
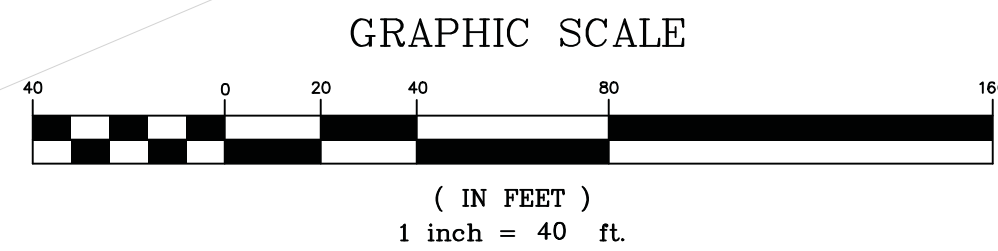
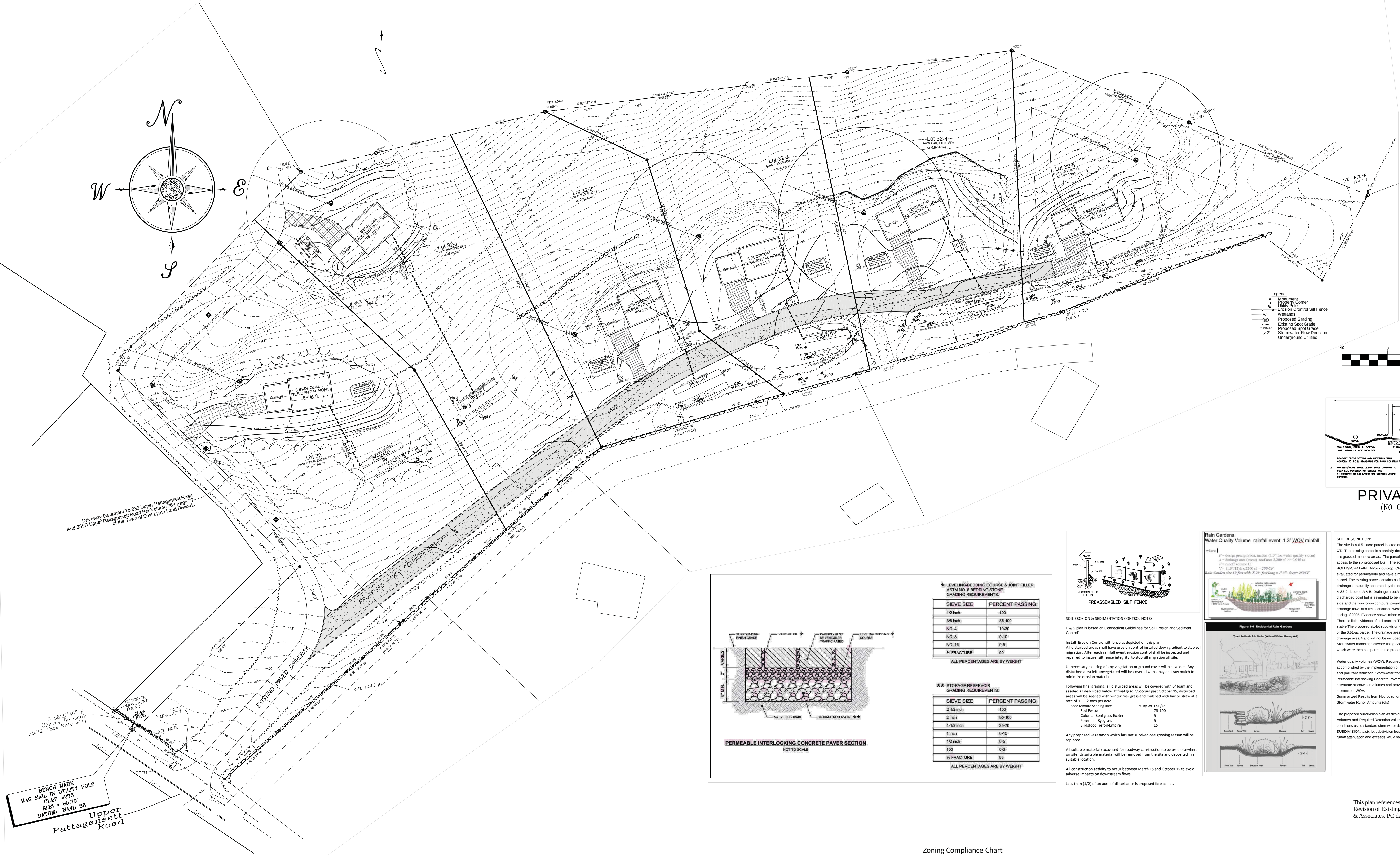
8/12/2025 - Revised Per Comments
9/3/2025 - Revised Per Comments

