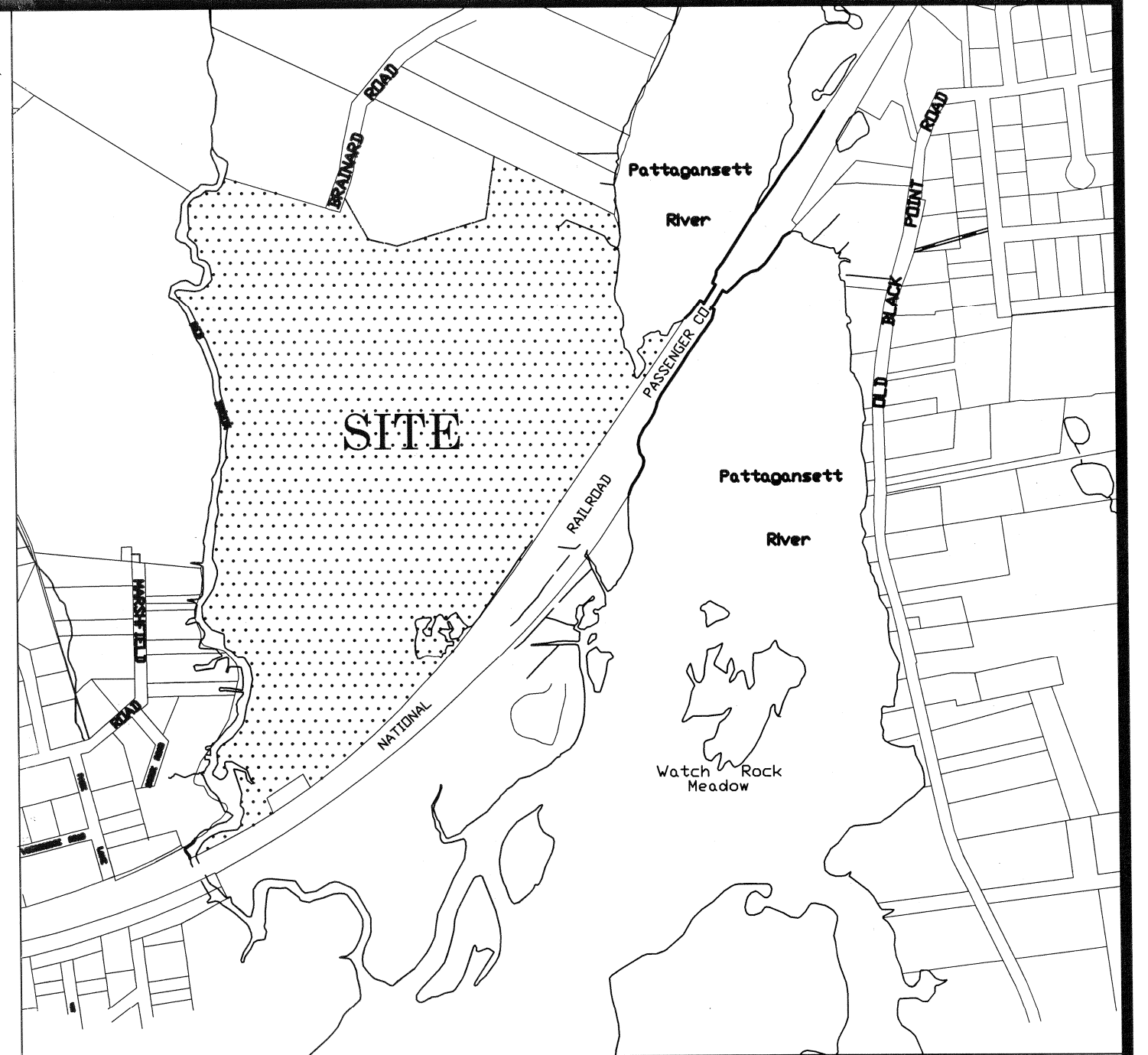
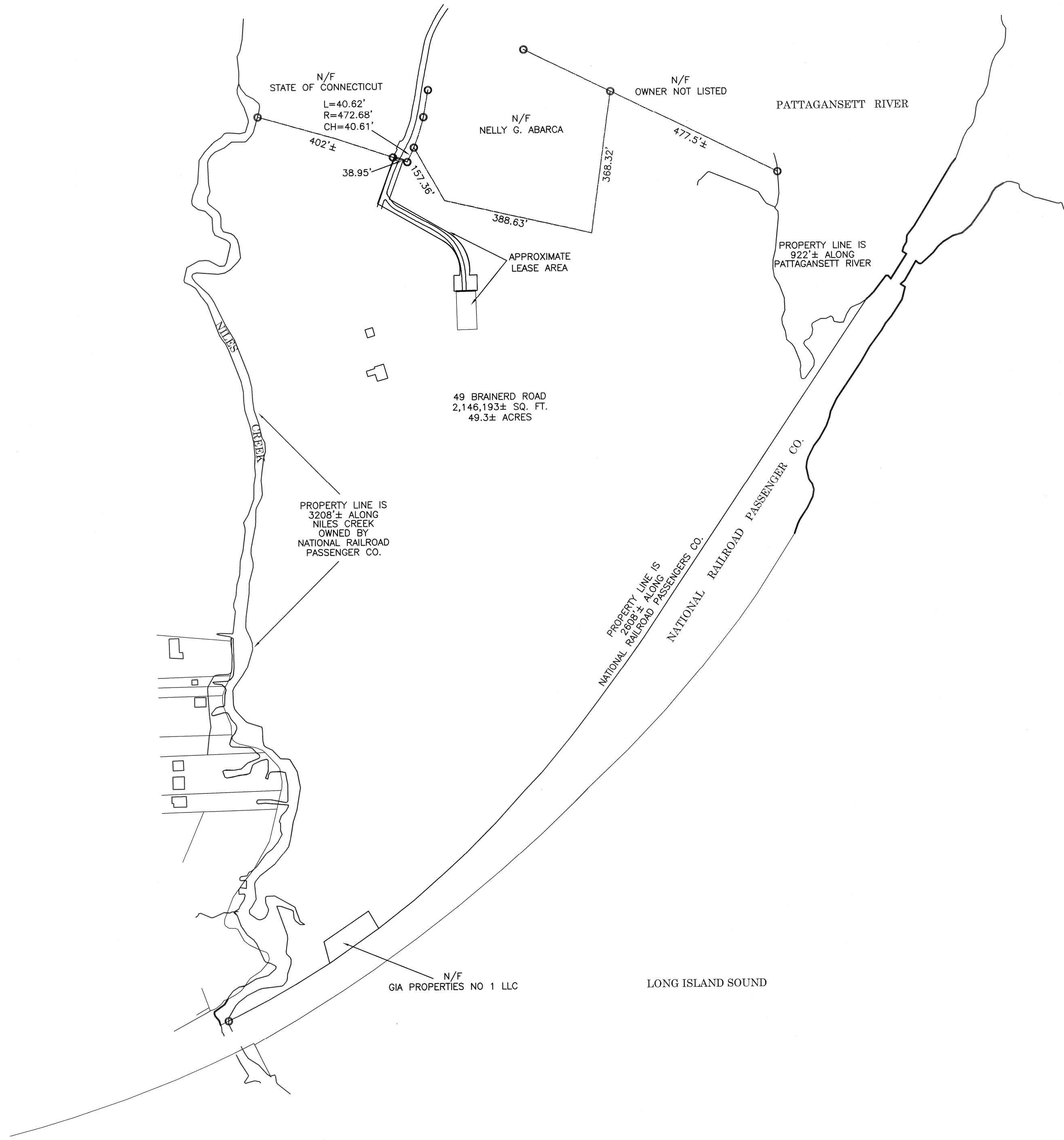


