

**SOILS LEGEND**

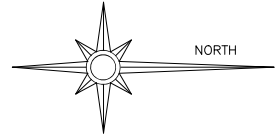
29B	AGAWAM FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
34C	MERRIMAC FINE SANDY LOAM, 8 TO 10 PERCENT SLOPES
38E	HINCKLEY LOAMY SAND, 15 TO 45 PERCENT SLOPES
61B	CANTON AND CHARLTON FINE SANDY LOAMS, 0 TO 8 PERCENT SLOPES, VERY STONY
73C	CHARLTON-CHATFIELD COMPLEX, 0 TO 15 PERCENT SLOPES, VERY ROCKY
75E	HOLLIS-CHATFIELD-ROCK OUTCROP COMPLEX, 15 TO 45 PERCENT SLOPES

**OWNER/APPLICANT:**  
**PETRIT MARKU**  
 57 E. MAIN STREET  
 MYSTIC, CT 06355  
 860-235-8500

**SURVEYOR:**  
**JAMES BERNARDO LAND SURVEYING, LLC**  
**JAMES BERNARDO, LS**  
 102A SPITHEAD ROAD  
 WATERFORD, CT 06385  
 860-447-0236

**INDEX TO SHEETS**

1	OVERALL BOUNDARY & NATURAL & CULTURAL RESOURCES
2	LOT LAYOUT
3	SITE DEVELOPMENT
4	ALTERNATE - SITE DEVELOPMENT
5	SUBDIVISION DETAILS
6	SITE LINE DEMONSTRATION
7	WATERSHED ANALYSIS
8	LOT YIELD PLAN



**NOTES:**

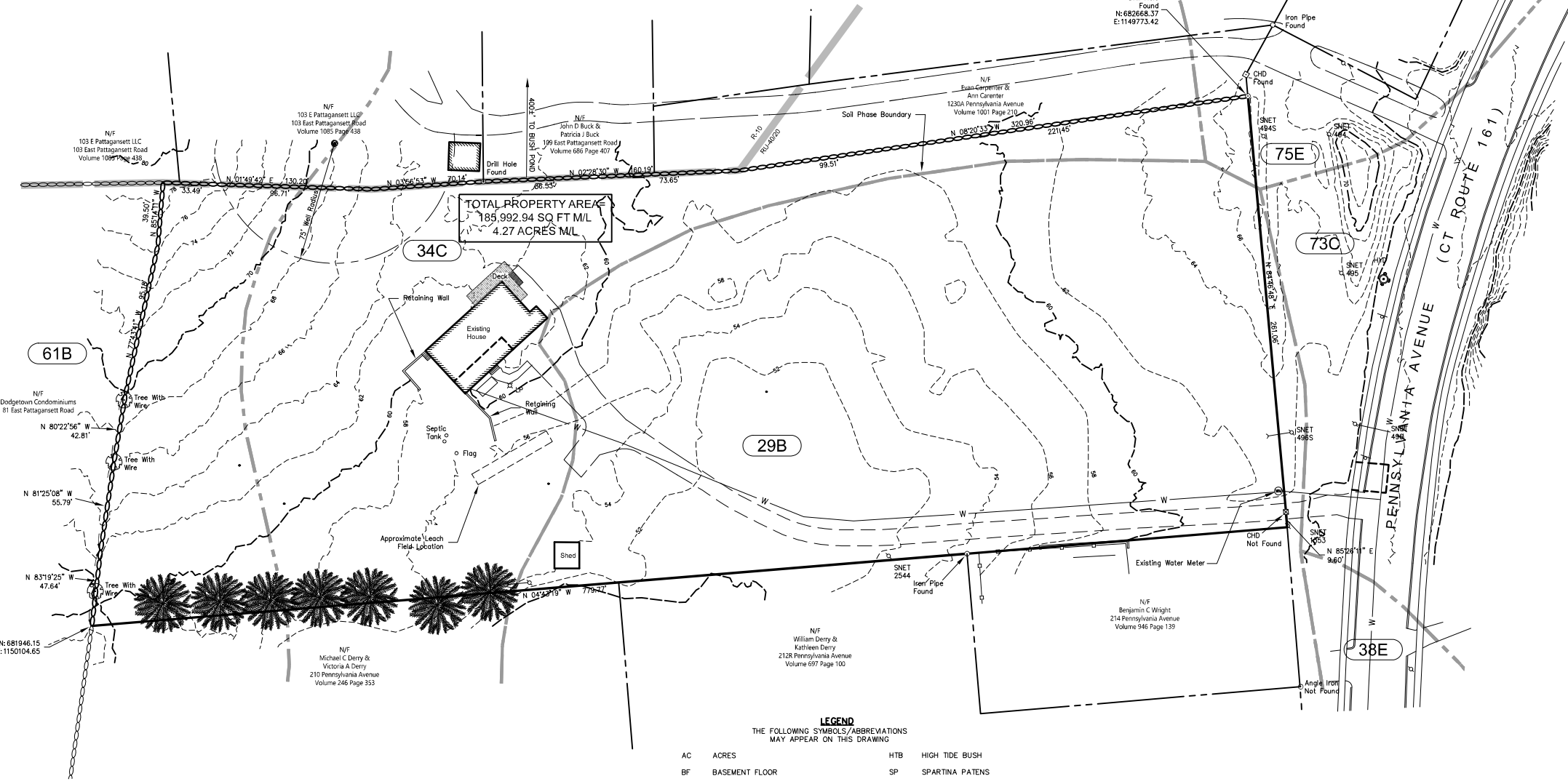
- THIS PLAN AND THE SURVEY IT IS BASED ON HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS. THE TYPE OF SURVEY IS A PROPERTY SURVEY, THE BOUNDARY DETERMINATION CATEGORY IS A RE-SURVEY FOR THE PERIMETER BOUNDARY AND A FIRST SURVEY FOR THE NEW LOT LAYOUT. THE HORIZONTAL ACCURACY CONFORMS TO CLASS A-2.
- NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS THE PRINT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW OR THEREON.
- REFERENCE IS MADE TO EAST LYME LAND EVIDENCE RECORDS VOLUME 1100 AT PAGE 336 FOR A WARRANTY DEED DATED AUGUST 4, 2023 REGARDING RECORD TITLE TO THE SUBJECT PROPERTY.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO THE FOLLOWING:  
 SEE VOLUME 131 AT PAGE 175 FOR AN EASEMENT CONVEYED BY JAMES A ROLFE TO THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY DATED JUNE 16, 1971.  
 SEE VOLUME 131 AT PAGE 1 FOR AN EASEMENT CONVEYED BY JAMES A ROLFE TO THE CONNECTICUT LIGHT AND POWER COMPANY DATED JUNE 16, 1971.
- THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN THE RU-40/20 ZONE DISTRICT.
- BY GRAPHICAL DEPICTION ONLY, THIS PARCEL LIES WITHIN FLOOD HAZARD ZONE X AS SHOWN ON "NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT, COMMUNITY: TOWN OF EAST LYME MAP NUMBER: 09011C0479J MAP EFFECTIVE: 8-5-2013, FEDERAL EMERGENCY MANAGEMENT AGENCY".
- THE SUBJECT PROPERTY IS SHOWN ON THE EAST LYME TAX ASSESSOR MAP 16.2 AS LOT 73 AND HAS AN ASSIGNED STREET ADDRESS OF 220 PENNSYLVANIA AVENUE.
- BEARINGS AND COORDINATES NOTED HEREON ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (NAD 83) EPOCH 2011 (2010.0), ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) TRANSFORMED FROM ELLIPSOID HEIGHT TO ORTHOMETRIC HEIGHT UTILIZING NAD83/1988 GEOD. AS DETERMINED BY GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS UTILIZING THE SUPERIOR GNSS REFERENCE NETWORK STATION HAVING THE FOLLOWING VALUES:  
 LATITUDE = N41.303892795°  
 LONGITUDE = W72.050613875°  
 ELLIPSOID HEIGHT = -10.7997 METERS
- THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY ON AUGUST 29, 2023. RECORD TITLE AND ADJOINER INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS ON SEPTEMBER 25, 2023.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO JAMES BERNARDO LAND SURVEYING, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

**MAP REFERENCES:**

- CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF EAST LYME PENNSYLVANIA AVE. MANIC FROM MAIN ST. NORTHERLY TO THE BLACK POINT ROAD SCALE 1"=40' NUMBER 44-04 SHEET 3 OF 3.
- L.T. KISER SCALE 1"=40' MAY 5, 1964 STONINGTON CONN. BY PERCY L. ALLEN PE, LS (BOOK 7 PAGE 103).

