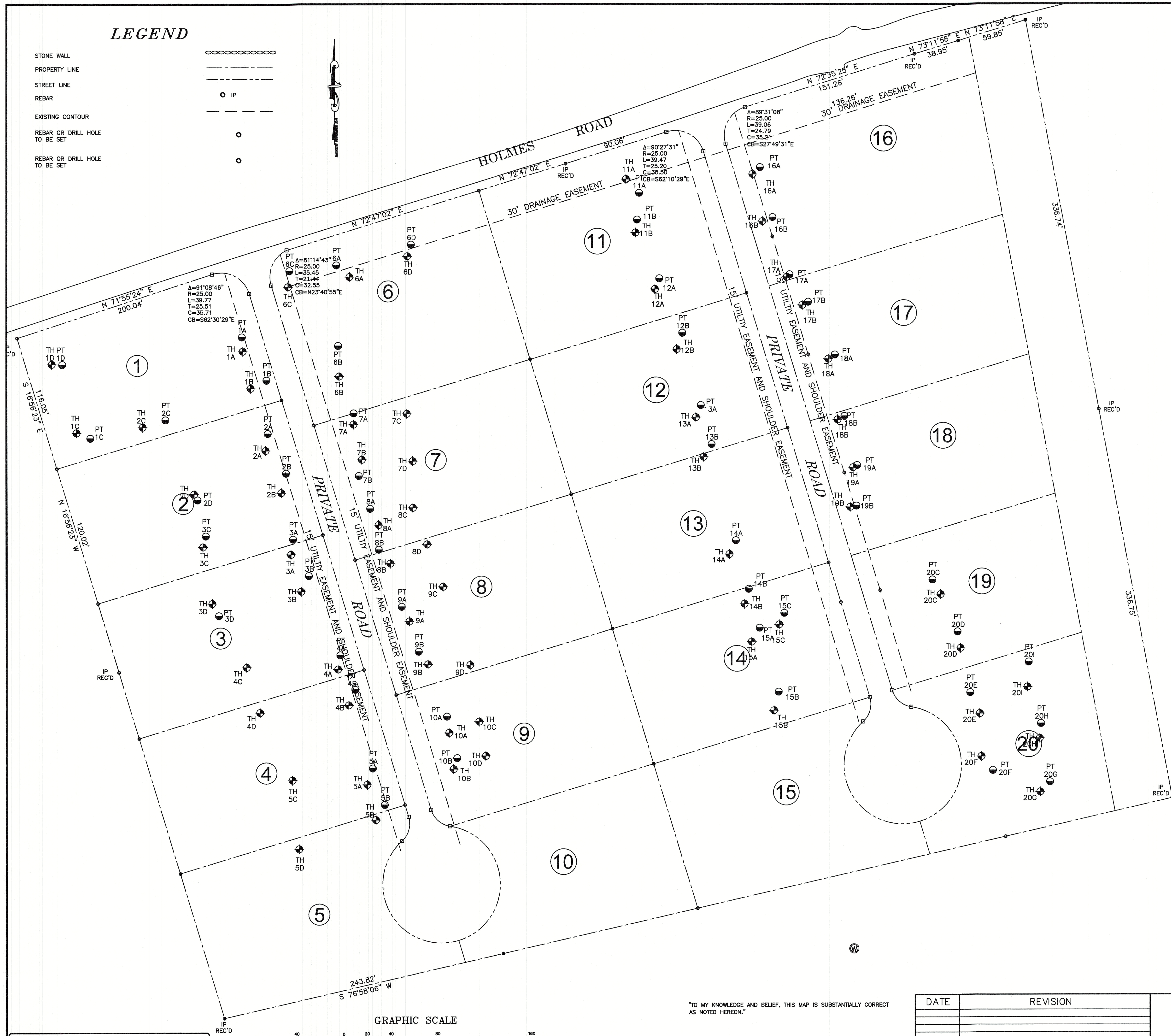
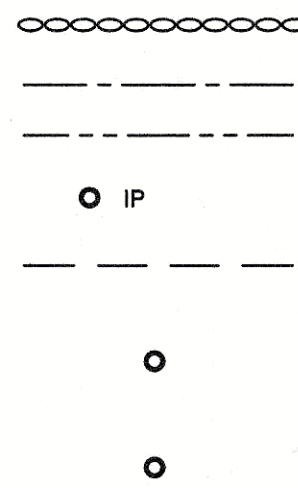