LEGEND

PROPERTY LINE
STREET LINE



NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A COMPILATION PLAN CONFORMING TO HORIZONTAL ACCURACY CLASS D TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION, IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY, AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
2. MAP REFERENCES
 - A. "MAP SHOWING CERTAIN PROPERTIES OF THE CRESCENT BEACH LAND COMPANY LOCATED IN THE TOWN OF EAST LYME CONNECTICUT SCALE -1IN = 100FT T.M. RUSSELL FEB. 18, 1963"
 - B. "MAP OF THE PRELIMINARY AND FINAL PLAN OF A SUBDIVISION TO BE KNOWN AS MINER SUBDIVISION BRAINERD ROAD" LOCATED IN THE TOWN OF EAST LYME, CONN. SCALE-1"=50' T.M. RUSSELL, JR. GUILFORD, CONN. MAR. 3, 1967"
 - C. "PROPERTY SURVEY OF A PORTION OF PROPERTY NOW OR FORMERLY OF ELSIE B. RAVEN BRAINERD RD. E. LYME, CONN. SCALE: 1" = 20' APRIL, 1978 SEABOARD ENGINEERING CORP. NANTIC, CONN."
 - D. "COMPILATION PLAN MAP SHOWING EASEMENT AREA T OBE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS PROPERTY OF CHRISTOPHER SAMULSEN 49 BRAINERD RD. NANTIC, CT. SCALE: 1" = 40' DATE: AUGUST 8, 2011 CL&P FILE No E1070"
 - E. TOWN OF EAST LYME, CONNECTICUT GEOGRAPHIC INFORMATION SYSTEM.
3. THE PROPERTY IS SUBJECT TO RESTRICTIONS, RESERVATIONS AND MUTUAL RIGHTS OF WAY AS SET FORTH IN A WARRENTY DEED FROM SARAH I. BRAINERD TO ADDISON G. BRAINERD, DATED MAY 17, 1919 AND RECORDED IN VOLUME 22 AT PAGE 606 OF THE EAST LYME LAND RECORDS.
4. THE PROPERTY IS SUBJECT TO LEASES, EASEMENTS WITH SBA TOWERS, THE CONNECTICUT LIGHT AND POWER COMPANY, AND THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY, D.B.A. AT&T CONNECTICUT IN VOLUME 1103 PAGE 413 OF THE EAST LYME LAND RECORDS AS WELLAS OTHER EASEMENTS AS RECORDS MAY SHOW.
5. BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.
THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL OPINION BY THE LAND SURVEYOR WHICH IS BASED ON HIS OR HER BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER GUARANTEE OR WARRANTY.
THE STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED

COMPILATION PLAN SHOWING
PROPERTY AREA OF
THE RODERICK M CORNISH
REVOCABLE TRUST
49 BRAINERD ROAD
EAST LYME, CONNECTICUT

DATE: JUNE 18, 2025

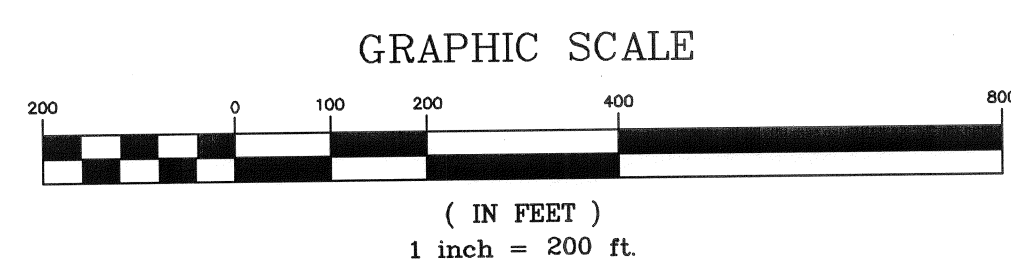
SHEET 1 OF 3

SCALE: 1" = 200'