Date: January 17th, 2025

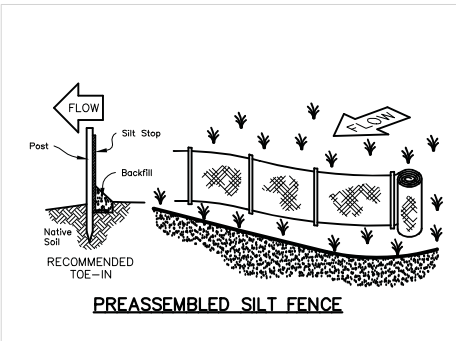
Drawing: 23-005b

Drawn: P.H.

Shee



PRIVATE DRIVEWAY DETAIL
(NO CURBS, GRASS SWALE BOTH SIDES)



PRE-ASSEMBLED SILT FENCE

SOIL EROSION & SEDIMENTATION CONTROL NOTES

E & S plan is based on Connecticut Guidelines for Soil Erosion and Sediment Control

Install Erosion Control silt fence as depicted on this plan. All disturbed areas shall have erosion control installed down gradient to stop soil migration. After each rainfall event erosion control shall be inspected and repaired to insure silt fence integrity to stop silt migration off site.

Unnecessary clearing of any vegetation or ground cover will be avoided. Any disturbed area left uninvestigated will be covered with a hay or straw mulch to minimize erosion material.

Following final grading, all disturbed areas will be covered with 6" loam and seeded as described below. If final grading occurs past October 15, disturbed areas will be seeded with winter rye grass and mulched with hay or straw at a rate of 1.5 - 2 tons per acre.

Seed Mixture Seeding Rate: % by Wt. Lbs./Ac.
Red Fescue 75-100
Colonial Bentgrass Exeter 5
Perennial Ryegrass 5
Birdseed Traffic Engine 15

Any proposed vegetation which has not survived one growing season will be replaced.

All suitable material excavated for roadway construction to be used elsewhere on site. Unsuitable material will be removed from the site and deposited in a suitable location.

All construction activity to occur between March 15 and October 15 to avoid adverse impacts on downstream flows.

Less than 1/2 of an acre of disturbance is proposed for each lot.

Rain Gardens
Water Quality Volume rainfall event 1.3" WQV rainfall
where:
P = design precipitation, inches (1.3" for water quality storms)
A = drainage area (acres) roof area 2,200 sf = 0.045 ac
C = runoff coefficient
V = (1.37126) x 2,200 sf = 2,988 CF
Rain Garden size 18' feet wide x 28' feet long x 1' 3" depth 25K CF

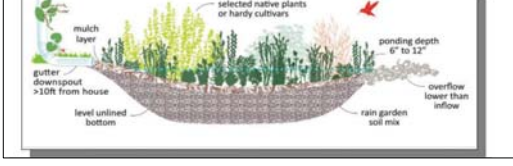


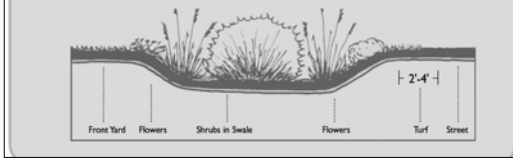
Figure 4.4. Residential Rain Gardens

Typical Residential Rain Garden (With and Without Stormwater Pump)

Water quality volumes (WQV), Required Retention Volumes (RRV), Water Quality Flows (WQF) and pollutant reduction BMPs were evaluated and accomplished by the implementation of stormwater infiltration and retention devices to achieve the required 90% reduction in total suspended solids (TSS) and pollutant reduction. Stormwater from roof drains will be discharged to rain gardens designed to infiltrate storm water to reduce WQV and WQF.