LEGEND

STONE WALL
PROPERTY LINE
STREET LINE
REBAR
EXISTING CONTOUR
REBAR OR DRILL HOLE
TO BE SET
REBAR OR DRILL HOLE
TO BE SET



- NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A PERIMETER SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC SURVEY CONFORMING TO TOPOGRAPHIC ACCURACY T-3. TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 - TOPOGRAPHY HEREON IS BASED ON TOWN OF EAST LYME GIS SITE AND SHALL BE FIELD VERIFIED PRIOR ANY DESIGN OR DEVELOPMENT OF THE PROPOSED PARCELS.
 - MAP REFERENCE:
 - "PROPERTY SURVEY--LOT LINE MODIFICATIONS PROPERTY OF DUVAL PARTNERS LLC. PROPERTY LOCATED AT HOLMES ROAD, WALNUT HILL ROAD & GRASSY HILL ROAD TOWN OF EAST LYME & MONTVILLE COUNTY OF NEW LONDON--CONNECTICUT SHEET No. S-02 SHEET 2 OF 4 SCALE: 1" = 150' DATE: SEPTEMBER 2, 2021 JAMES BERNARDO LAND SURVEYING LLC"
 - THIS PRIVATE STREET WILL NOT BE OWNED BY THE TOWN OF EAST LYME. ALL MAINTENANCE, REPAIR AND SERVICES SUCH AS SNOW REMOVAL, SANDING, AND SWEEPING OF THE STREET WILL BE THE RESPONSIBILITY OF THE ABUTTING LAND OWNERS.
 - THE TOWN OF EAST LYME SHALL NOT BE RESPONSIBLE FOR THE INITIAL COST, MAINTENANCE FEES, OR UTILITY BILLS ASSOCIATED WITH ALL STREET SIGN OR STREET LIGHTS LOCATED ON A PRIVATE ROAD ADJACENT TO AND SERVING A PRIVATE ROAD.
 - PURCHASERS OF THESE LOTS ARE ADVISED THAT CERTAIN PUBLIC SERVICES MAY BE RESTRICTED FROM THE PRIVATE STREET. SERVICES SUCH AS REFUSE AND RECYCLING PICKUP, SCHOOL BUS ACCESS AND POSTAL DELIVERY MAY BE IDENTIFIED, BASED ON THE SCOPE OF SERVICES OFFERED AND PUBLIC POLICIES IN EFFECT AT THE SAME TIME OF APPROVAL.
- BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.
- THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL OPINION BY THE LAND SURVEYOR WHICH IS BASED ON HIS OR HER BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER GUARANTEE OR WARRANTY.
- THE STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED

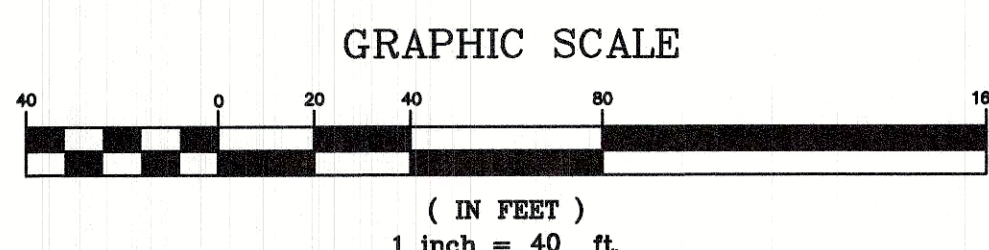
PLAN SHOWING
LOT LAYOUT
NEHANTIC HIGHLANDS
A CONN. GEN. STATUTE 8-30g SUBDIVISION
PROPERTY OF
DUVAL PARTNERS, LLC
HOLMES ROAD
EAST LYME, CONNECTICUT
KRISTEN CLARKE, P.E., APPLICANT

Received
AUG 7 2025
Town of East Lyme
Land Use

FILE COPY

SCALE: 1" = 40'
DATE: AUGUST 1, 2025
SHEET 1 OF 1
JOB NO. 23-083

THIS DRAWING IS THE PROPERTY OF THE LAND SURVEYOR. THIS PLAN AND REPRODUCTIONS, ADDITIONS OR REVISIONS OF THIS PLAN ARE NOT VALID WITHOUT THE EMBOSSED SEAL AND SIGNATURE OF THE LAND SURVEYOR WHO PREPARED THIS PLAN.



