

LEGEND

STONE WALL
PROPERTY LINE
STREET LINE
REBAR FOUND
REBAR SET
MONUMENT FOUND

○ RB FND
○ RB SET
□ MON FND

$\Delta=25^{\circ}37'56''$
 $R=225.99$
 $L=101.10$
 $T=51.41$
 $C=100.26$
 $CB=N40^{\circ}18'50''W$

N/F
MINDY G. HORNER, TR.

AREA =
52,177 SQ. FT. / 1.20 AC.

CEDARBROOK

LANE

N/F
EAST LYME LAND TRUST

N/F
RONALD W. & MARY C. ROCHELLE

N/F
JULIE CARLONE

NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A PERIMETER SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS N-2. TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
- MAP REFERENCES
A. "OPEN SPACE HERITAGE AT EAST LYME SUBDIVISION SECTION 1 PROPERTY OF THE HERITAGE DEVELOPMENT GROUP, INC. SOUTHBRURY, CONNECTICUT SCALE 1" = 100' SHEET 49B OF 13 NOVEMBER 28, 1988 J. ROBERT PFANNER & ASSOCIATES P.C."
- REFERENCE MAY BE HAD TO VOLUME 1118 PAGE 483 OF THE EAST LYME LAND RECORDS DEED FROM EAST LYME LAND TRUST, INC. TO HATHAWAY FARM LLC.
- BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.
- THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL OPINION BY THE LAND SURVEYOR WHICH IS BASED ON HIS OR HER BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER GUARANTEE OR WARRANTY.

THE STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED

Received

AUG 7 2025

Town of East Lyme
Land Use

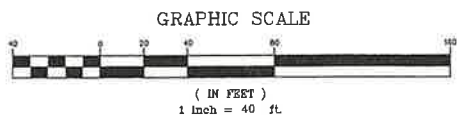
PLAN SHOWING
BOUNDARY SURVEY
PROPERTY OF
HATHAWAY FARM, LLC
CEDARBROOK LANE
EAST LYME, CONNECTICUT

FILE COPY

DATE: JULY 2, 2025

SCALE: 1" = 40'

JOB # 25-035



"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

John Paul Meehan
JOHN PAUL MEREEN
TITLE: LAND SURVEYOR CT No. 18859
DATE: JULY 2, 2025

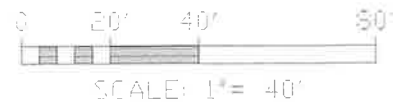
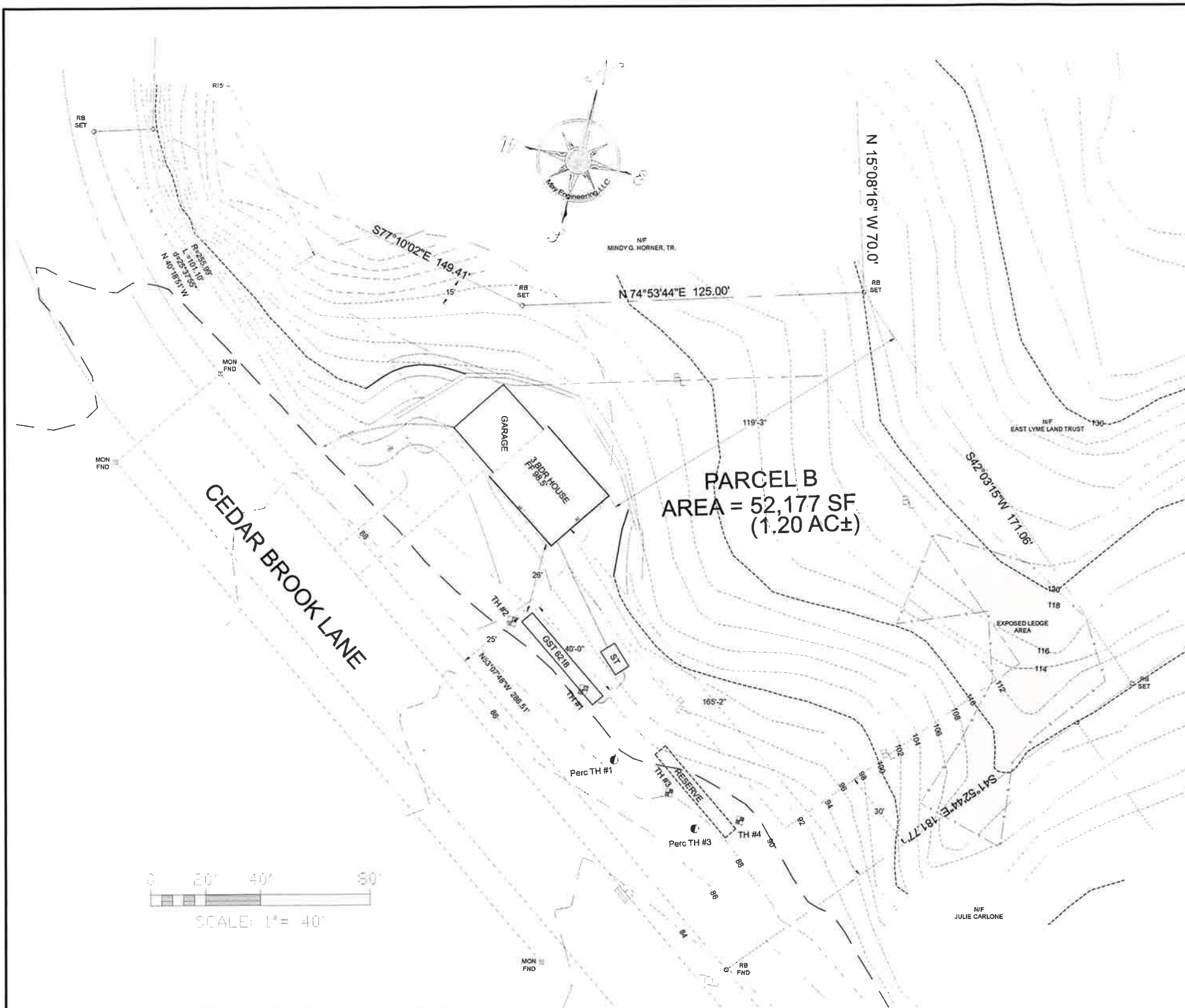
DATE	REVISION