JOB # 23-087

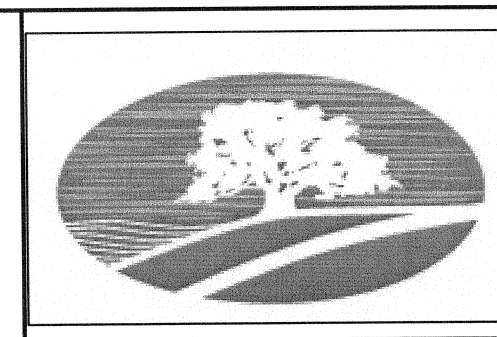
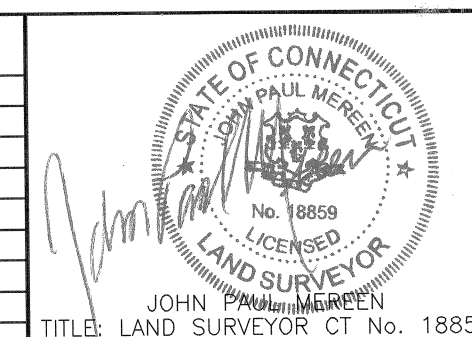
"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

JOHN PAUL MEREEEN
LAND SURVEYOR CT No. 18859
DATE: JUNE 18, 2025



THIS DRAWING IS THE PROPERTY OF THE LAND SURVEYOR. THIS PLAN AND REPRODUCTIONS, ADDITIONS OR REVISIONS OF THIS PLAN ARE NOT VALID WITHOUT THE EMBOSSED SEAL AND SIGNATURE OF THE LAND SURVEYOR WHO PREPARED THIS PLAN.

DATE	REVISION



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EAST LYME, CONNECTICUT 06333
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1. CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, MAY 2002.
2. SOIL SURVEY OF NEW LONDON COUNTY CONNECTICUT, U.S.D.A. SOIL CONSERVATION SERVICE 1983, AND WEB SOIL SURVEY (WSS) OF THE USDA NRCS

PROPOSED DEVELOPMENT WILL ALLOW FOR THE CREATION OF 1 NEW BUILDING LOT AND A LOT FOR AN EXISTING HOUSE ON 52.79+- ACRES WITH ACCESS FROM BRAINARD ROAD. BOTH LOTS WILL HAVE ON SITE WATER AND SEPTIC. BOTH WILL BE CONNECTED TO MUNICIPAL SEWER.

PRIOR TO THE COMMENCEMENT OF OPERATIONS IN ACCORDANCE WITH ANY PERMIT ISSUES BY THE TOWN OF EAST LYME PLANNING AND ZONING COMMISSION, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES. LOCATION OF THE EXTERIOR CLEARING LIMITS SHALL BE STAKED OUT BY A LICENSED SURVEYOR UNLESS OTHERWISE ALLOWED BY THE TOWN EROSION CONTROL AGENT.

THE CONTRACTOR SHALL OBTAIN A SITE INSPECTION FROM THE TOWN OF WATERFORD ZONING ENFORCEMENT OFFICER TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THIS NARRATIVE. POST CERTIFICATION WITH RESPECT TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MAY COMMENCE OPERATIONS PURSUANT TO THE PERMIT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE "FILTER BARRIER INSTALLATION & MAINTENANCE" AND THE "HAY BALE INSTALLATION & MAINTENANCE" SECTIONS OF THIS NARRATIVE.

ALL STRIPPING IS TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. TOPSOIL SHALL BE STOCKPILED SO THAT SLOPES DO NOT EXCEED 3 TO 1. A HAY BALE SEDIMENT BARRIER IS TO SURROUND EACH STOCKPILE AND A TEMPORARY VEGETATIVE COVER PROVIDED IF NECESSARY.

DUST CONTROL WILL BE ACCOMPLISHED BY SPRAYING WITH WATER.

THE PROPOSED PLANTING SCHEDULE IS TO BE ADHERED TO DURING THE PLANTING OF DISTURBED AREAS THROUGHOUT THE PROPOSED CONSTRUCTION SITE.

FINAL STABILIZATION OF THE SITE IS TO FOLLOW THE PROCEDURES OUTLINED IN PERMANENT VEGETATIVE COVER. IF NECESSARY A TEMPORARY VEGETATIVE COVER IS TO BE PROVIDED UNTIL A PERMANENT COVER CAN BE APPLIED.

DURING THE STABILIZATION PERIOD, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL EROSION AND SEDIMENT CONTROL ON A TWICE-WEEKLY BASIS DURING THE STABILIZATION PERIOD AND AFTER EACH STORM EVENT. DURING THE STABILIZATION PERIOD WITH RESPECT TO THE SITE, ANY EROSION WHICH OCCURS WITHIN DISTURBED AREAS SHALL BE IMMEDIATELY REPAIRED, RE-SEEDED AND REESTABLISHED.

ONCE STABILIZATION HAS BEEN COMPLETED AND CERTIFICATION THEREOF OBTAINED IN WRITING FROM THE ZONING ENFORCEMENT OFFICER OF THE TOWN OF WATERFORD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR.

IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERSTAND ALL ASPECTS OF ALL CONSTRUCTION ELEMENTS/DESIGNS, AS WELL AS THE EROSION & SEDIMENTATION CONTROL PLANS. SHOULD THE CONTRACTOR NOT UNDERSTAND ANY ASPECTS IT IS HIS/HER RESPONSIBILITY TO SEEK CLARIFICATION FROM THE APPROPRIATE AUTHORITY.

ANY REQUIRED BLASTING FOR PUBLIC OR LOT DEVELOPMENT SHALL REQUIRE A PRE-BLAST CONDITION SURVEY FOR, AT A MINIMUM, FOR ALL PROPERTIES ABUTTING THE AREA TO BE BLASTED. PER CT. STATUTE, THE FIRE MARSHAL SHALL MAKE ALL FINAL DETERMINATIONS ON REQUIREMENTS FOR PRE-BLAST CONDITIONS SURVEY.

IT IS ANTICIPATED THAT THE DEVELOPMENT WILL BEGIN FALL/WINTER OF 2025-26. PRIOR TO THE START OF CONSTRUCTION THE DEVELOPER IS TO SCHEDULE A PRE CONSTRUCTION MEETING WITH TOWN STAFF, THE CONTRACTOR AND PROJECT ENGINEER TO DISCUSS IMPORTANT SITE ISSUES. STAFFING, SCHEDULING, SITE ACCESS, CONSTRUCTION METHODS, AND INSPECTIONS PROCEDURES.