**SUBDIVISION NOTES:**

- TOTAL AREA OF SUBDIVISION = 185,992.94 SQUARE FEET OR 4.27 ACRES.
- A WAIVER IS REQUESTED OF SECTION 6-17-1 (UNDERGROUND UTILITIES) TO ALLOW THE EXISTING OVER HEAD UTILITIES ALONG THE EASTERLY SIDE OF THE EXISTING DRIVEWAY TO REMAIN. ALL NEW UTILITIES FOR THE INDIVIDUAL HOUSES SHALL BE UNDERGROUND FROM THE EXISTING POLES.
- IN ACCORDANCE WITH SECTION 23.6 OF THE ZONING REGULATIONS A MINIMUM OF 30% OF THE PROPERTY AREA SHALL BE OPEN SPACE IN A CONSERVATION DESIGN DEVELOPMENT. THE OPEN SPACE IS CALCULATED AS FOLLOWS:  
 TOTAL PROPERTY AREA = 185,992.94 SQUARE FEET  
 AREA OF OPEN SPACE = 97,083.1 SQUARE FEET  
 THEREFORE OPEN SPACE = 52% OF THE SUBDIVISION AREA.  
 THE OPEN SPACE WILL BE MAINTAINED AS A CONSERVATION EASEMENT IN FAVOR OF A HOMEOWNERS ASSOCIATION WHICH WILL BE CREATED.
- THE DEEDS FOR LOTS 2-4 SHALL INCLUDE ALL INFORMATION REGARDING EASEMENTS, RIGHTS AND RESPONSIBILITIES REGARDING THE USE AND MAINTENANCE OF THE SHARED DRIVEWAY.



**APPROVED BY THE EAST LYME PLANNING COMMISSION**

CHAIRMAN/SECRETARY \_\_\_\_\_

APPROVAL DATE \_\_\_\_\_

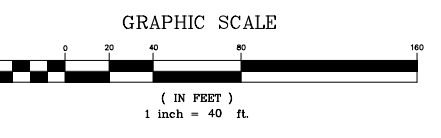
FILING DATE \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

**EROSION AND SEDIMENT CONTROL PLAN CERTIFIED BY VOTE OF EAST LYME PLANNING COMMISSION ON**

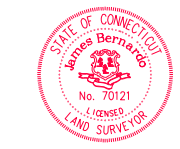
DATE \_\_\_\_\_

CHAIRMAN/SECRETARY \_\_\_\_\_



**LEGEND**  
 THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING

AC	ACRES	HTB	HIGH TIDE BUSH
BF	BASEMENT FLOOR	SP	SPARTINA PATENS
BIT	BITUMINOUS	SA	SPARTINA ALTERNAFLORA
BCLC	BITUMINOUS CONCRETE LIP CURBING	TBR	TO BE REMOVED
CONC	CONCRETE	TYP	TYPICAL
DIA	DIAMETER	P-5	SOIL PERC TEST LOCATION
DB	DISTRIBUTION BOX	THS	SOIL DEEP TEST LOCATION
EOP	EDGE OF PAVEMENT	W	WELL
ELEV	ELEVATION	H	HYDRANT
FF	FINISHED FIRST FLOOR	T	TREE
LF	LINEAR FOOT	BSL	BUILDING SETBACK LINE
(MIN)	MINIMUM	CLL	CLEARING LIMIT LINE
M/L	MORE OR LESS	EXL	EXISTING TREELINE
N/F	NOW OR FORMERLY	158	NEW CONTOUR
PVC	POLY VINYL CHLORIDE	SDF	SEDIMENT FENCE
SCH40	SCHEDULE 40	SDP	STORM DRAIN PIPE
5.4x	SPOT ELEVATION	SW	STONE WALL
SF	SQUARE FEET	S	SANITARY SEWER
TR	TO REMAIN	W	WATER



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*James Bernardo*  
 JAMES BERNARDO LICENSE #70121

12-3-2023  
 DATE

**JAMES BERNARDO**  
**LAND SURVEYING, LLC**  
 102A SPITHEAD ROAD  
 WATERFORD, CONNECTICUT 06385  
 (860) 447-0236  
 WWW.JBSURVEYING.COM



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TEST HOLES, DRAINAGE WATER NOTES AND E&S ADDED	DATE
A	12-3-2023

**REVISIONS**

LTR	DESCRIPTION	DATE

**RE-SUBDIVISION PLAN**  
 BOUNDARY SURVEY & CULTURAL RESOURCES  
 PROPERTY OF  
**PETRIT MARKU**  
 FOR PROPERTY LOCATED AT  
**220 PENNSYLVANIA AVENUE-CT RTE 161**  
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

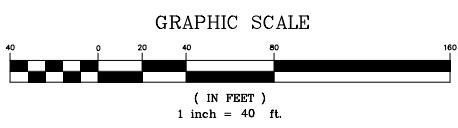
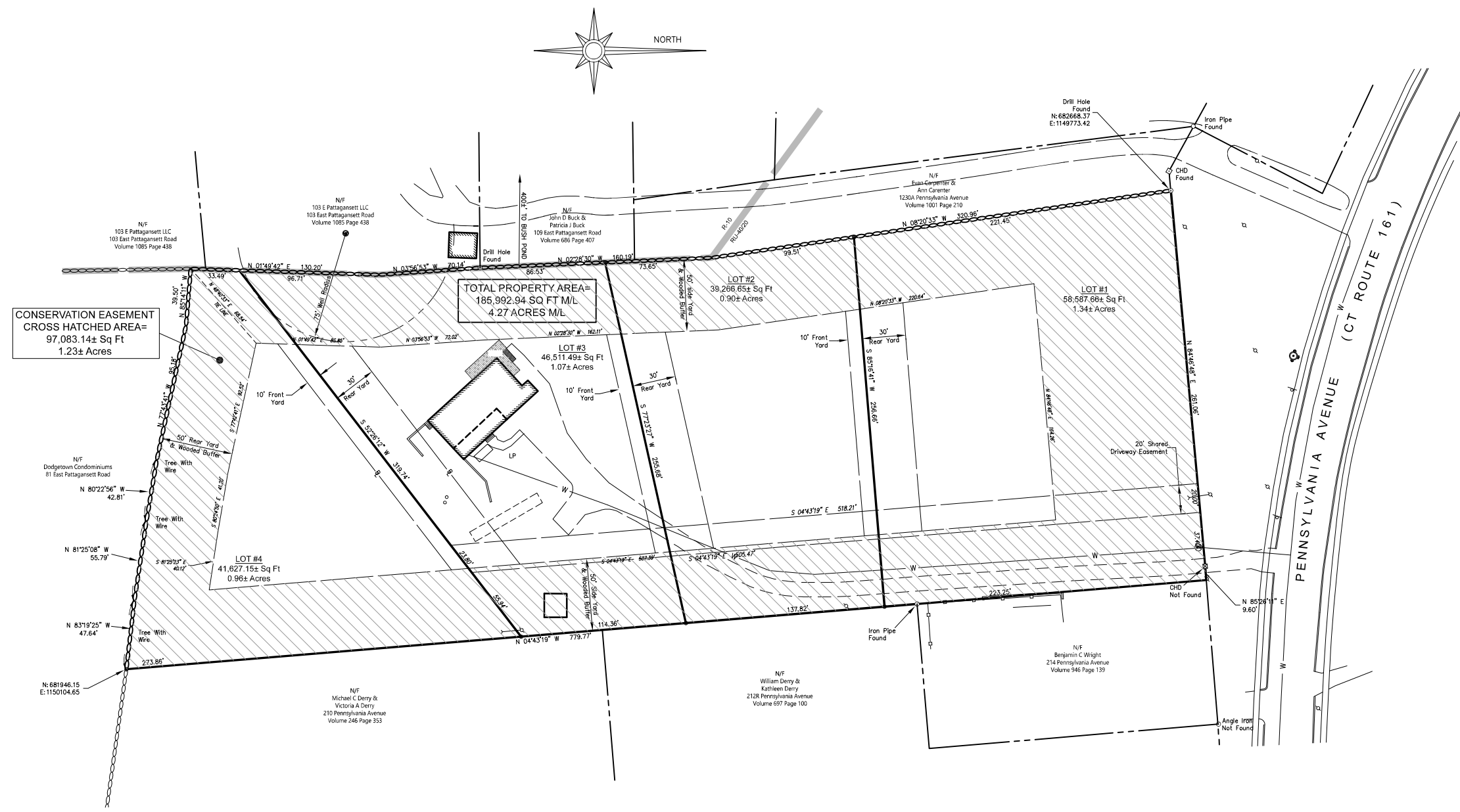
Sheet No.  
**S-01**  
 SHEET 1 OF 8