Permeable Interlocking Concrete Pavers (PICP) are incorporated in the driveway design to provide stormwater infiltration, storage and treatment to attenuate stormwater volumes and provide pollutant reduction. Stormwater estimates have been modeled and estimated to ensure sufficient reduction of stormwater WQV.

Summarized Results from Hydrologic for Storm Events - For Drainage A & B continued
Stormwater Runoff Amounts (cfs)



SITE DESCRIPTION
The site is a 6.51-acre parcel located on the northern side of Upper Pattagansett Road and on the southern side of Smith Hill, in the Town of East Lyme, CT. The existing parcel is a partially developed wooded parcel that has mature deciduous trees and several open areas where soil was excavated that now are grassed meadow areas. The parcel has average slopes ranging from 3% to 18%. There is an existing paved and partially gravel driveway that provides access to the six proposed lots. The soil type is primarily a hydric soil group B consisting of HOLLIS CHATFIELD-Rock outcrop, CHARLTON CHATFIELD and CANTON and CHARLTON fine sandy/gravelly sandy loam. The soil types were evaluated for permeability and have a moderate to high infiltration rate, referencing the USDA Natural Resource Conservation Service Soil Survey for this parcel. The existing parcel contains no Directly Connected Impervious Areas (DCIA) that convey stormwater. Stormwater flows onto the parcel. The parcel drainage is naturally separated by the existing topography that splits the flows into two subcatchment drainage areas that lie between the proposed lots 32-1 & 32-2, labeled A & B. Drainage area A is a 2.81 ac area where stormwater flows northeast to southwest. There are no visual signs of a common outfall discharge point but is estimated to be near the common private driveway on the south west side of the parcel. Drainage area B flows from the northeast side and the flow follow contours toward the southeast side of the parcel to a common discharge point along the southeast side of the parcel. This parcel's drainage flows and field conditions were visually confirmed during several on-site inspections after large rainfall events during the fall/winter of 2024 and the spring of 2025. Evidence shows minor concentrated flows or stormwater flows are produced, with very little soil migration of fines or acute channelization. There is little evidence of soil erosion. This further demonstrates that the onsite soil has a high infiltration capacity and the soil conditions at the site are stable. The proposed six lot subdivision design will have between approximately 0.21 to 0.41 ac of disturbance for each lot, for a total of approximately 2.0 ac of the 6.51-acre parcel. The drainage area for the 6.51-acre parcel is contained in a 7.8 ac sub-catchment drainage area. The existing paved drive is outside drainage area A and will not be included in drainage calculations. However, the area for the proposed new paved private drive is included. HydroCAD Stormwater modeling software using Soil Conservation Service (SCS/NRCS) methods was used to model existing/undeveloped stormwater conditions, which were then compared to the proposed/developed conditions.

Water quality volumes (WQV), Required Retention Volumes (RRV), Water Quality Flows (WQF) and pollutant reduction BMPs were evaluated and accomplished by the implementation of stormwater infiltration and retention devices to achieve the required 90% reduction in total suspended solids (TSS) and pollutant reduction. Stormwater from roof drains will be discharged to rain gardens designed to infiltrate storm water to reduce WQV and WQF.

Permeable Interlocking Concrete Pavers (PICP) are incorporated in the driveway design to provide stormwater infiltration, storage and treatment to attenuate stormwater volumes and provide pollutant reduction. Stormwater estimates have been modeled and estimated to ensure sufficient reduction of stormwater WQV.

Summarized Results from Hydrologic for Storm Events - For Drainage A & B continued
Stormwater Runoff Amounts (cfs)

The proposed subdivision plan as designed has incorporated stormwater BMPs and reduction practices to mitigate stormwater impacts. Water Quality Volumes and Required Retention Volumes are achieved and implemented with standard design practices that are within parameters of the existing site conditions. Best Management Practices (BMPs) CT Stormwater Design Manual. As proposed, NOTTINGHAM HILLS SUBDIVISION, a six-lot subdivision located at 237 Upper Pattagansett Road, East Lyme, CT, has an overall average stormwater reduction of 19% in peak runoff attenuation and exceeds WQV requirements for reduction.

This plan references Survey Plan developed for Kristen Clarke, PE plan titled Lot line Revision of Existing Lot 32 & 5 Lot Re-Subdivision of lot 32. Plan prepared by Gesick & Associates, PC dated 17 January 2025.