THE PROPOSED EROSION AND SEDIMENTATION CONTROLS HAVE BEEN DEVELOPED SPECIFICALLY WITH THE INTENT TO PRESERVE WATER QUALITY THROUGHOUT THE CONSTRUCTION PROCESS. ALL PROPOSED MEASURES SHALL BE ENFORCED BY THE CONTRACTOR AS A MINIMUM, AND IN NO CASE SHALL BE CONSIDERED AS A COMPLETE SOLUTION. ALL E&S PLANS ARE HIGHLY DEPENDENT ON WEATHER CONDITIONS AND WEATHER EVENTS THAT ARE BEYOND THE CONTROL OF THE CONTRACTOR. THE CONTRACTOR IS REQUIRED TO TAKE ANY AND ALL MEASURES TO PROTECT WATER QUALITY WITH RESPECT TO EROSION AND SEDIMENTATION THAT MAY BE NECESSARY TO PROTECT WATER QUALITY. PROPERTIES ALL CLAIMS FOR DAMAGES INTENDED TO BE A MINIMUM NEEDED FOR CURRENT CONSTRUCTION. THE CONTRACTOR SHALL BE ESPECIALLY CAREFUL TO AVOID SIGNIFICANT DISTURBANCE OF PROPOSED SEPTIC SYSTEM AREAS DURING CONSTRUCTION. SIGNIFICANT DISTURBANCE OF THESE AREAS MAY NEGATIVELY IMPACT THE VISIBILITY OF THE LOT, WHICH IS DISTURBED SHALL BE THE CONTRACTOR'S LIABILITY. THE CONTRACTOR SHALL MAKE WEEKLY INSPECTIONS OF DISTURBED AREAS AND CONTROL ELEMENTS AS WELL AS AFTER ANY RAINFALL. THE CONTRACTOR SHALL MAINTAIN REPAIR OR REPLACE AS NEEDED.

1. DIG A 6" TRENCH ON THE UPHILL SIDE OF THE BARRIER LOCATION.
2. POSITION THE POSTS ON THE DOWNHILL SIDE OF THE BARRIER AND DRIVE THE POST 1.5 FEET INTO THE GROUND.
3. LAY THE BOTTOM 6" OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING AND BACKFILL.
4. INSPECT AND REPAIR BARRIER AFTER HEAVY RAINFALL.
5. SEDIMENT DEPOSITS ARE TO BE REMOVED WHEN THEY REACH A HEIGHTS OF ONE FOOT BEHIND THE BARRIER ARE TO BE DEPOSITED IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
6. INSPECTIONS AND NECESSARY REPAIRS WILL BE MADE TWICE WEEKLY.

1. BALES SHALL BE PLACED AROUND ALL PROPOSED CATCH BASINS WITH THE ENDS TIGHTLY BUTTING EACH OTHER.
2. EACH BALE SHALL BE SECURELY ANCHORED WITH AT LEAST 2 STAKES AND GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER FROM PASSING BETWEEN THE BALES.
3. INSPECT BALES AFTER EACH STORM AND REPAIR OR REPLACE PROMPTLY AS REQUIRED. REMOVE SEDIMENT BEHIND THE BALES WHEN IT REACHES HALF THE HEIGHT AND DEPOSIT IT IN AN AREA WHICH IS NOT REGULATED BY THE WETLAND AND CESSIONARY.
4. INSPECTIONS AND NECESSARY REPAIRS WILL BE MADE TWICE WEEKLY.

2) TELEPHONE DISTRIBUTION EASEMENT IN FAVOR OF THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY dba AT&T CONNECTICUT DATED AUGUST 23, 2011 AND RECORDED SEPTEMBER 1, 2011 IN VOLUME 875 PAGE 652 OF THE EAST LYME LAND RECORDS.

3) RESTRICTIONS, RESERVATIONS AND MUTUAL RIGHTS OF WAY AS SET FORTH IN A WARRANTY DEED FROM SARAH F. BRAINERD TO ADDISON G. BRAINERD, DATED MAY 17, 1919 AND RECORDED IN VOLUME 22 PAGE 606 OF THE EAST LYME LAND RECORDS.

4) EASEMENT AGREEMENT BY AND BETWEEN CHRISTOPHER SAMUELSEN, TRUSTEE OF THE CHRISTOPHER SAMUELSEN LIVING TRUST DATED MAY 7, 2021 AND SEA TOWERS V, LLC DATED FEBRUARY 24, 2023 AND RECORDED APRIL 5, 2023 IN VOLUME 1094 PAGE 715 OF THE EAST LYME LAND RECORDS.

A TEMPORARY SEEDING OF RYE GRASS WILL BE COMPLETED WITHIN 15 DAYS OF THE FORMATION OF STOCKPILES. IF THE SOIL IN THE STOCKPILES HAS BEEN COMPACTED BY CONSTRUCTION OPERATORS IT SHALL BE LOOSENED TO A DEPTH OF 2 INCHES BEFORE THE FERTILIZER, LIME AND SEED IS APPLIED. 10-10-10 FERTILIZER AT A RATE OF 7.5 POUNDS PER 1000 S.F. LIMESTONE AT A RATE OF 90 LBS PER 1000 S.F. SHALL BE USED. RYE GRASS COVER SHALL BE APPLIED AT A RATE OF 1 LB. PER 1000 S.F. SHALL PROVE THE TEMPORARY VEGETATIVE COVER. STRAW FREE FROM WEEDS AND NOISEY PLANTS SHALL BE USED AT A RATE OF 70-90 LBS. PER 1000 S.F. TEMPORARY MULCH. APPLY MULCH AND DRIVE TRACKED EQUIPMENT UP AND DOWN SLOPE OVER ENTIRE SURFACE SO CLEAR MARKS ARE PARALLEL TO THE CONTOURS.