John Paul Meehan
JOHN PAUL MEREEN
TITLE: LAND SURVEYOR CT No. 18859



GERWICK - MEREEN L.L.C.
191 BOSTON POST ROAD P.O. BOX 5
EAST LYME, CONNECTICUT 06333
TEL. (860)442-2201 FAX: (860)442-2201

THIS DRAWING IS THE PROPERTY OF THE LAND SURVEYOR.
THIS PLAN AND REPRODUCTIONS, ADDITIONS OR REVISIONS OF
THIS PLAN ARE NOT VALID WITHOUT THE EMBOSSED SEAL AND
SIGNATURE OF THE LAND SURVEYOR WHO PREPARED THIS PLAN.



RU-40 RURAL DISTRICT		
ITEM	REQUIRED	PARCEL B
MINIMUM LOT SIZE	43,000 SQ. FT.	52,177 SQ. FT.
MINIMUM LOT FRONTAGE	150 FT	287 FT
MINIMUM FRONT SETBACK	50 FT	51.0 FT
MINIMUM SIDE SETBACK (W)	30 FT	31 FT
MINIMUM SIDE SETBACK (E)	30 FT	165 FT
MINIMUM BACK SETBACK	30 FT	119 FT
MAXIMUM BUILDING HEIGHT	30 FT	30 FT
MAXIMUM GARAGE	150	476
EXISTING LOT	4.83 AC	NA

NOTES:
1. BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.
2. TOPOGRAPHY IS TAKEN FROM THE TOWN OF EAST LYME GIS SITE.
3. AS DEPICTED ON FIRM MAP 000006-0476-G, THE SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
4. MAP REFERENCES:
a. MAP RECORDED DRAWER 6 - #706 PROPERTY IDENTIFIED AS "REMAINING LAND OF KSK ASSOCIATES, LLC" EAST LYME, CONNECTICUT
b. LIMITED PROPERTY SURVEY - PROPERTY OF KSK ASSOCIATES, LLC GOLDPARCH TERRACE EAST LYME, CONNECTICUT
SCALE: 1" = 200' DATE: DECEMBER 30, 2015 JAMES BERNARDO LAND SURVEYING

- CONVEYANCE OF PROPERTY
- KSK Associates LLC to convey 3.87 acre parcel as it currently exists to the East Lyme Land Trust
 - The East Lyme Land Trust is going to convey the 1.16 acre parcel B to Hathaway Farm LLC
 - The East Lyme Land Trust will retain the remaining 2.71 acre parcel A

