

SOILS LEGEND

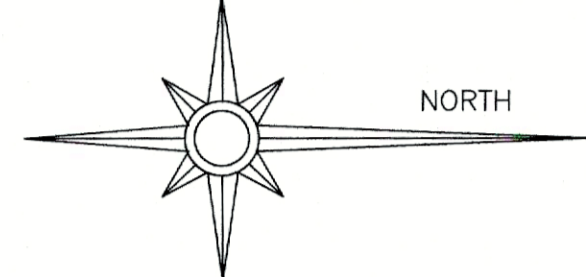
- 29B AGAWAM FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
- 34C MERRIMAC FINE SANDY LOAM, 8 TO 10 PERCENT SLOPES
- 38E HINCKLEY LOAMY SAND, 15 TO 45 PERCENT SLOPES
- 61B CANTON AND CHARLTON FINE SANDY LOAMS, 0 TO 8 PERCENT SLOPES, VERY STONY
- 73C CHARLTON-CHATFIELD COMPLEX, 0 TO 15 PERCENT SLOPES, VERY ROCKY
- 75E HOLLIS-CHATFIELD-ROCK OUTCROP COMPLEX, 15 TO 45 PERCENT SLOPES

OWNER/APPLICANT:
PETRIT MARKU
 57 E. MAIN STREET
 MYSTIC, CT 06355
 860-235-8500

SURVEYOR:
JAMES BERNARDO LAND SURVEYING, LLC
JAMES BERNARDO, LS
 102A SPITHEAD ROAD
 WATERFORD, CT 06385
 860-447-0236

INDEX TO SHEETS

- 1 OVERALL BOUNDARY & NATURAL & CULTURAL RESOURCES
- 2 LOT LAYOUT
- 3 SITE DEVELOPMENT
- 4 ALTERNATE - SITE DEVELOPMENT
- 5 SUBDIVISION DETAILS
- 6 SITE LINE DEMONSTRATION
- 7 WATERSHED ANALYSIS
- 8 LOT YIELD PLAN