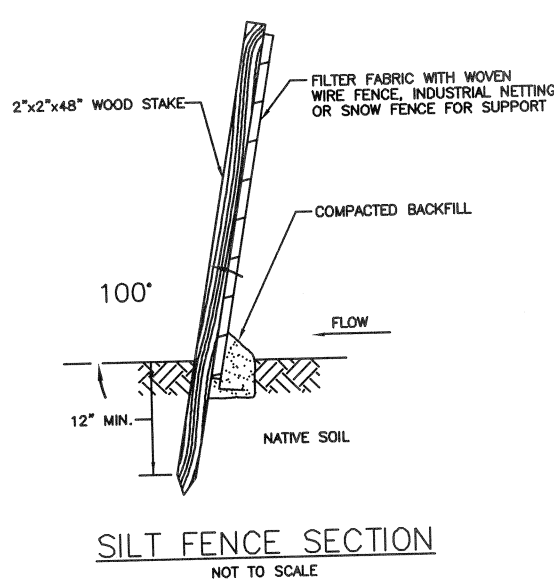
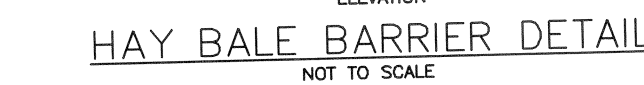
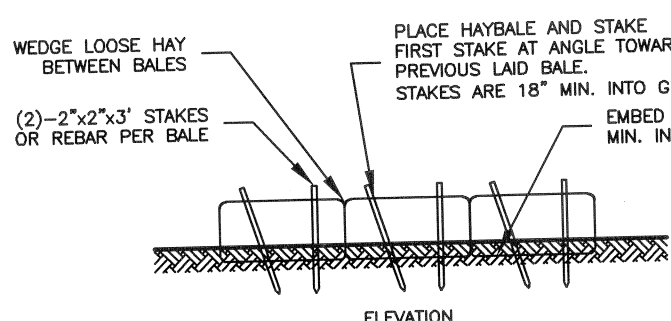
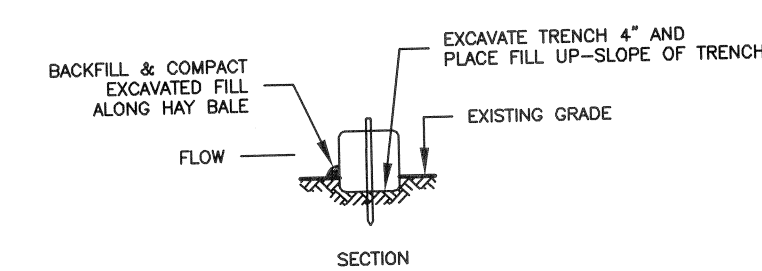
TOPSOIL WILL BE REPLACED ONCE THE EXCAVATION HAS BEEN COMPLETED AND THE SLOPES ARE GRADED TO A SLOPE NO GREATER THAN 2.5 TO 1. PROVIDE SLOPE PROTECTION ON ALL CUT SLOPES. TOPSOIL WILL BE SPREAD AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. ONCE THE TOPSOIL HAS BEEN SPREAD, ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION WILL BE REMOVED AS WELL AS DEBRIS. APPLY AGRICULTURAL GROUND LIMESTONE AT THE RATE OF TWO TONS PER ACRE OR 100 LBS. PER 1000 S.F. APPLY 10-10-10 FERTILIZER OR EQUIVALENT AT A RATE OF 500 LBS. PER ACRE OR 7.5 LBS. PER S.F. WORK LIMESTONE INTO THE SOIL TO A DEPTH OF 4 INCHES. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS COMPACTED THE SOIL, RETILL COMPACTED AREAS. APPLY THE FOLLOWING GRASS SEED MIX:

SEED MIXTURE	LB /ACRE	LBS./1000 S.F.
KENTUCKY BLUEGRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	45	1.00

THE RECOMMENDED SEEDING DATES ARE:

APRIL 1 - JUNE 5 AND AUGUST 1 - SEPTEMBER 15

FOLLOWING SEEDING, FIRM SEED BED WITH A ROLLER, MULCH WITH WEED FREE STRAW IMMEDIATELY FOLLOWING SEEDING. IF A PERMANENT VEGETATIVE STAND CANNOT BE ESTABLISHED BY SEPTEMBER 30, APPLY A TEMPORARY COVER ON THE TOPSOIL.



N/F
STATE OF CONNECTICUT

23.0'±

A40.62'
R472.88'
D4°55'24.77"

187.83'

RB FND

152.78'

RB FND

368.32'

157.36'

73C

N/F
NELLY G. ABARCA

477.5'±

OWNER NOT LISTED
44 BRAINARD ROAD
541'

PATTAGANSETT RIVER

106'±

AE 12

LOT 2
AREA =
1.6 ACRES ±

29B

APPROXIMATE
LEASE AREA

73E

2205-00

49 BRAINARD ROAD
AREA =
2,146,193± SQ. FT.
49.3± ACRES

AE 12

15

2000-42

AE 12

AE 12

PROPERTY LINE IS
3208'± ALONG
MILES CREEK
OWNED BY
NATIONAL RAILROAD
PASSENGER CO.

97

73C

AE 12

AE 12

2000-41

PROPERTY LINE IS
2038'± ALONG
NATIONAL RAILROAD
PASSENGER CO.

NATIONAL RAILROAD PASSENGER CO.

97

AE 12

N/F
GIA PROPERTIES NO 1 LLC
(SEE EASEMENT NOTE 3 ON SHEET 1 OF 3)

LONG ISLAND SOUND

CONY GRID SYSTEM

APPROVED BY THE TOWN OF EAST LYME ZONING OFFICIAL

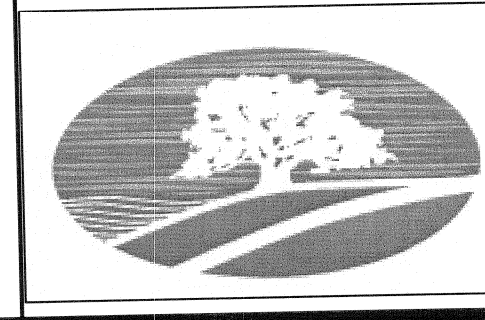
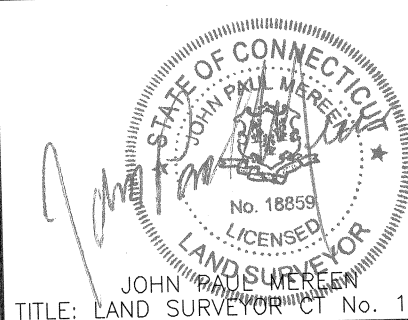
DATE _____