Scale:  
**1"=40'**

Date  
**SEPTEMBER 25, 2023**

Project No.  
**23063-1**

ZONING COMPLIANCE CHART	
ZONE: RU-40/20	
ZONING REGULATIONS SECTION 23	
CONSERVATION DESIGN DEVELOPMENT	
FRONT YARD SETBACK (MINIMUM)	10'
REAR YARD SETBACK (MINIMUM)	30'
REAR YARD SETBACK (WHEN ALONG PERIMETER OF CDD DEV)	50'
SIDE YARD SETBACK (MINIMUM)	15'
SIDE YARD SETBACK (WHEN ALONG PERIMETER OF CDD DEV)	50'
LOT COVERAGE (MAXIMUM)	25%
BUILDING SETBACK TO WETLANDS/WATERCOURSES	100'



JAMES BERNARDO  
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LTR	DESCRIPTION	DATE
A	TEST HOLES, DRAINAGE WATER NOTES AND E&S ADDED	12-3-2023

REVISIONS

RE-SUBDIVISION PLAN  
OVERALL LOT LAYOUT  
PROPERTY OF  
**PETRIIT MARKU**  
FOR PROPERTY LOCATED AT  
**220 PENNSYLVANIA AVENUE-CT RTE 161**  
TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.  
**S-02**  
SHEET 2 OF 8

Scale:  
1" = 40'

Date  
**SEPTEMBER 25, 2023**

Project No.  
**23063-1**

**TEST HOLE DATA**

SEPTEMBER 7, 2023  
 JAMES BERNARDO, LS  
 DANIELLE HOLMES, REHS (LHD)

**TEST HOLE #1 DEPTH 88"**  
 0-23" TOPSOIL  
 23-29" ORANGE BROWN FINE SANDY LOAM  
 29-88" YELLOW BROWN MEDIUM SAND & GRAVEL (60%)  
 ROOTS TO 42", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

**TEST HOLE #2 DEPTH 87"**  
 0-14" TOPSOIL  
 14-20" ORANGE BROWN FINE SANDY LOAM  
 20-87" YELLOW BROWN MEDIUM SAND & GRAVEL (55%)  
 ROOTS TO 77", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

**TEST HOLE #3 DEPTH 82"**  
 0-10" TOPSOIL  
 10-38" ORANGE BROWN FINE SANDY LOAM  
 38-82" YELLOW BROWN MEDIUM SAND & GRAVEL (1%)  
 ROOTS TO 58" NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

**TEST HOLE #4 DEPTH 81"**  
 0-8" TOPSOIL  
 8-19" ORANGE BROWN FINE SANDY LOAM WITH COBBLES  
 19-81" YELLOW BROWN MEDIUM SAND & GRAVEL (30%)  
 ROOTS TO 60", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

**TEST HOLE #5 DEPTH 97"**  
 0-6" TOPSOIL  
 6-34" ORANGE BROWN FINE SANDY LOAM  
 34-97" YELLOW BROWN MEDIUM SAND & GRAVEL (40%)  
 ROOTS TO 72", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

**TEST HOLE #6 DEPTH 92"**  
 0-6" TOPSOIL  
 6-30" ORANGE BROWN FINE SANDY LOAM  
 30-92" YELLOW BROWN MEDIUM SAND & GRAVEL (30%)  
 ROOTS TO 50", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

**TEST HOLE #7 DEPTH 79"**  
 0-7" TOPSOIL  
 7-26" ORANGE BROWN FINE SANDY LOAM  
 26-79" YELLOW BROWN COARSE SAND & GRAVEL (40%)  
 ROOTS TO 72", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

NOVEMBER 16, 2023  
 JAMES BERNARDO, LS  
 JOE BLANCHARD(LHD)

**TEST HOLE #8 DEPTH 92"**  
 0-6" TOPSOIL  
 6-33" ORANGE BROWN MEDIUM-FINE SANDY LOAM W/COBBLES  
 33-48" TAN GREY FINE SAND SOME INCONSISTENT STAINING  
 48-61" LIGHT BROWN FINE SAND  
 61-82" LIGHT BROWN MED-COARSE SAND & GRAVEL  
 82-92" YELLOW-BROWN MED-COARSE SAND  
 ROOTS TO 63", NO LEDGE, NO MOTTLING (POTENTIALLY PERCHED IN FINE LAYER AT 33")

**TEST HOLE #9 DEPTH 85"**  
 0-5" TOPSOIL  
 5-32" ORANGE BROWN FINE-MEDIUM SANDY LOAM W/COBBLES  
 32-58" TAN-GRAY MEDIUM SAND & GRAVEL  
 58-85" GRAY FINE-MEDIUM SAND & GRAVEL, COBBLES COMPACT, BONEY  
 ROOTS TO 63", NO GROUNDWATER, NO LEDGE, NO MOTTLING

**TEST HOLE #10 DEPTH 84"**  
 0-4" TOPSOIL  
 4-38" ORANGE BROWN FINE SANDY LOAM  
 38-84" YELLOW BROWN MEDIUM-COARSE SAND W/GRAVEL & COBBLES  
 ROOTS TO 34", NO GROUNDWATER, NO LEDGE, NO MOTTLING

**TEST HOLE #11 DEPTH 92"**  
 0-2" TOPSOIL  
 2-42" ORANGE BROWN FINE SANDY LOAM WITH COBBLES  
 42-92" YELLOW BROWN MEDIUM-COARSE SAND W/GRAVEL & COBBLES  
 ROOTS TO 34", NO LEDGE, NO MOTTLING NO GROUNDWATER

**PERCOLATION TEST DATA**

SEPTEMBER 10, 2023  
 JAMES BERNARDO, LS

**PERC TEST #1 TOTAL DEPTH 36"**  
 PRESOAK AT 11:30  
 DEPTH TO MEASUREMENT DATUM = 21"

12:50 2 1/2"  
 12:55 9"  
 1:00 12"  
 1:05 DRY

RATE: 1.7 MINUTES/INCH

**PERC TEST #2 TOTAL DEPTH 26"**  
 PRESOAK AT 11:50  
 DEPTH TO MEASUREMENT DATUM = 12"

12:51 2"  
 12:56 4 1/2"  
 1:01 6"  
 1:06 6 3/4"  
 1:11 8"  
 1:16 9 1/2"  
 1:21 10"  
 1:26 DRY

RATE: 6.7 MINUTES/INCH

**PERC TEST #3 TOTAL DEPTH 24"**  
 PRESOAK AT 12:20  
 DEPTH TO MEASUREMENT DATUM = 10"

1:28 2"  
 1:33 3 1/2"  
 1:38 4 3/4"  
 1:43 6"  
 1:49 7"  
 1:56 7 1/2"  
 2:01 8"  
 2:06 9"  
 2:11 9 3/4"  
 2:16 10 1/2"  
 2:21 DRY

RATE: 6.7 MINUTES/INCH

**PERC TEST #4 TOTAL DEPTH 38"**  
 PRESOAK AT 11:10  
 DEPTH TO MEASUREMENT DATUM = 24"

1:31 2 1/2"  
 1:36 12"  
 1:41 DRY

RATE: LESS THAN 1.0 MINUTES/INCH

**PERC TEST #5 TOTAL DEPTH 30"**  
 PRESOAK AT 12:38  
 DEPTH TO MEASUREMENT DATUM = 16"

1:55 2 1/2"  
 2:00 10"  
 2:05 DRY

RATE: LESS THAN 1 MINUTES/INCH

**PERC TEST #6 TOTAL DEPTH 35"**  
 PRESOAK AT 8:30  
 NOVEMBER 24, 2023  
 DEPTH TO MEASUREMENT DATUM = 21"

10:48 1"  
 10:53 3"  
 11:58 5"  
 12:03 7"  
 12:08 8 1/2"  
 12:13 10"  
 12:18 11 1/2"  
 12:23 13"  
 12:33 DRY

RATE: 6.7 MIN/IN

**PERC TEST #7 TOTAL DEPTH 34"**  
 PRESOAK AT 8:40  
 NOVEMBER 24, 2023  
 DEPTH TO MEASUREMENT DATUM = 20"

10:44 2"  
 10:49 5"  
 10:54 7"  
 10:59 8 1/2"  
 11:04 9 1/4"  
 11:09 10"  
 11:14 10 3/4"  
 11:19 11 1/2"  
 11:24 12 1/4"  
 11:29 DRY

RATE: 6.6 MIN/IN

**LOT #1**

PROPOSED 4 BEDROOM HOUSE  
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH  
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE  
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224  
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE  
 100% RESERVE AREA PROVIDED

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"

**LOT #2**

PROPOSED 4 BEDROOM HOUSE  
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH  
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE  
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224  
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE  
 100% RESERVE AREA PROVIDED