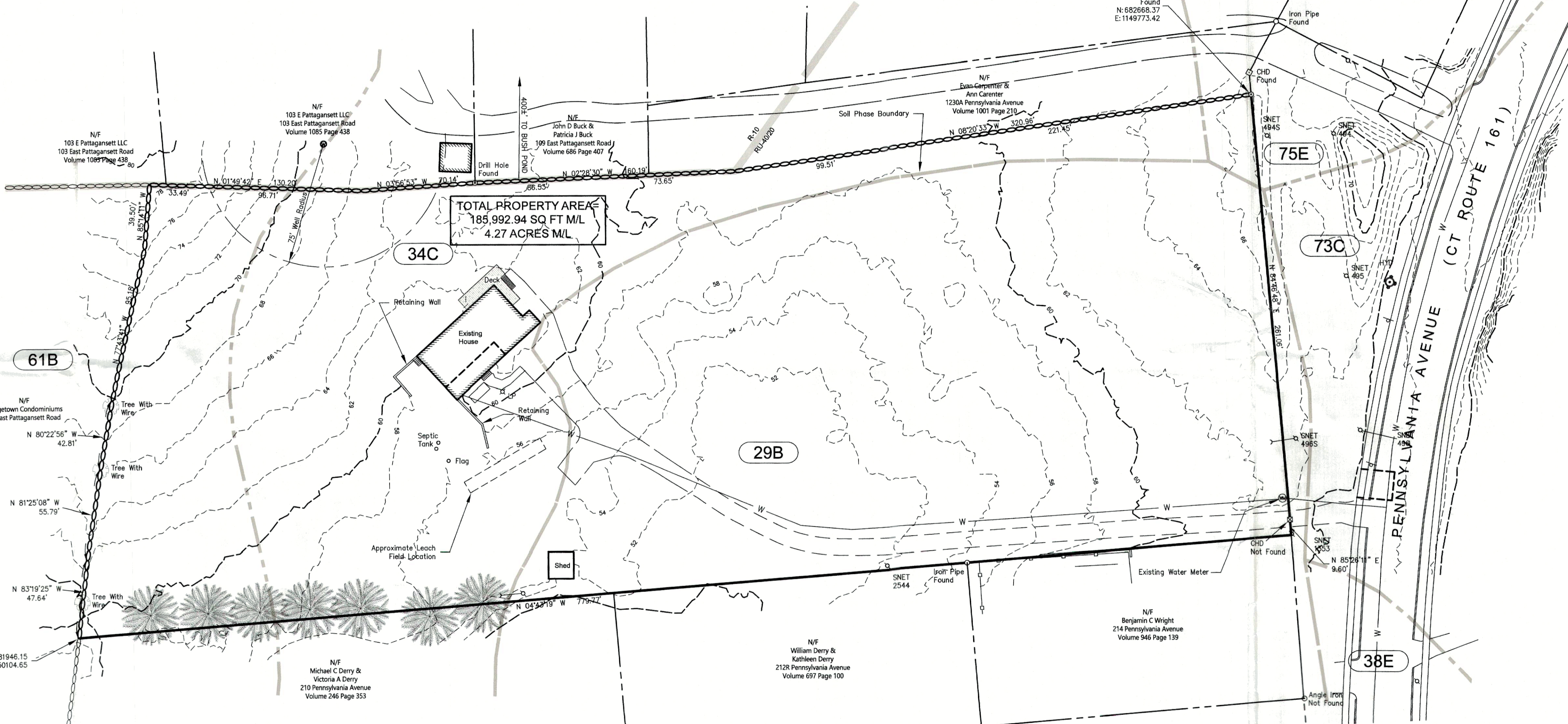


NOTES:

- THIS PLAN AND THE SURVEY IT IS BASED ON HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS. THE TYPE OF SURVEY IS A PROPERTY SURVEY. THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY FOR THE PERIMETER BOUNDARY AND A FIRST SURVEY FOR THE NEW LOT LAYOUT. THE HORIZONTAL ACCURACY CONFORMS TO CLASS A-2.
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- REFERENCE IS MADE TO EAST LYME LAND EVIDENCE RECORDS VOLUME 1100 AT PAGE 336 FOR A WARRANTY DEED DATED AUGUST 4, 2023 REGARDING RECORD TITLE TO THE SUBJECT PROPERTY.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO THE FOLLOWING:
 SEE VOLUME 131 AT PAGE 175 FOR AN EASEMENT CONVEYED BY JAMES A ROLFE TO THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY DATED JUNE 16, 1971.
 SEE VOLUME 131 AT PAGE 1 FOR AN EASEMENT CONVEYED BY JAMES A ROLFE TO THE CONNECTICUT LIGHT AND POWER COMPANY DATED JUNE 16, 1971.
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- BY GRAPHICAL DEPICTION ONLY, THIS PARCEL LIES WITHIN FLOOD HAZARD ZONE X AS SHOWN ON "NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT, COMMUNITY, TOWN OF EAST LYME MAP NUMBER: 0901100479J MAP EFFECTIVE: 8-5-2013, FEDERAL EMERGENCY MANAGEMENT AGENCY".
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 LATITUDE = N41.303892795°
 LONGITUDE = W72.050613875°
 ELLIPSOID HEIGHT = -10.7997 METERS
- THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY ON AUGUST 29, 2023. RECORD TITLE AND ADJOINER INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS ON SEPTEMBER 25, 2023.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO JAMES BERNARDO LAND SURVEYING, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

MAP REFERENCES:

- CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF EAST LYME PENNSYLVANIA AVE. NANTIC FROM MAIN ST. NORTHERLY TO THE BLACK POINT ROAD SCALE 1"=40' NUMBER 44-04 SHEET 3 OF 3.
- L.T. KISER SCALE 1"=40' MAY 5, 1964 STONINGTON CONN. BY PERCY L. ALLEN PE, LS (BOOK 7 PAGE 103).



SUBDIVISION NOTES:

- TOTAL AREA OF SUBDIVISION = 185,992.94 SQUARE FEET OR 4.27 ACRES.
- A WAIVER IS REQUESTED OF SECTIONS 6-17-1 (UNDERGROUND UTILITIES) TO ALLOW THE EXISTING OVER HEAD UTILITIES ALONG THE EASTERLY SIDE OF THE EXISTING DRIVEWAY TO REMAIN. ALL NEW UTILITIES FOR THE INDIVIDUAL HOUSES SHALL BE UNDERGROUND FROM THE EXISTING POLES.
- IN ACCORDANCE WITH SECTION 23.8 OF THE ZONING REGULATIONS A MINIMUM OF 30% OF THE PROPERTY AREA SHALL BE OPEN SPACE IN A CONSERVATION DESIGN DEVELOPMENT. THE OPEN SPACE IS CALCULATED AS FOLLOWS:
 TOTAL PROPERTY AREA = 185,992.94 SQUARE FEET
 AREA OF OPEN SPACE = 97,083.1 SQUARE FEET
 THEREFORE OPEN SPACE = 52% OF THE SUBDIVISION AREA.
 THE OPEN SPACE WILL BE MAINTAINED AS A CONSERVATION EASEMENT IN FAVOR OF A HOMEOWNERS ASSOCIATION WHICH WILL BE CREATED.
- THE DEEDS FOR LOTS 2-4 SHALL INCLUDE ALL INFORMATION REGARDING EASEMENTS, RIGHTS AND RESPONSIBILITIES REGARDING THE USE AND MAINTENANCE OF THE SHARED DRIVEWAY.

APPROVED BY THE EAST LYME PLANNING COMMISSION

CHAIRMAN/SECRETARY _____

APPROVAL DATE _____

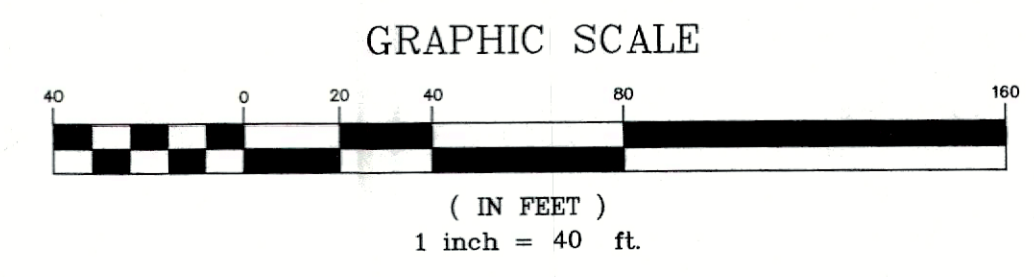
FILING DATE _____

EXPIRATION DATE _____

EROSION AND SEDIMENT CONTROL PLAN CERTIFIED BY VOTE OF EAST LYME PLANNING COMMISSION ON

DATE _____

CHAIRMAN/SECRETARY _____



LEGEND
 THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING

AC ACRES	HTB HIGH TIDE BUSH
BF BASEMENT FLOOR	SP SPARTINA PATENS
BIT BITUMINOUS	SA SPARTINA ALTERNIFLORA
BCLC BITUMINOUS CONCRETE LIP CURBING	TBR TO BE REMOVED
CONC CONCRETE	TYP TYPICAL
DIA DIAMETER	P-5 SOIL PERC TEST LOCATION
DB DISTRIBUTION BOX	THB SOIL DEEP TEST LOCATION
EOP EDGE OF PAVEMENT	W WELL
ELEV ELEVATION	HYDRANT
FF FINISHED FIRST FLOOR	TREE
LF LINEAR FOOT	BUILDING SETBACK LINE
(MIN) MINIMUM	CLEARING LIMIT LINE
M/L MORE OR LESS	EXISTING TREELINE
N/F NOW OR FORMERLY	---158--- EXISTING CONTOUR
PVC POLY VINYL CHLORIDE	---158--- NEW CONTOUR
SCH40 SCHEDULE 40	--- SEDIMENT FENCE
5.4x SPOT ELEVATION	--- STORM DRAIN PIPE
SF SQUARE FEET	--- STONE WALL
TR TO REMAIN	--- S SANITARY SEWER
	--- W WATER

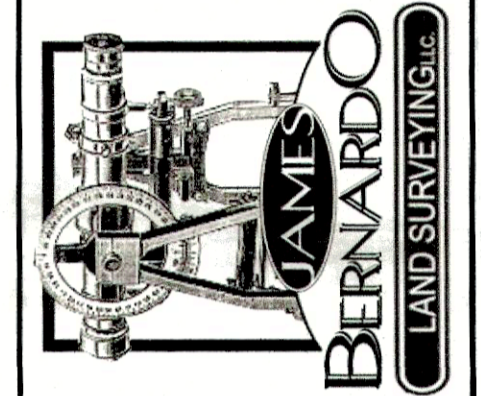


TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James Bernardo
 JAMES BERNARDO LICENSE #70121 DATE 11-13-2023