APPROVED BY THE TOWN OF EAST LYME DIRECTOR OF PLANNING

DATE _____

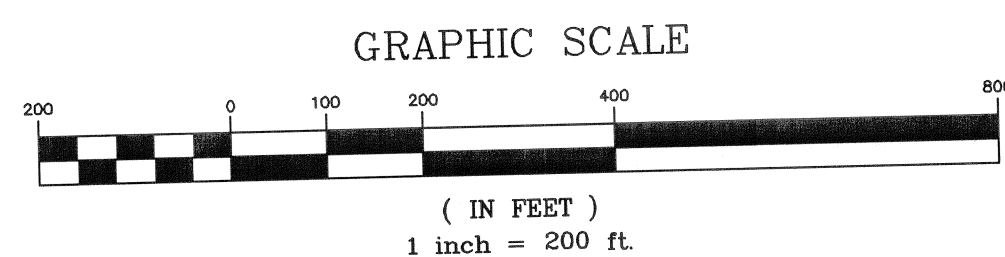
APPROVED BY LEDGE LIGHT HEALTH DISTRICT

DATE _____

[illegible]

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THIS PLAN AND REPRODUCTIONS, ADDITIONS OR REVISIONS OF
THIS PLAN ARE NOT VALID WITHOUT THE EMBOSSED SEAL AND
SIGNATURE OF THE LAND SURVEYOR WHO PREPARED THIS PLAN



"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON."

JOHN PAUL MERÉEN
TITLE: LAND SURVEYOR CT No. 18859
DATE: JUNE 18, 2025

LEGEND

PROPERTY LINE	---
STREET PROPERTY LINE	---
EXISTING CONTOUR	---
BUILDING SETBACK	---
UTILITY POLE	○
TEST HOLE	●
PERC TEST HOLE	○
MERESTONE FOUND	□
DRILL HOLE FOUND	○
IRON PIPE FOUND	○
REBAR FOUND	○
WATER VALVE	⊕
HYDRANT	⊕
CATCH BASIN	■

TEST HOLES 8-13-24
WITNESSED BY DANIELLE HOLMES
SANITARIAN LEDGE LIGHT HEALTH DISTRICT

TEST PIT # 1-1
0-12" TOPSOIL
12-21/23" ORANGE BROWN FINE SILTY LOAM
21-88" LIGHT GRAY BROWN FINE-MEDIUM SAND
TRACE COBBLES

MOTTLING @ 41"
ROOTS TO 52"

TEST PIT # 1-2
0-20" FILL
20-28" ORIGINAL TOPSOIL
28-45" ORANGE BROWN FINE SILTY
45-88" GRAY FINE SILTY SAND
MOTTLING @ 53"
ROOTS TO 56"
NO REFUSAL

PERCOLATION TEST DATA
TESTED BY: GERWICK-MEREEN LLC
DATE: 10-18-24
DEPTH: 24"
PT: 1

TIME	MEAS. (in)	DROP (in)	RATE (min/in)
0:00	7	-	-
0:10	9 1/4	1 3/8	4.44
0:20	10 1/4	3/4	10.00
0:30	11 3/4	3/4	13.33
0:40	11 3/4	5/8	13.33
0:50	12 3/8	5/8	16.00
1:00	13	5/8	16.00

TEST HOLES 5-20-25
WITNESSED BY DANIELLE HOLMES
SANITARIAN LEDGE LIGHT HEALTH DISTRICT

TEST PIT # 5-1 DEPTH 83"
0-7" LEAF LITTER AND TOPSOIL
7-26" ORANGE BROWN FINE SANDY LOAM WITH COBBLES
26-53" COARSE SAND AND GRAVEL (60%)
53-66" YELLOW BROWN FINE SAND
66-83" COARSE YELLOW SAND, TRACE GRAVEL

ROOTS TO 66"
NO GROUNDWATER
NO REFUSAL
NOTE: MOTTLE @ 66" (SAME AS TP 5-4 NO APPARENT REDOX)

TEST PIT # 5-2 DEPTH 90"
0-6" LEAF LITTER AND TOPSOIL
6-28" ORANGE BROWN FINE-MEDIUM SANDY LOAM
28-90" COARSE LAYERS OF SAND AND GRAVEL (65%)
NO GROUNDWATER
NO REFUSAL
NO REDOX
ROOTS TO 45"

TEST PIT # 5-3
0-7" LEAF LITTER AND TOPSOIL
7-33" ORANGE BROWN FINE SANDY LOAM
33-80" YELLOW BROWN MEDIUM COARSE SAND AND GRAVEL (30%)
ROOTS TO 43"
NO REFUSAL
NO GROUNDWATER
NO APPARENT REDOX

TEST PIT # 5-4
0-6" LEAF LITTER AND TOPSOIL
6-28" ORANGE BROWN FINE SANDY LOAM
28-78" GRAY TO YELLOW BROWN SAND AND GRAVEL
(COMPACT POCKET 23-36")

ROOTS TO 40"
NO REFUSAL
NO GROUND WATER
MOTTLE @ 45" (GW?)