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"

**LOT #3**

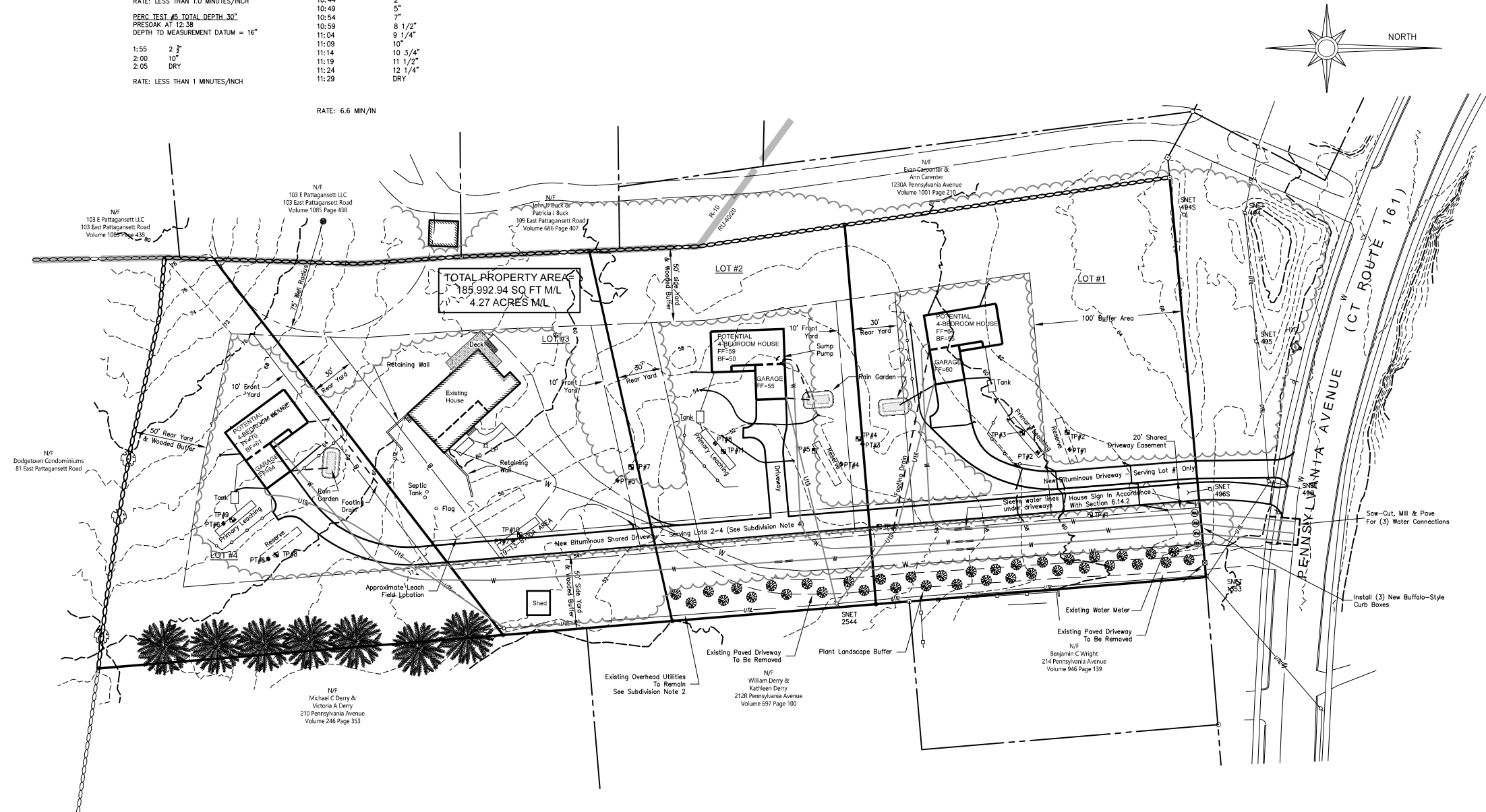
EXISTING 4 BEDROOM HOUSE  
 THE EXISTING LEACHING SYSTEM IS UNKNOWN  
 CPH 19-13-B100A IS AS FOLLOWS  
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH  
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE  
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224  
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"

**LOT #4**

PROPOSED 4 BEDROOM HOUSE  
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH  
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE  
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224  
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE  
 100% RESERVE AREA PROVIDED

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"



JAMES BERNARDO  
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LTR	DESCRIPTION	DATE
A	TEST HOLES, DRAINAGE WATER NOTES AND E&S ADDED	12-3-2023
<b>REVISIONS</b>		

RE-SUBDIVISION PLAN  
 LOT DEVELOPMENT PLAN  
 PROPERTY OF  
**PETRI MARKU**  
 FOR PROPERTY LOCATED AT  
**220 PENNSYLVANIA AVENUE-CT RTE 161**  
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.  
**S-03**  
 SHEET 3 OF 8

Scale:  
**1" = 40'**

Date  
**SEPTEMBER 25, 2023**

Project No.  
**23063-1**

JAMES BERNARDO  
 LAND SURVEYING, LLC  
 102A SPITHEAD ROAD  
 WATERFORD, CONNECTICUT 06385  
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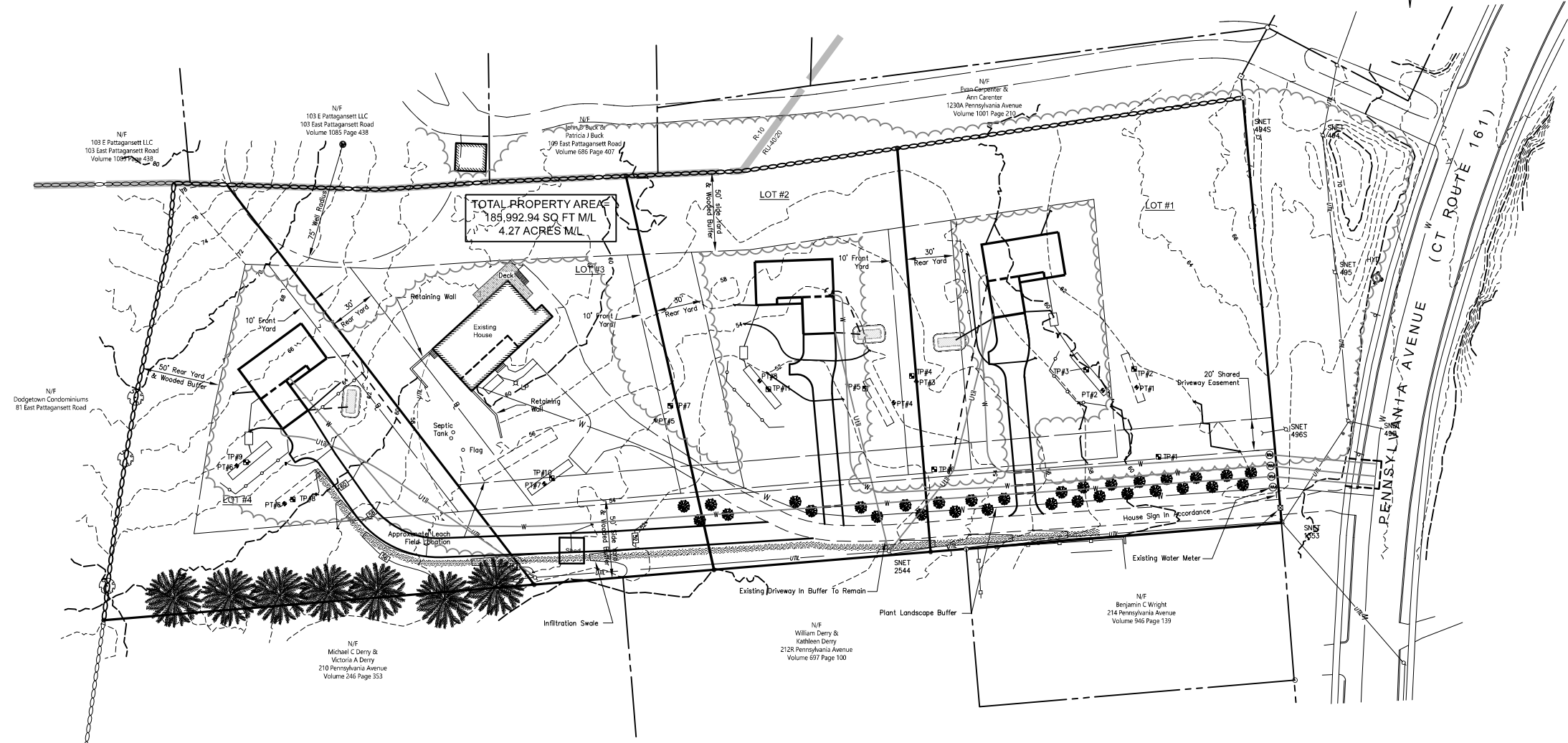
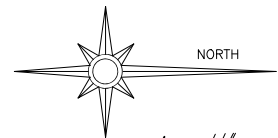
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TEST HOLES, DRAINAGE WATER NOTES AND E&S ADDED 12-3-2023