Received
 NOV 13 2023
 Town of East Lyme
 Land Use

JAMES BERNARDO
 LAND SURVEYING, LLC
 102A SPITHEAD ROAD
 WATERFORD, CONNECTICUT 06385
 (860) 447-0236
 WWW.JBSURVEY.COM



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LTR	DESCRIPTION	DATE
REVISIONS		

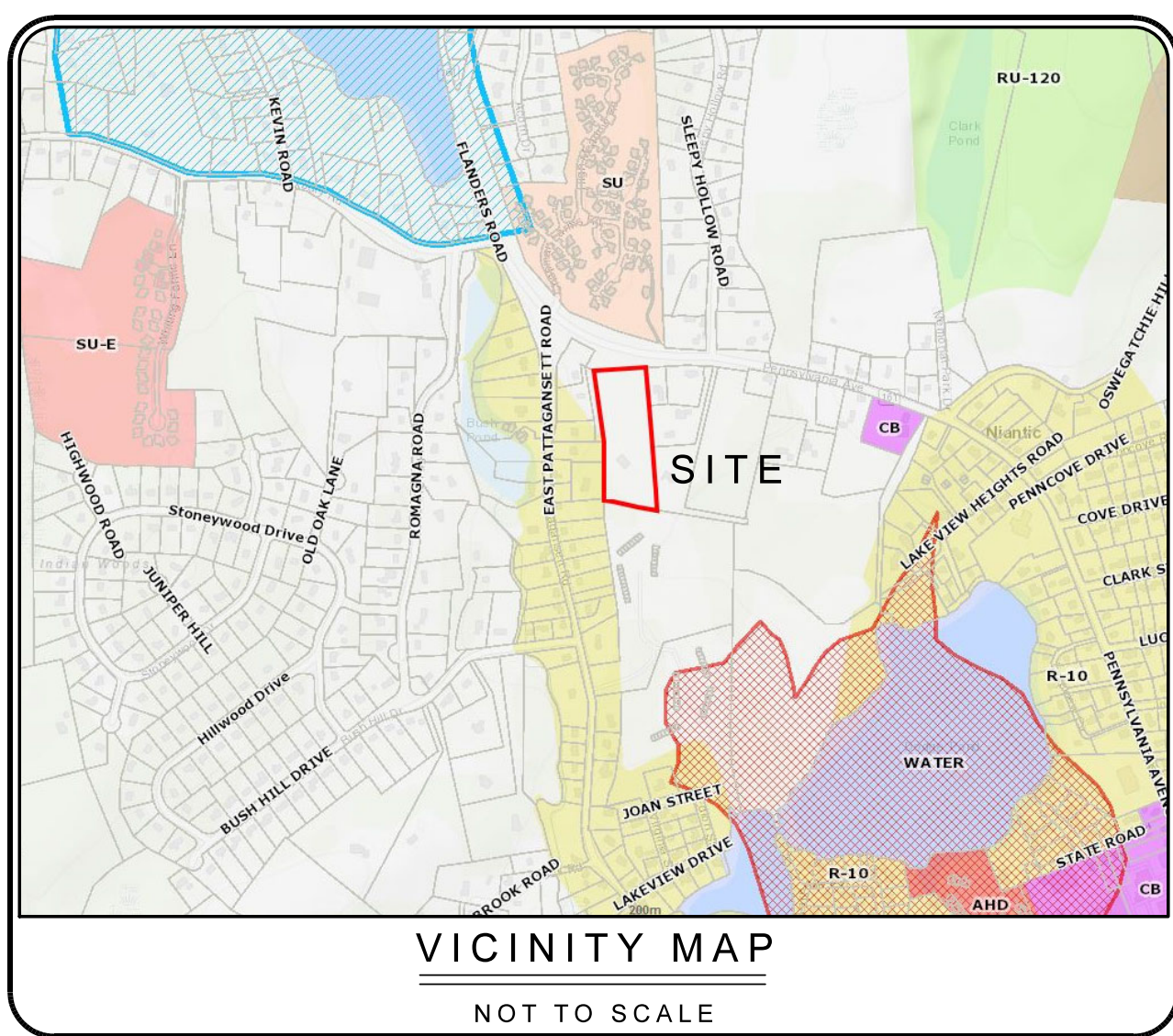
RE-SUBDIVISION PLAN
 BOUNDARY SURVEY & CULTURAL RESOURCES
 PROPERTY OF
PETRIT MARKU
 FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-01
 SHEET 1 OF 8