"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

JOHN PAUL MEREEN
TITLE: LAND SURVEYOR CT No. 18859
DATE: FEBRUARY 4, 2025

DATE	REVISION

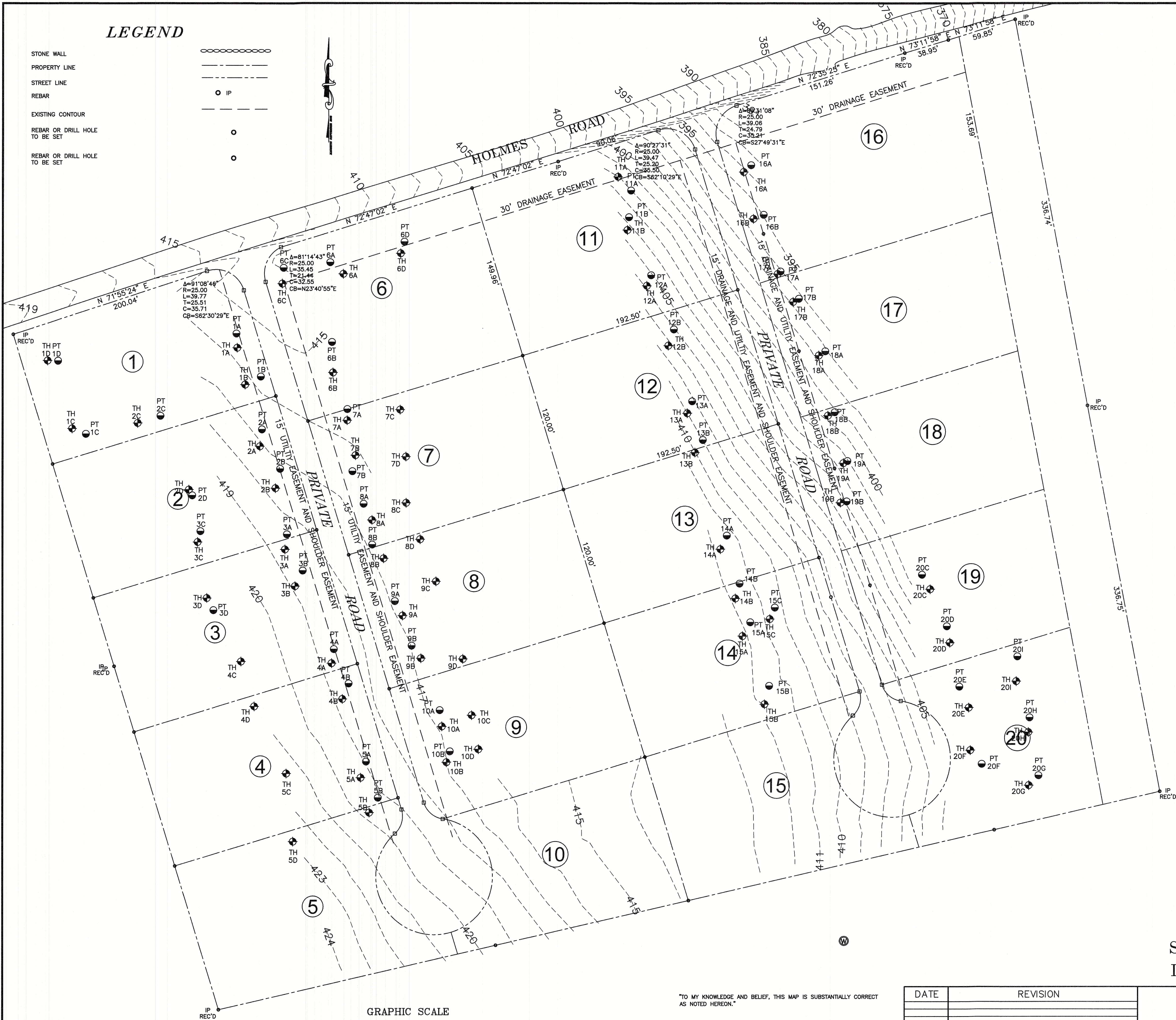
JOHN PAUL MEREEN
TITLE: LAND SURVEYOR CT No. 18859



GERWICK - MEREEN L.L.C.
191 BOSTON POST ROAD P.O. BOX 565
EAST LYME, CONNECTICUT 06333
TEL. (860)442-2201 FAX. (860)442-2205

LEGEND

- STONE WALL
- PROPERTY LINE
- STREET LINE
- REBAR
- EXISTING CONTOUR
- REBAR OR DRILL HOLE TO BE SET
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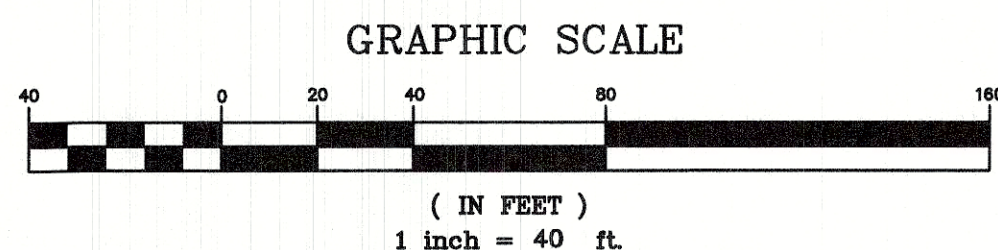
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KRISTEN CLARKE, P.E., APPLICANT
SCALE: 1" = 40'
DATE: FEBRUARY 4, 2025
SHEET 3 OF 4
JOB NO. 23-083

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