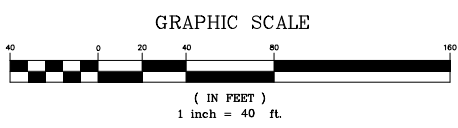
LTR	DESCRIPTION	DATE
	REVISIONS	

RE-SUBDIVISION PLAN  
 ALTERNATIVE - LOT DEVELOPMENT PLAN  
 PROPERTY OF  
**PETRIE MARKU**  
 FOR PROPERTY LOCATED AT  
**220 PENNSYLVANIA AVENUE**  
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.  
**S-04**  
 SHEET 4 OF 8  
 Scale: 1" = 40'  
 Date: **SEPTEMBER 25, 2023**  
 Project No. **23063-1**



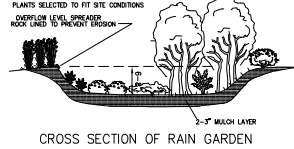
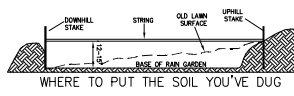
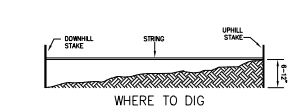
**NOTE:**  
 THIS ALTERNATE LOT DEVELOPMENT LAYOUT IS PROVIDED TO DEMONSTRATE THAT THE CONTINUED USE OF THE EXISTING PAVED DRIVEWAY WITHIN THE REQUIRED BUFFER (23.58) WOULD CREATE SIGNIFICANTLY LESS IMPACT TO THE SITE. SUCH USE WOULD OBTIATE THE NEED FOR A LANDSCAPE BUFFER. PLANTINGS WOULD BE PROVIDED ON THE WEST OF THE EXISTING DRIVEWAY TO SCREEN THE HOUSES IN THE PROPOSED DEVELOPMENT FROM THE ADJACENT PROPERTIES.



- LEGEND**  
 THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING
- AC ACRES
  - BF BASEMENT FLOOR
  - BIT BITUMINOUS
  - BCLC BITUMINOUS CONCRETE LIP CURBING
  - CONC CONCRETE
  - DIA DIAMETER
  - DB DISTRIBUTION BOX
  - EOP EDGE OF PAVEMENT
  - ELEV ELEVATION
  - FF FINISHED FIRST FLOOR
  - LF LINEAR FOOT
  - (MIN) MINIMUM
  - M/L MORE OR LESS
  - N/F NOW OR FORMERLY
  - PVC POLY VINYL CHLORIDE
  - SCH40 SCHEDULE 40
  - 5.4x SPOT ELEVATION
  - SF SQUARE FEET
  - TR TO REMAIN
  - HTB HIGH TIDE BUSH
  - SP SPARTINA PATENS
  - SA SPARTINA ALTERNAFLORA
  - TBR TO BE REMOVED
  - TYP TYPICAL
  - P-5 SOIL PERC TEST LOCATION
  - THB SOIL DEEP TEST LOCATION
  - WELL
  - HYDRANT
  - TREE
  - BUILDING SETBACK LINE
  - CLEARING LIMIT LINE
  - EXISTING TREELINE
  - EXISTING CONTOUR
  - NEW CONTOUR
  - SEDIMENT FENCE
  - STORM DRAIN PIPE
  - STONE WALL
  - SANITARY SEWER
  - WATER



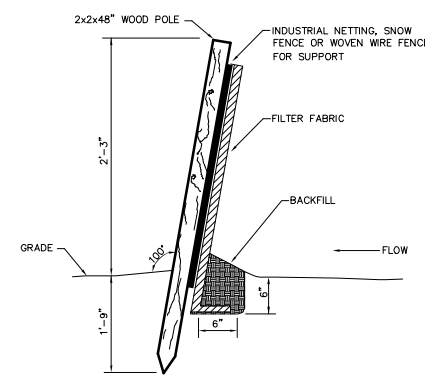
SUGGESTED PLANT LIST FOR CONNECTICUT RAIN GARDENS



- PERENNIALS**
- A. SWAMP MILKWEED (*ASCLEPIAS INCARNATA*)
  - B. NEW YORK ASTER (*ASTER NOYAE-BELOI*)
  - C. ASTILBE (*ASTILBE SPP.*)
  - D. TICKLED SUNFLOWER (*HELIOPSIS ANISTROSA*)
  - E. JOE PYE WEED (*EUPATORIUM FISTULOSUM*)
  - F. ROSE MALLOW (*HIBISCUS MOSCHEutos*)
  - G. IRIS (*IRIS VERSICOLOR*)
  - H. CARDINAL FLOWER (*LOBELIA CARDINALIS*)
  - I. SPOKED GAY FEATHER (*LIA TRIS SPICATA*)
  - J. SENSITIVE FERN (*ONOCLEA SENSIBILIS*)
  - K. CINNAMON FERN (*OSMUNDA CINNAMOMEA*)
  - L. ROYAL FERN (*OSMUNDA REGALIS*)
  - M. MARSH FERN (*THELIPTEIS PALUSTRIS*)
  - N. SPOKED WORT (*TRIDASCALIA VIRGINIANA*)
  - O. BLACK-EYED SUSAN (*RUDECKIA BIRTIA*)
- GRASSES**
- P. CREEPING BENTGRASS (*AGROSTIS STOLONIFERA*)
  - Q. MEADOW FOXTAIL (*ALOPECURUS PRATENSIS*)
  - R. BLUE JOINT (*CALAMAGROSTIS CANADENSIS*)
  - S. TUSSOCK SEDGE (*CAREX STRICTA*)
  - T. TUFTED HAIR GRASS (*DESCHAMPSIA CAESPITOSA*)
  - U. SWITCH GRASS (*PANICUM VIRGATUM*)
  - V. RIBBON GRASS (*PHALARIS ARUNDINACEA*)
- SHRUBS**
- 1. RED CHOCHEBERRY (*ARONIA ARBURIFOLIA*)
  - 2. BUTTERNUT (*ASPHALATHUS OCCIDENTALIS*)
  - 3. SUMMERSWEET CLETHRA (*CLETHRA ALNIFOLIA*)
  - 4. SILKY DOGWOOD (*CORNUS AMOMUM*)
  - 5. GRAY DOGWOOD (*CORNUS RUGICORMIS*)
  - 6. RED OSER DOGWOOD (*CORNUS SERICEA*)
  - 7. INDIAN BLYE CLAMM (*IRIS VERTICILLATA*)
  - 8. WINTERBERRY (*ILEX VERTICILLATA*)
  - 9. SPICEBUSH (*LINDERA AESTIVALE BENZONI*)
  - 10. PINKERBLOOM AZALEA (*RHOODODENDRON FENIC MELOIDES*)
  - 11. SWAMP AZALEA (*RHOODODENDRON VISCOSUM*)
  - 12. ELDERBERRY (*SAMBUCUS RACINOSUS*)
  - 13. LOMBUSH BLUEBERRY (*VACCINIUM ANGSTIFOLIUM*)
  - 14. HIGHBUSH BLUEBERRY (*VACCINIUM CORTIMBOSUM*)
  - 15. WITHERED (*VIBURNUM CASSINOIDES*)
  - 16. ARROWWOOD (*VIBURNUM DENTATUM*)
  - 17. NANNYBERRY (*VIBURNUM LENTAGO*)
  - 18. BLACK HAW (*VIBURNUM PRUNIFOLIUM*)
  - 19. AMERICAN CRANBERRY (*VIBURNUM TILLODIUM*)
  - 20. RIVER BIRCH (*BETULA NEGRA*)
  - 21. RED MAPLE (*ACER RUBRUM*)
  - 22. SWEET GUM (*LIQUIDAMBAR STYRACIFLUA*)
  - 23. SWAMP WHITE OAK (*QUERCUS BICOLOR*)
  - 24. PIN OAK (*QUERCUS PALUSTRIS*)
  - 25. LARCH (*LARIX LARicina*)
  - 26. COTTONWOOD (*POPULUS DELTOIDES*)
  - 27. SHADBLow (*AMELANCHIER SPP.*)
  - 28. GREEN ASH (*FRAXINUS PENNYCIVANICA*)

- TREES**
- 1. ADDITIONAL PLANTS MAY BE SUBSTITUTED FOR THOSE LISTED ABOVE WITH MUNICIPAL APPROVAL.
  - 2. CALL BEFORE YOU DIG 1-800-922-4455.