Scale:
1"=40'

Date
SEPTEMBER 25, 2023

Project No.
23063-1



SOILS LEGEND

29B	AGAWAM FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
34C	MERRIMAC FINE SANDY LOAM, 8 TO 10 PERCENT SLOPES
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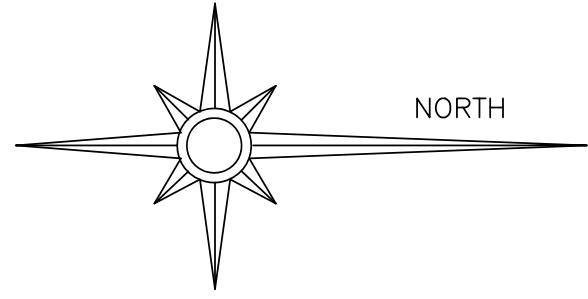
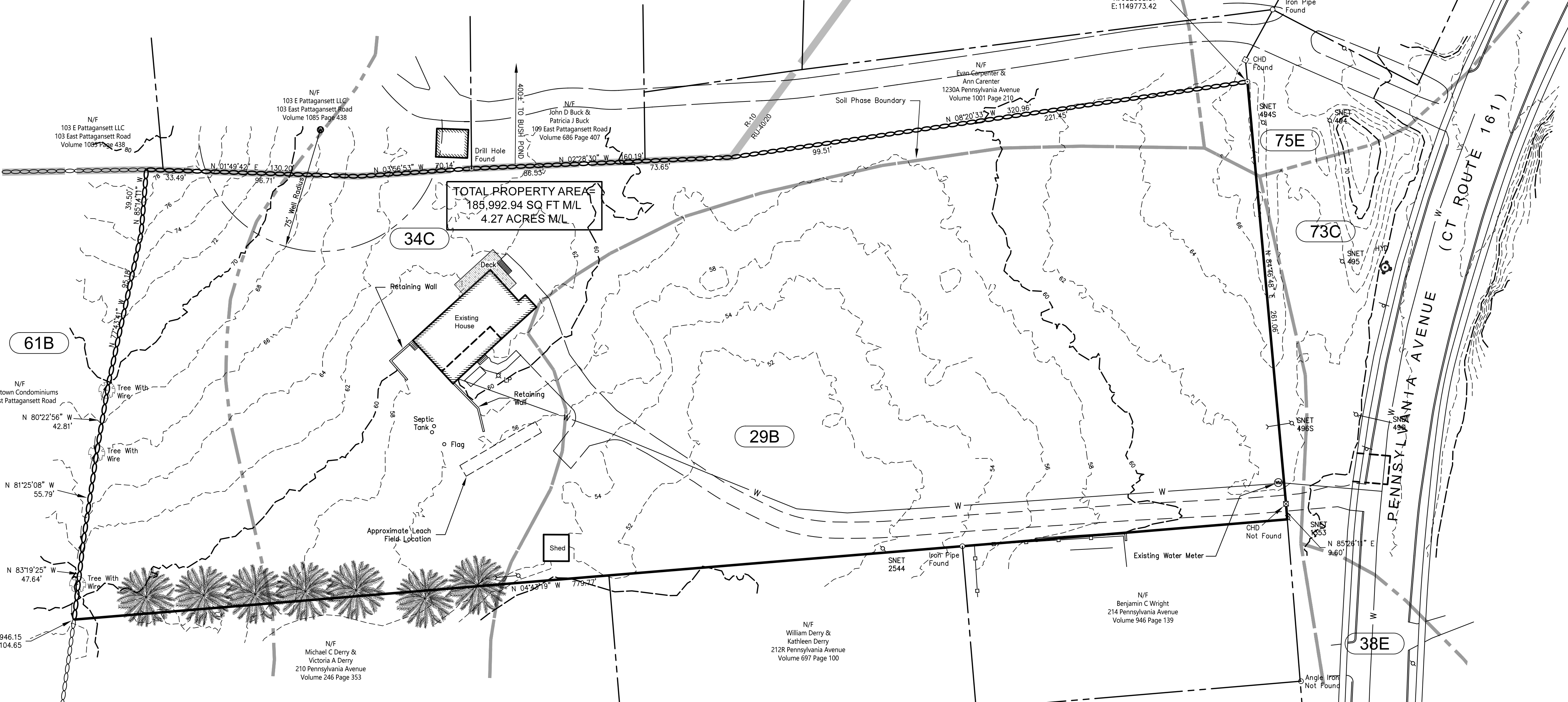
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APPROVED BY THE EAST LYME PLANNING COMMISSION