Cedar Brook/Catbird Test Pit Data Provided by Ledge Light Health Dist Danielle Holmes, R.E.H.S.P.S. Test date - June 2021 TP1 depth 48-72" sloping 0-4" Leaf litter & topsoil 4-32" Orange to yellow brown fine sandy loam 32-48/72" Yellow brown sandy till w/ rocks No GW, No apparent redox Roots to 60" Refusal 48-72" Note: large ledge outcrop up-gradient of TP1 TP2 depth 48-52" sloping 0-5" Leaf litter & topsoil 5-36" Orange to yellow brown fine loamy sand 36-48" Light gray brown sandy till No GW Motting @ 24" Refusal 48-52" (ledge) Roots to 39" TP3 depth 48" 0-4" Leaf litter & topsoil 4-20" Orange brown fine sandy loam 20-48" Yellow brown silty loam No GW, No apparent redox Refusal @ 48" (ledge) Roots to 42" TP4 depth 50" 0-4" Leaf litter & topsoil 4-28" Orange brown fine loamy sand 28-44" Yellow brown silty loam 44-80" Yellow brown sandy till w/ rocks No GW, No redox Roots to 58" Refusal @ 80"	
Perc Tests Data: April 28, 2025 Kristen Clarke, PE CEDAR BROOK LANE Assessors Map 36.0 Lot 31 East Lyme Connecticut Weather Conditions 60-Degrees-Dry Perc Test No. 1 Hole Depth 24" Pre soak: 3:15 pm - 4/28/2025 Time Reading Drop 10:00 (refill dry hole 12") 24.0" n/a 10:20 18.0" 6.0" 10:30 18.0" 2.0" 10:40 14.5" 1.5" (30 minutes / 8") Perc Rate 3.75 min/in Perc Test No. 3 Hole Depth 24" Pre soak: 3:15 pm - 4/28/2025 Time Reading Drop 10:10 (refill dry hole 12") 24.0" n/a 10:20 19.0" 5.0" 10:30 16.50" 2.5" 10:40 15.0" 1.5" 10:50 13.75" 1.25" (30 minutes / 9.0") Perc Rate 3.33 min/in	

- LOT B
SANITARY DESIGN CRITERIA
- PROPOSED THREE BEDROOM NO TUBS GREATER THAN 100 GALLONS IN SIZE
 - 1,000 GALLON TWO COMPARTMENT SEPTIC TANK REQUIRED BY CODE AND PROVIDED
 - DESIGN PERCOLATION RATE: 10 MIN/IN
 - MINIMUM LEACHING SYSTEM SPREAD MLSS
HF = 26 RESTRICTIVE LAYER = MOTTLER AT 24" SLOPE 12%
PF = 1.5 THREE BEDROOM HOME
PF = 1.0 PERC. RATE UP TO 10 MIN/INCH
MLSS HF X PF X PF = 26 X 1.5 X 1.0 = 39 LF (40' PROVIDED)
E. EFFECTIVE LEACHING AREA REQUIRED PER CODE: 485 SF GST 6218 LEACHING SYSTEM DESIGN
MINIMUM LENGTH OF TRENCH REQUIRED: 485 SF / 14 SFLF = 35 LF GST 6218
F. EFFECTIVE LEACHING AREA PROVIDED: (1) 40' long 60" wide trenches - 14 SFLF x 40 LF = 560 SF PROVIDED
G. 100% RESERVE AREA REQUIRED AND PROVIDED (40LF GST 6218)
H. A BENCH MARK MUST BE SET IN THE AREA OF THE SYSTEM PRIOR AT THE TIME OF CONSTRUCTION
I. SITE IS IDENTIFIED AS AN AREA OF SPECIAL CONCERN DUE TO LEDGE ROCK LESS THAN 5 FEET BELOW GRAD IN SOME AREAS
J. SUBSEQUENT TO ISSUANCE OF THE APPROVAL TO CONSTRUCT ADDITIONAL TEST PITS ARE REQUIRED 25 FEET DOWN GRADIENT OF PRIMARY LEACH FIELD



Owner:
HATHAWAY FARMS, LLC
207 Clarendon Ave
Southport, NC 28461

May Engineering LLC
Civil Engineering and Site Planning
1297 RT 163 Oakdale, CT 06370
860 884-9671

CONCEPTUAL SITE PLAN
ASSESSORS MAP 36.0 LOT 31
CEDAR BROOK Ln.
EAST LYME, CT
SCALE: 1"=40' and as NOTED
DATE: DATE: 29 July 2025

JOB NUMBER	SHEET
250504	1 of 1

Lot Line Revision Plan