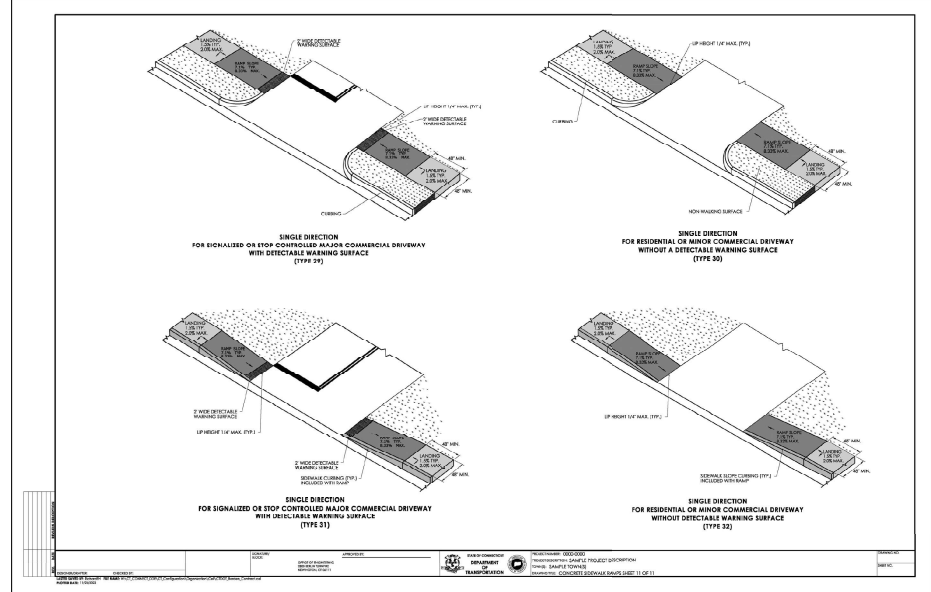
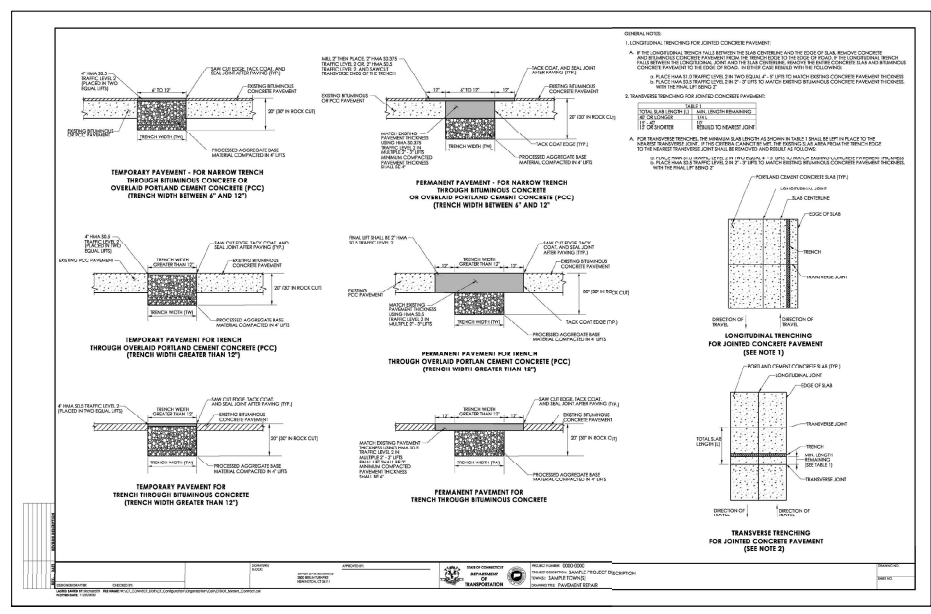
THE RAINGARDEN IS SIZED TO ACCOMMODATE THE FIRST 1" OF RAINFALL FROM THE ASSOCIATED ROOF AREA. A MINIMUM OF 75 SQ FT IS REQUIRED BASED ON A MINIMUM 8" DEPTH.



NOTE: PREMANUFACTURED FENCE MAY BE USED.  
**SEDIMENT FENCE**  
NOT TO SCALE

- EROSION & SEDIMENT CONTROL NOTES**
1. CONSTRUCTION SEQUENCE FOR SOIL EROSION AND SEDIMENT CONTROLS:
    - A. INSTALL ALL TEMPORARY CONSTRUCTION ENTRANCES, SEDIMENT FENCES AND/OR HAY BALE BARRIERS AS SHOWN ON THIS PLAN.
    - B. CLEAR TREES, SHRUBS AND BRUSH IN AREAS WHERE GRADING WILL BE REQUIRED AND GRUB AREAS TO REMOVE ALL STUMPS, ROOTS, ETC. DISPOSE OF ALL MATERIAL CLEARED AND GRUBBED OFF SITE.
    - C. REMOVE AND STOCKPILE ALL TOPSOIL ON SITE AND PROVIDE A SEDIMENT FENCE ON THE DOWNSLOPE SIDE. SEED STOCKPILE WITH PERENNIAL RYEGRASS AT A RATE OF 40 POUNDS PER ACRE AND MULCH WITH HAY OR STRAW.
    - D. EXCAVATE AND/OR FILL WORK SITE TO SUBGRADE LEVEL. FILL WILL BE PLACED AND COMPACTED IN 8 INCH LIFTS AND SHALL BE FREE OF BRUSH, RUBBISH, LOGS, BUILDING DEBRIS, OR ANY OBJECTIONABLE MATERIAL. MOISTEN SOIL SURFACE PERIODICALLY WITH WATER TO MINIMIZE DUST.
    - E. CONSTRUCT BUILDINGS AND INSTALL UTILITIES. ADD EROSION CONTROL DEVICES AS NEEDED.
    - F. PLACE AND COMPACT BASE MATERIAL TO FINAL GRADE. INSTALL PAVED DRIVEWAY WHERE INDICATED.
    - G. ALL DISTURBED AREAS SHALL BE GRADED AND STABILIZED AS FOLLOWS:
      1. PLACE MINIMUM 4 INCHES OF TOPSOIL IN ALL AREAS. APPLY LIMESTONE AND FERTILIZER IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS.
      2. APPLY RECOMMENDED SEED MIXTURE AT RECOMMENDED RATE.
      3. APPLY STRAW OR HAY MULCH ON ALL SEEDED AREAS.
      4. SEEDING SHOULD TAKE PLACE BETWEEN APRIL 1 AND JUNE 15 OR AUGUST 15 AND SEPTEMBER 30. IF OUTSIDE THESE PERIODS, AREAS SHALL BE STABILIZED WITH STRAW OR HAY MULCHING AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
  - H. ALL GRADED AREAS WITH SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL SHALL BE STABILIZED WITH JUTE NETTING.
  - I. WHEN ALL GRADED AREAS ARE PERMANENTLY STABILIZED, REMOVE ALL EROSION AND SEDIMENT CONTROLS. REMOVE TRAPPED SEDIMENT.
  - J. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ENSURE PROPER IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENT CONTROLS AS SHOWN ON THIS PLAN; AND SHALL INCLUDE BUT NOT BE LIMITED TO, INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES OF SUCH REQUIREMENTS AND NOTIFICATION OF ANY TRANSFER OF THIS RESPONSIBILITY TO OTHER PARTIES.
  - K. RECOMMENDED SEED MIXTURE: FUTURA 2000 BY THE CHAS C. HART CO. CONTAINING THE FOLLOWING VARIETIES OF PERENNIAL RYEGRASSES: FIESTA II, BLAZER II, DASHER II AND EXPRESS. A SEEDING RATE OF 5 - 7 LBS PER 1000 SF IS RECOMMENDED.

- WATER**
1. WATER SUPPLY WILL BE FROM THE EXISTING TOWN OF EAST LYME MUNICIPAL WATER SYSTEM.
  2. THE EXISTING HOUSE IS PRESENTLY SERVED BY THE MUNICIPAL WATER SYSTEM.
  3. WATER SERVICE REQUIREMENTS:
    - A. ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO THE TOWN OF EAST LYME, DEPARTMENT OF UTILITIES, WATER MAIN AND SERVICE CONSTRUCTION SPECIFICATIONS.
    - B. REMOVE BUFFALO-STYLE CURB BOXES ARE REQUIRED.
    - C. MINIMUM COVER OVER WATER MAINS AND SERVICES SHALL BE 4'-6" FROM FINISH GRADE.
    - D. 1" SERVICE CONNECTIONS ARE REQUIRED FOR EACH LOT. WATER SERVICE CONNECTIONS SHALL CROSS DRIVEWAYS AS NEARLY PERPENDICULAR AS POSSIBLE. SCHEDULE 40 PVC SLEEVES SHALL BE INSTALLED FOR EACH DRIVEWAY CROSSING TO FACILITATE FUTURE REPAIRS.