PERCOLATION TEST DATA
TESTED BY: GERWICK-MEREEN LLC
DATE: 5-8-25
DEPTH: 37"
PT: 5B

TIME	MEAS. (in)	DROP (in)	RATE (min/in)
1:45	31 1/2	-	-
1:50	32 1/4	3/4	6.67
1:55	33 1/4	1	5.00
2:00	33 7/8	5/8	8.00
2:05	34 1/2	5/8	8.00
2:10	35 1/8	5/8	8.00
2:15	35 3/4	5/8	8.00
2:20	36 1/4	1/2	10.00

PERCOLATION TEST DATA
TESTED BY: GERWICK-MEREEN LLC
DATE: 5-8-25
DEPTH: 44"
PT: 5A

TIME	MEAS. (in)	DROP (in)	RATE (min/in)
1:20	33	-	-
1:22	35 3/4	2 3/4	0.73
1:24	37	1 1/4	1.60
1:26	38 1/4	1 1/4	1.60
1:28	39 1/4	1	2.00
1:30	40 1/8	7/8	2.29
1:32	41	7/8	2.29
1:34	41 3/4	3/4	2.67
1:36	42 1/2	3/4	2.67
1:38	43	-	-
1:40	DRY	1/2	4.00

49 BRAINERD ROAD

EXISTING HOUSE IS A FOUR BEDROOM HOUSE. BASIS OF DESIGN IS FOR FOUR BEDROOMS WITH NO TUB OVER 100 GALLONS WITH A PERC RATE OF 10.1-20.0 MIN/IN. SYSTEM AREA REQUIRED IS 787.50 S.F. AND IS SUPPLIED AS FOLLOWS:

1 ROW OF 58 L.F. OF 62"x18" GEOMATRIX GST 6218 AT 14.0 S.F. PER L.F. = 812 S.F. TOTAL LEACHING AREA = 812 S.F.

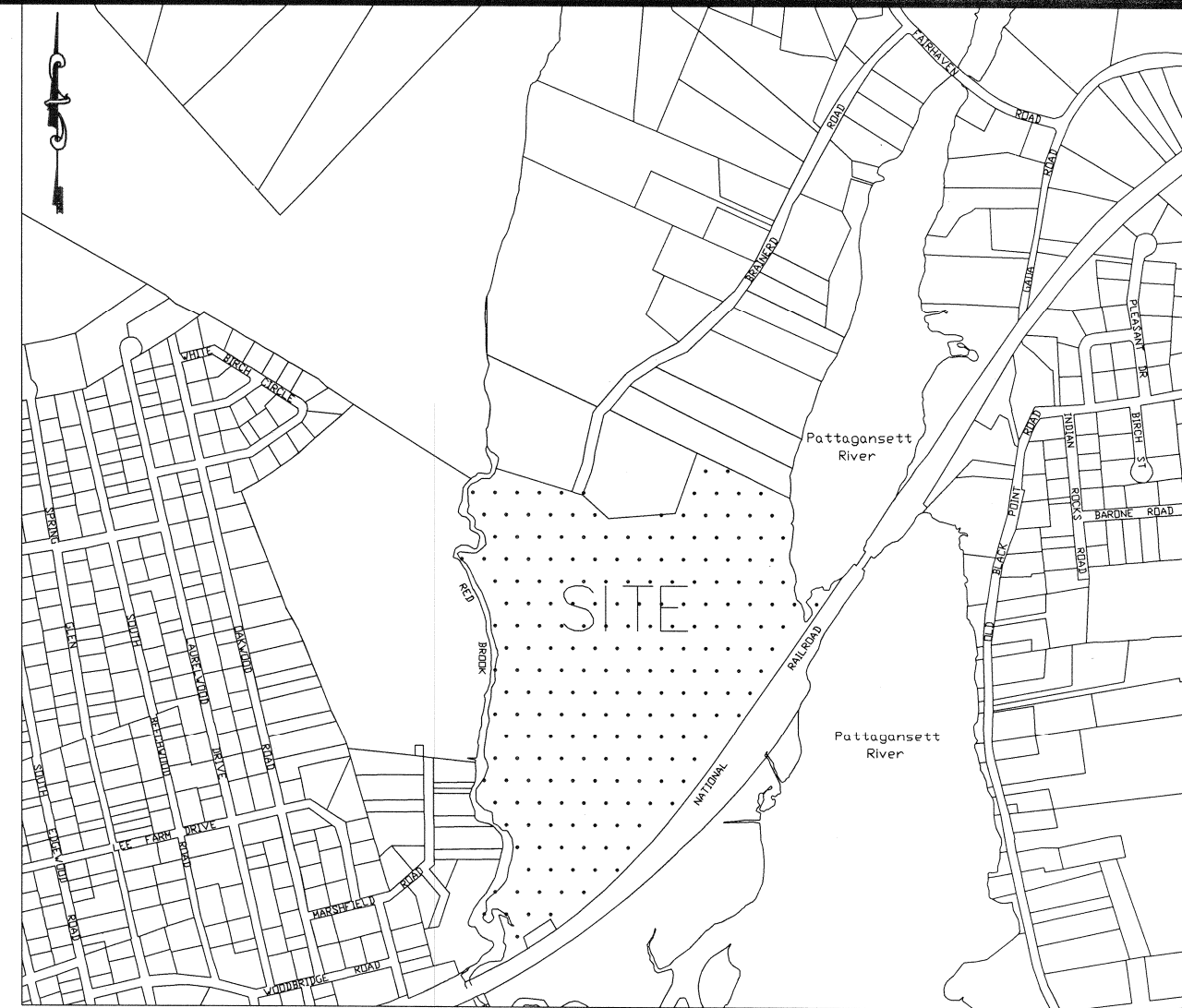
RESTRICTIVE LAYER = 41" HYDRAULIC GRADIENT=10.1-15.0%
MLSS REQUIRED = HF(18) X FF(1.75) X PF(1.25)=39.38"
MLSS SUPPLIED = 58"

LOT 2

PROPOSED HOUSE IS A FOUR BEDROOM HOUSE. BASIS OF DESIGN IS FOR FOUR BEDROOMS WITH NO TUB OVER 100 GALLONS WITH A PERC RATE OF 1.0-10.0 MIN/IN. SYSTEM AREA REQUIRED IS 577.50 S.F. AND IS SUPPLIED AS FOLLOWS:

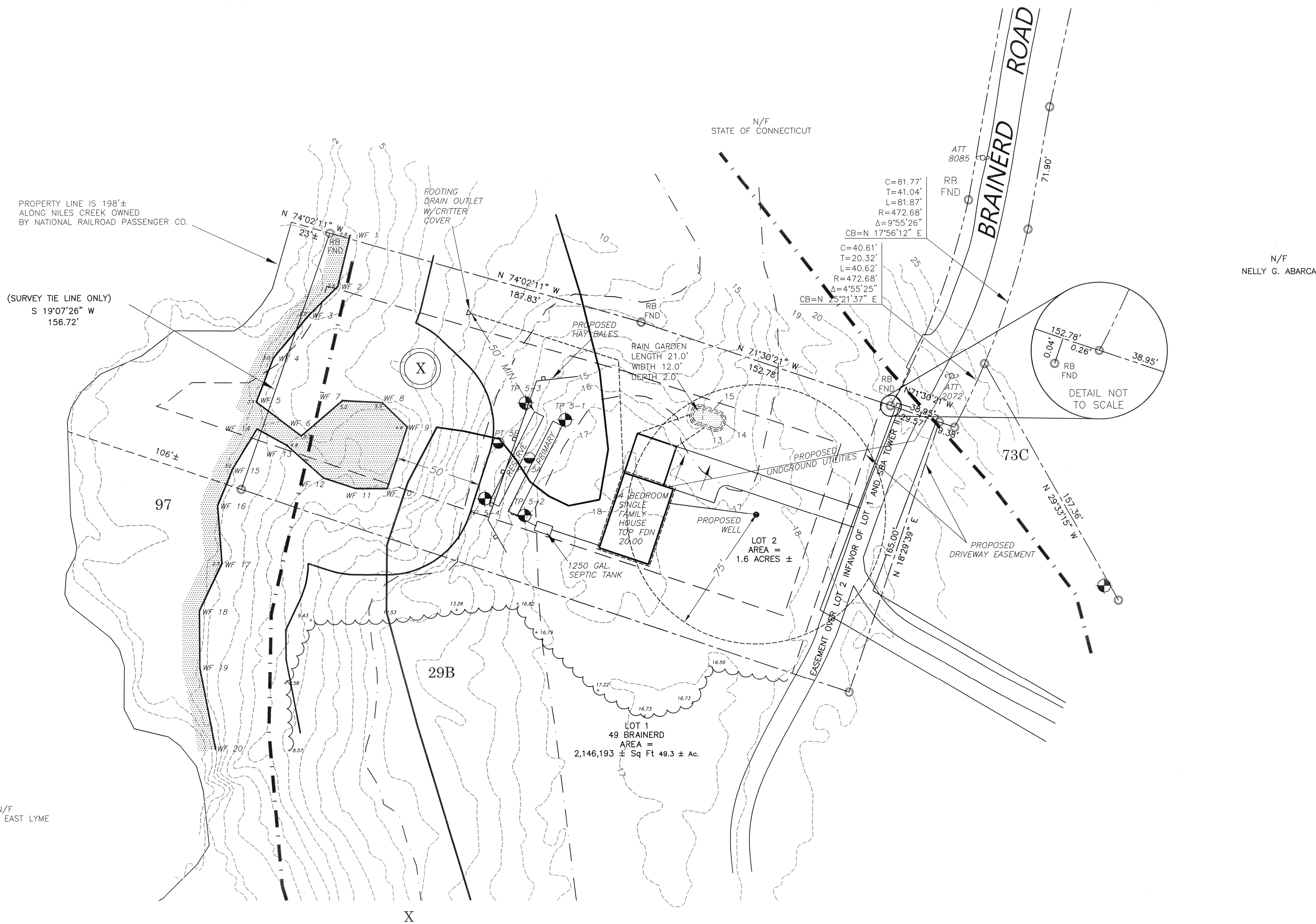
1 ROW OF 58 L.F. OF 62"x12" GEOMATRIX GST 6212 AT 10.0 S.F. PER L.F. = 580 S.F. TOTAL LEACHING AREA = 580 S.F.

MLSS NOT REQUIRED



LOCATION MAP

SCALE: 1" = 800' +/-



PLAN SHOWING
DETAIL LOT LAYOUT
GRADING AND EROSION AND SEDIMENT CONTROL
DETAIL LOT LAYOUT
TWO LOT SUBDIVISION
PROPERTY OF
THE RODERICK M CORNISH
REVOCABLE TRUST
49 BRAINERD ROAD
NIANTIC, CONNECTICUT

SCALE: 1" = 40'
DATE: JUNE 18, 2025

SHEET 3 OF 3
JOB NO. 23-087

APPROVED BY THE TOWN OF EAST LYME ZONING OFFICIAL

DATE

APPROVED BY THE TOWN OF EAST LYME DIRECTOR OF PLANNING

DATE

APPROVED BY LEDGE LIGHT HEALTH DISTRICT

DATE

I DELINEATED THE INLAND WETLAND AND WATERCOURSE BOUNDARY ON THIS PROPERTY. I AM OF THE OPINION THAT THE WETLAND BOUNDARY WHICH I MARKED ON THE PROPERTY IS SHOWN CORRECTLY ON THIS MAP.

R. Richard Snarski, Certified Soil Scientist #1975

DATE: JUNE 18, 2025

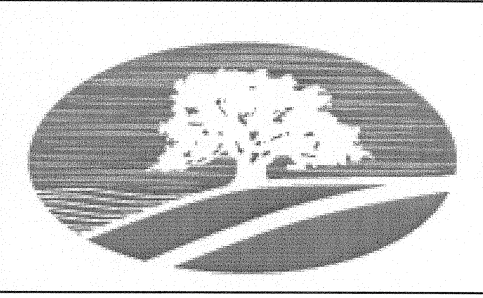
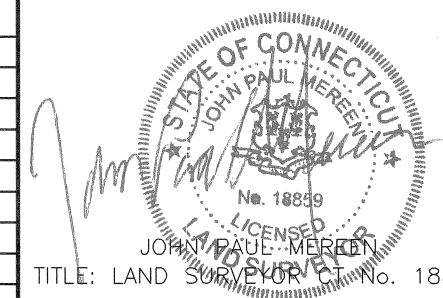
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVEMENT LOCATION PLAN BASED ON A FIRST SURVEY AND CONFORMING TO HORIZONTAL ACCURACY A-2 AND A TOPOGRAPHIC PLAN CONFORMING TO TOPOGRAPHIC ACCURACY T-3.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

TITLE: LAND SURVEYOR CT No. 18859

DATE: JUNE 18, 2025

DATE	REVISION
8.29.2025	STAFF COMMENTS



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