Zoning Compliance Chart							
Zone RU40 Conservation Design Development							
ITEM	REQUIRED	REVISED LOT 32	NEW LOT 32-1	LOT 32-2	LOT 32-3	LOT 32-4	LOT 32-5
MINIMUM LOT SIZE	NOT REQUIRED	77,921 SQ. FT.	45,727.35 SQ. FT.	40,000.00 SQ. FT.	40,000.00 SQ. FT.	40,000.00 SQ. FT.	40,000.00 SQ. FT.
MINIMUM LOT FRONTAGE	NOT REQUIRED	N/A	N/A	N/A	N/A	N/A	N/A
MINIMUM FRONT SETBACK	10 FT.	182 FT.	263 FT.	96.0 FT.	104.1 FT.	105.2 FT.	55.7 FT.
MINIMUM SIDE SETBACK(W)	15 FT.	137 FT.	24 FT.	76 FT.	51.6 FT.	32.6 FT.	27.6 FT.
MINIMUM SIDE SETBACK (E)	30 FT.	53 FT.	76 FT.	20.4 FT.	31.6 FT.	61.5 FT.	79.6 FT.
MINIMUM BACK SETBACK	30 FT.	67.9 FT.	42 FT.	164.6 FT.	136.0 FT.	134.8 FT.	79.0 FT.
MAXIMUM BUILDING HEIGHT	30 FT.	<30 FT.	<30 FT.	<30 FT.	<30 FT.	<30 FT.	<30 FT.
MAXIMUM COVERAGE	15%	3.5%	6.0%	6.7%	6.8%	6.8%	6.8%
EXISTING LOT	6.51 AC	NA	NA	NA	N/A	N/A	N/A



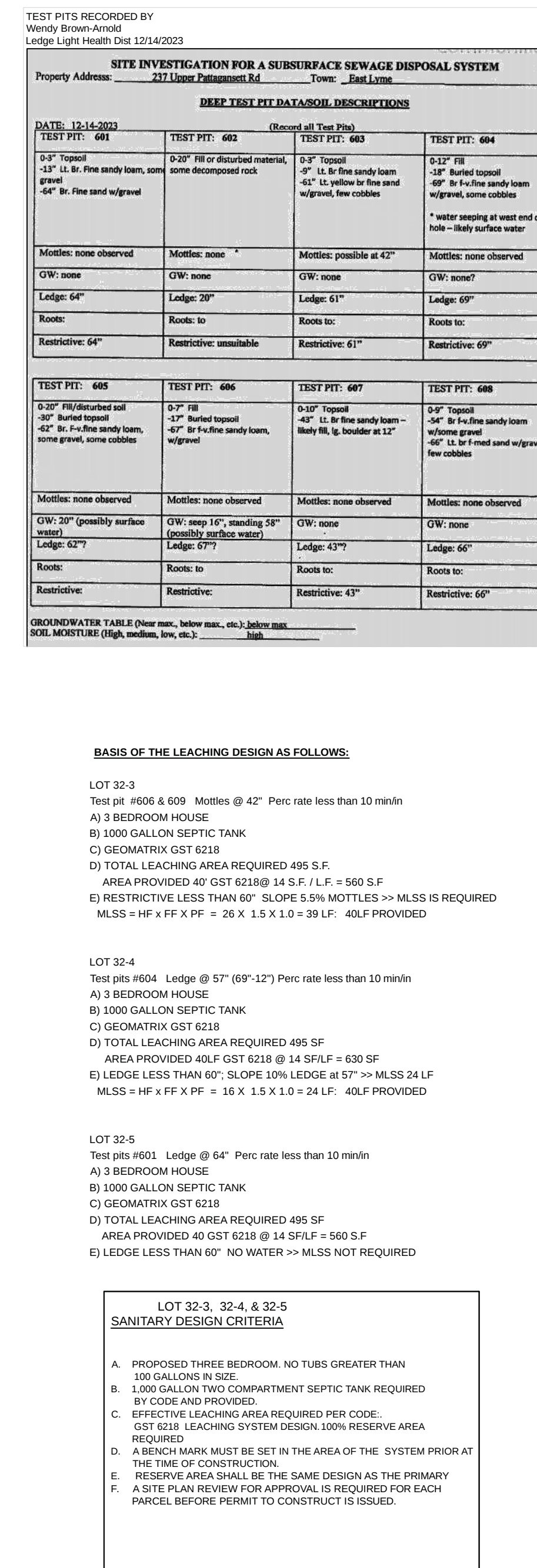
PLAN SHOWING
PROPERTY OF
ENGLISH HARBOR CAPITAL PARTNERS, LLC
237 Upper Pattagansett Rd.
EAST LYME, CONNECTICUT