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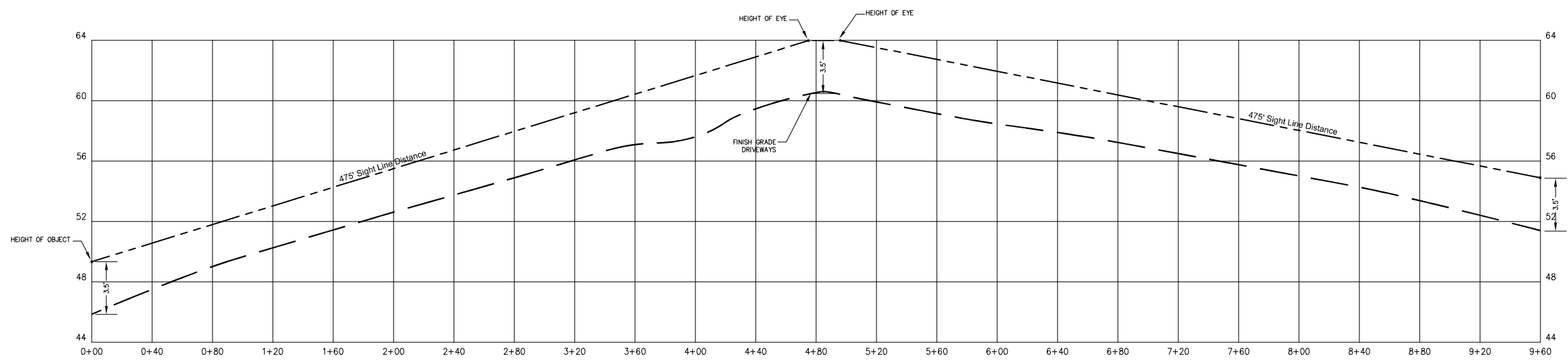
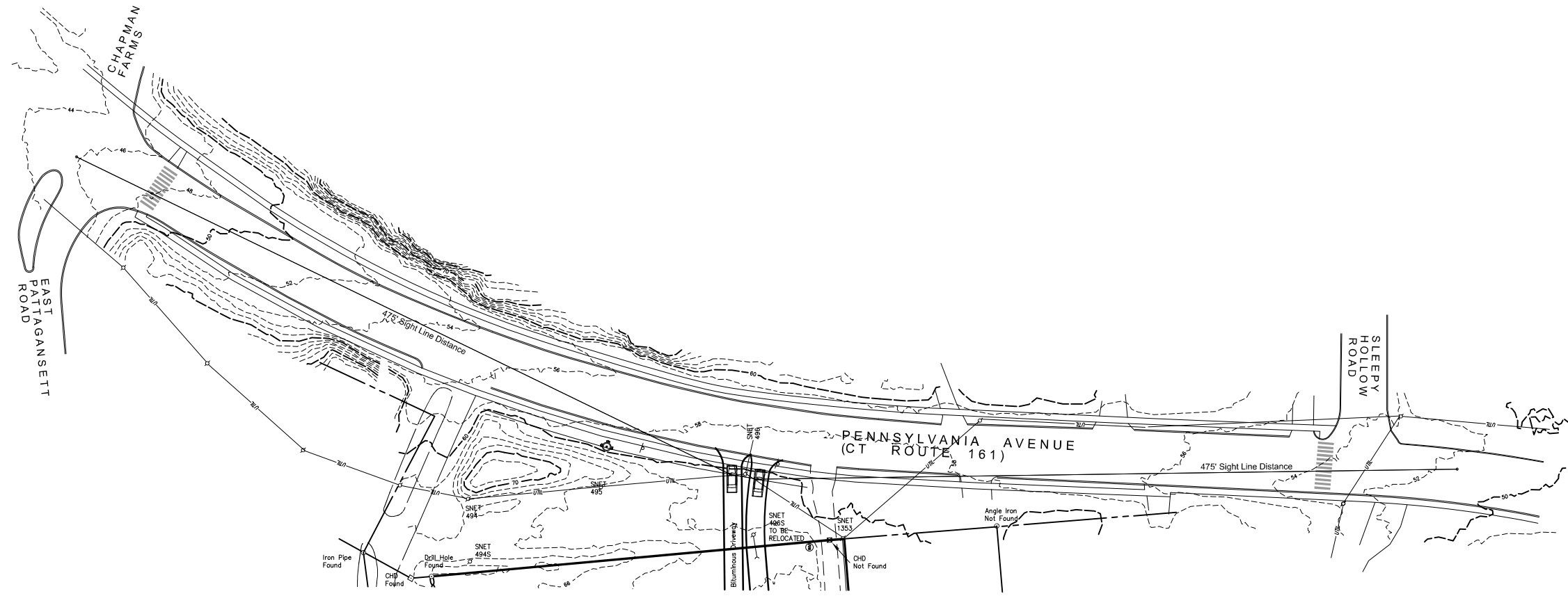
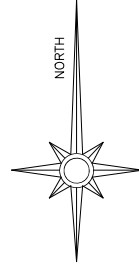
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LTR	DESCRIPTION	DATE
A	TEST HOLES, DRAINAGE WATER NOTES AND E&S ADDED	12-3-2023

**REVISIONS**

RE-SUBDIVISION PLAN  
PROJECT DETAILS  
PROPERTY OF  
**PETRIE MARKU**  
FOR PROPERTY LOCATED AT  
**220 PENNSYLVANIA AVENUE-CT RTE 161**  
TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

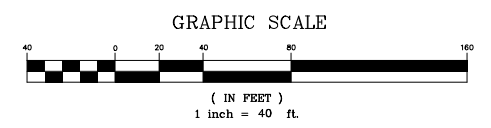
Sheet No.  
**S-05**  
SHEET 5 OF 8  
Scale:  
1" = 40'  
Date  
**SEPTEMBER 25, 2023**  
Project No.  
**23063-1**



SCALE: 1" = 40' HORIZONTAL  
1" = 4' VERTICAL

85TH PERCENTILE SPEED IN THIS AREA = 37 MPH  
THEREFORE, SIGHTLINE DISTANCE OF 410' IS REQUIRED  
475' SIGHT LINE IS DEMONSTRATED

- LEGEND**  
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MAY APPEAR ON THIS DRAWING
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  - BF BASEMENT FLOOR
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  - BCLC BITUMINOUS CONCRETE LIP CURBING
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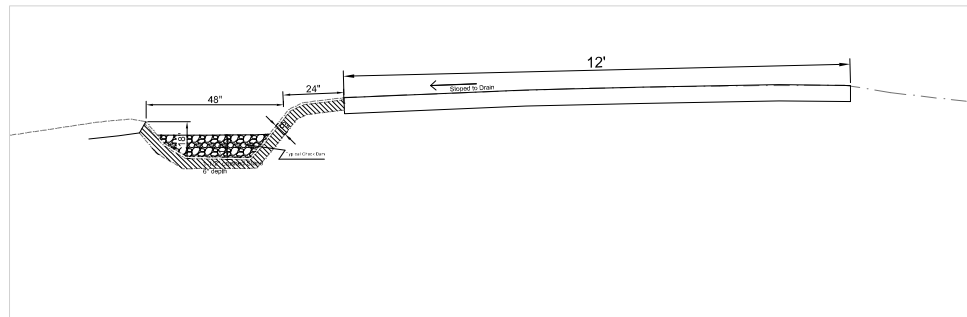
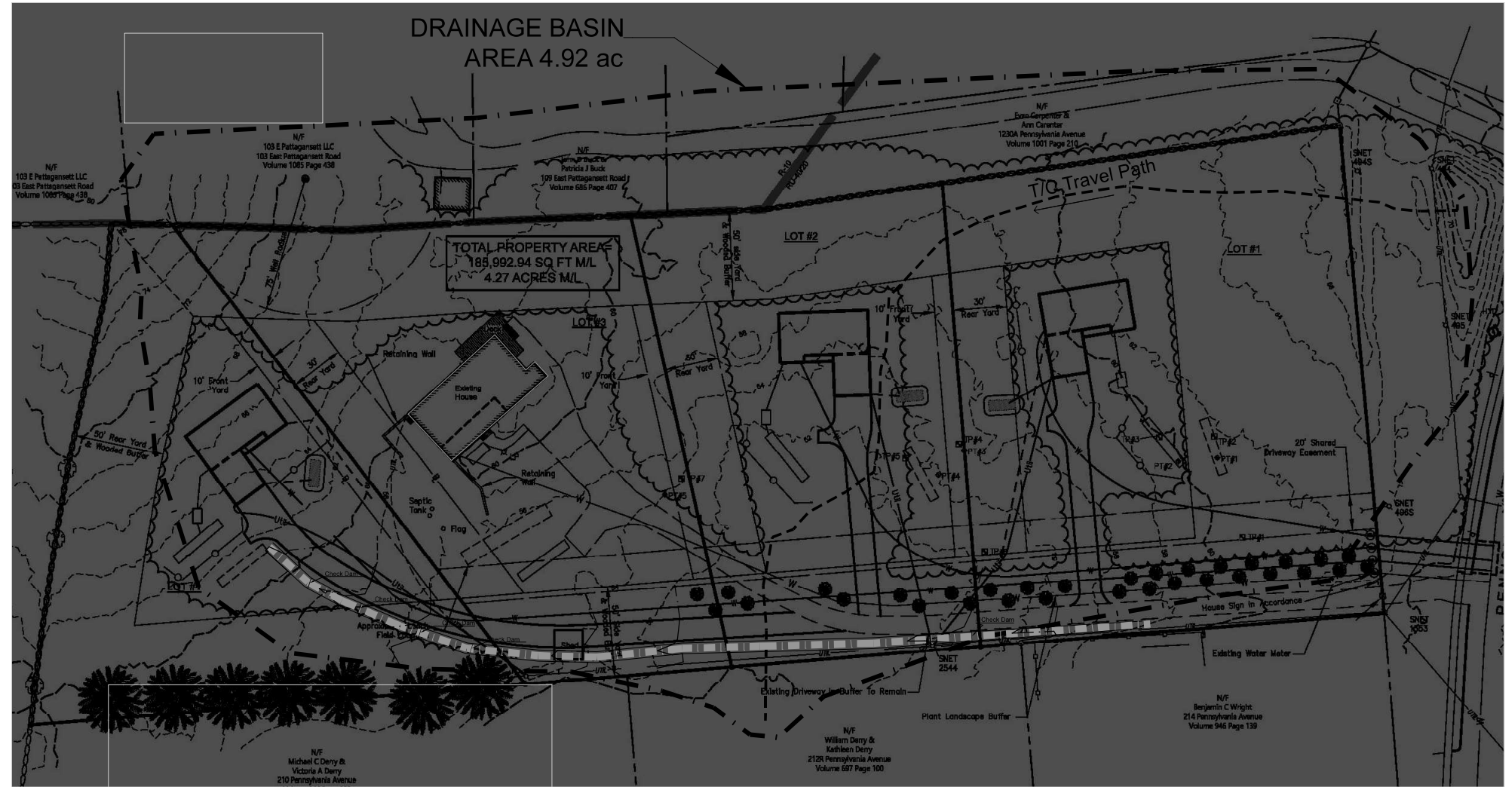
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A TEST HOLES, DRAINAGE WATER NOTES AND E&S ADDED 12-3-2023

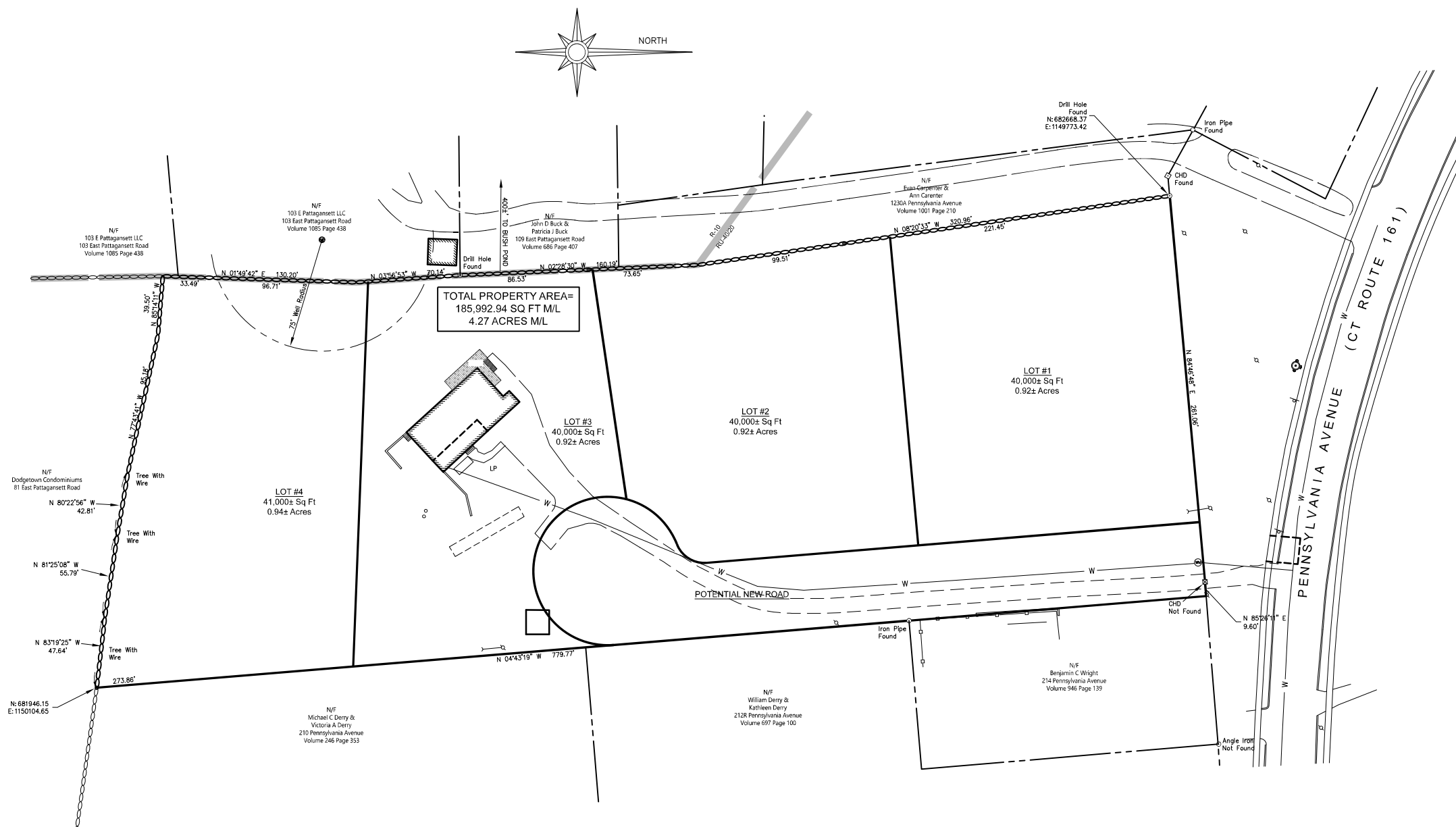
LTR	DESCRIPTION	DATE
REVISIONS		

RE-SUBDIVISION PLAN  
 SIGHT LINE DEMONSTRATION  
 PROPERTY OF  
**PETRI MARKU**  
 FOR PROPERTY LOCATED AT  
**220 PENNSYLVANIA AVENUE-CT RTE 161**  
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.  
**S-06**  
SHEET 6 OF 8  
Scale: 1" = 40'  
Date: **SEPTEMBER 25, 2023**  
Project No. **23063-1**



<b>RE-SUBDIVISION PLAN</b>  <b>STORMWATER MANAGEMENT PLAN</b>	Owner/Applicant: <b>Petrit Marku</b> 57 E. Main Street Mystic CT 06355		<b>May Engineering LLC</b> Civil Engineering and Site Planning 1297 RT 163 Oakdale, CT 06370 860 884-9671	
	for property located at <b>220 Pennsylvania Ave.</b> EAST LYME, CT		SCALE: 1"=40' DATE: 16 Nov 2023	
	JOB NUMBER 231116	SHEET 7 of 10		



JAMES BERNARDO  
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TEST HOLES, DRAINAGE WATER NOTES AND E&S ADDED 12-3-2023

LTR	DESCRIPTION	DATE
REVISIONS		

RE-SUBDIVISION PLAN  
LOT YIELD PLAN  
PROPERTY OF  
**PETRI MARKU**  
FOR PROPERTY LOCATED AT  
**220 PENNSYLVANIA AVENUE—CT RTE 161**  
TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.  
**S-08**  
SHEET 2 OF 8  
Scale:  
**1" = 40'**  
Date  
**SEPTEMBER 25, 2023**  
Project No.  
**23063-1**