Sub-Division Layout Plan
Lot Grading, Layout Plan and E&S Plan

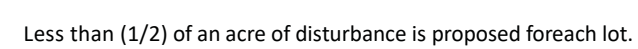
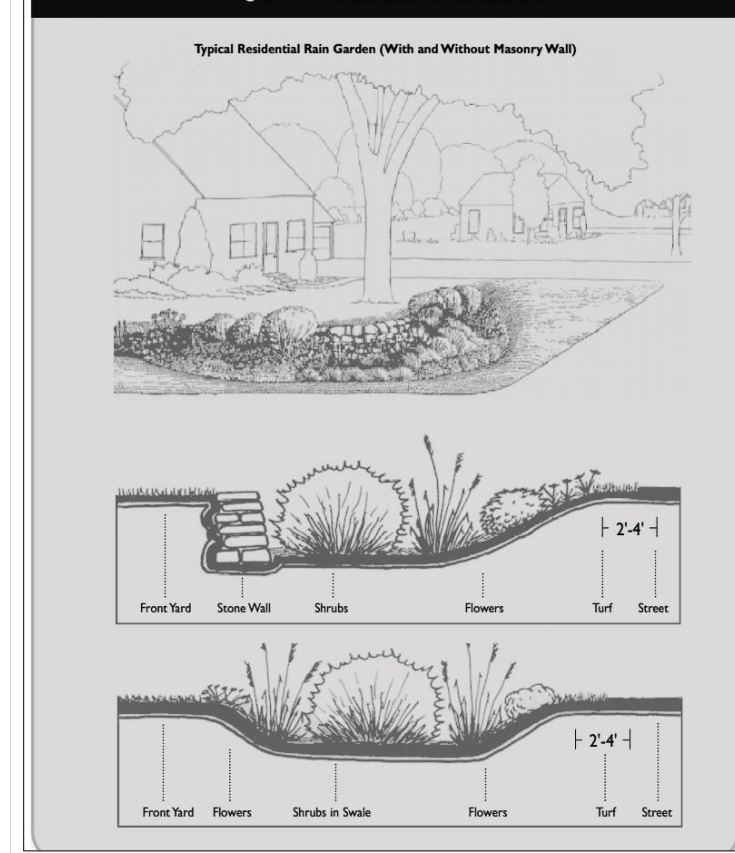
May Engineering LLC
Civil Engineering and Site Planning
1297 RT 163 Oakdale, CT 06370
860 884-9671

NOTTINGHAM HILLS
SUBDIVISION

SCALE: 1"=40'
DATE: 27 August 2025 Rev 09/04/2025
JOB NUMBER SHEET
1 of 3



<u>Peric Tests</u> 237 UPPER LYNNCONNECTSETT ROAD East Lynn Connecticut Date: NOVEMBER 2, 2024 Weather: Conditions 55 Degree-Dry			
Lot 32.3 Test No. 608 Hole Depth 24"			
Pre soak 3-30 prn-1/1-Dry-10:00 am-11/2			
	Reading	Drop	
10:10 (refill hole 12")	24.0"	n/a	
10:20	20.0"	4.0"	
10:30	18.0"	2.0"	
10:40	18.5"	1.5"	
10:50	15.25	1.25"	
11:00	<u>14.25</u>	<u>1.0"</u>	
50 minutes		9.75"	
Lot 32.3 Test No. 609 Hole Depth 24"			
Pre soak 3-35 prn-1/1-Dry 10:00 am-11/2			
	Reading	Drop	
10:10 (refill hole 12")	24.0"	n/a	
10:20	20.0"	4.0"	
10:30	17.75	2.25"	
10:40	16.0"	1.75"	
10:50	<u>14.0"</u>	<u>1.0"</u>	
40 minutes		9.5"	



Lots #32-3, 32-4, 32-5
Lot Grading, Layout Plan and E&S Plan

860 884-9671

3 of 3