CHAIRMAN/SECRETARY _____

APPROVAL DATE _____

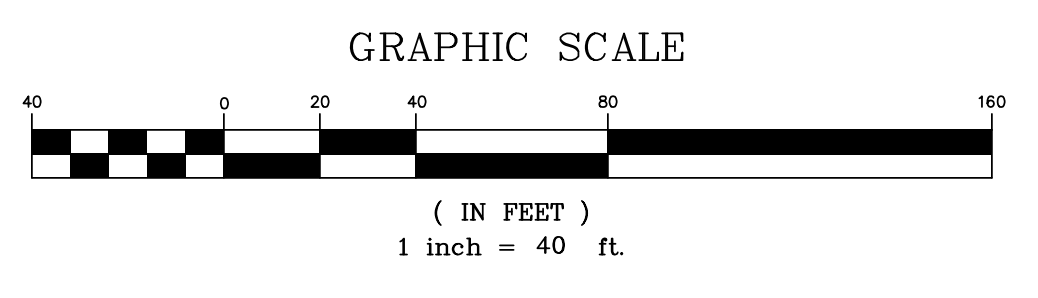
FILING DATE _____

EXPIRATION DATE _____

EROSION AND SEDIMENT CONTROL PLAN CERTIFIED BY VOTE OF EAST LYME PLANNING COMMISSION ON _____

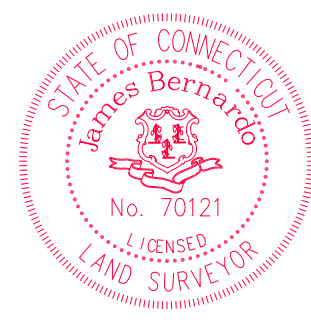
DATE _____

CHAIRMAN/SECRETARY _____



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BCLC	BITUMINOUS CONCRETE LIP CURBING	TBR	TO BE REMOVED
CONC	CONCRETE	TYP	TYPICAL
DIA	DIAMETER	P-5	SOIL PERC TEST LOCATION
DB	DISTRIBUTION BOX	THB	SOIL DEEP TEST LOCATION
EOP	EDGE OF PAVEMENT	W	WELL
ELEV	ELEVATION	HYD	HYDRANT
FF	FINISHED FIRST FLOOR	TREE	TREE
LF	LINEAR FOOT	---	BUILDING SETBACK LINE
(MIN)	MINIMUM	---	CLEARING LIMIT LINE
M/L	MORE OR LESS	---	EXISTING TREELINE
N/F	NOW OR FORMERLY	---	EXISTING CONTOUR
PVC	POLY VINYL CHLORIDE	---	NEW CONTOUR
SCH40	SCHEDULE 40	---	SEDIMENT FENCE
5.4x	SPOT ELEVATION	---	STORM DRAIN PIPE
SF	SQUARE FEET	---	STONE WALL
TR	TO REMAIN	S	SANITARY SEWER
		W	WATER

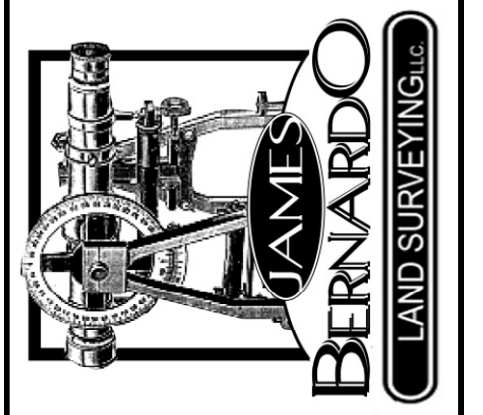


TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James Bernardo
 JAMES BERNARDO LICENSE #70121

11-13-2023
 DATE

JAMES BERNARDO
 LAND SURVEYING, LLC
 102A SPITHEAD ROAD
 WATERFORD, CONNECTICUT 06385
 (860) 447-0236
 WWW.JBSURVEYING.COM



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LR	DESCRIPTION	DATE

REVISIONS

RE-SUBDIVISION PLAN
 BOUNDARY SURVEY & CULTURAL RESOURCES
 PROPERTY OF
PETRIT MARKU
 FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-01
 SHEET 1 OF 8

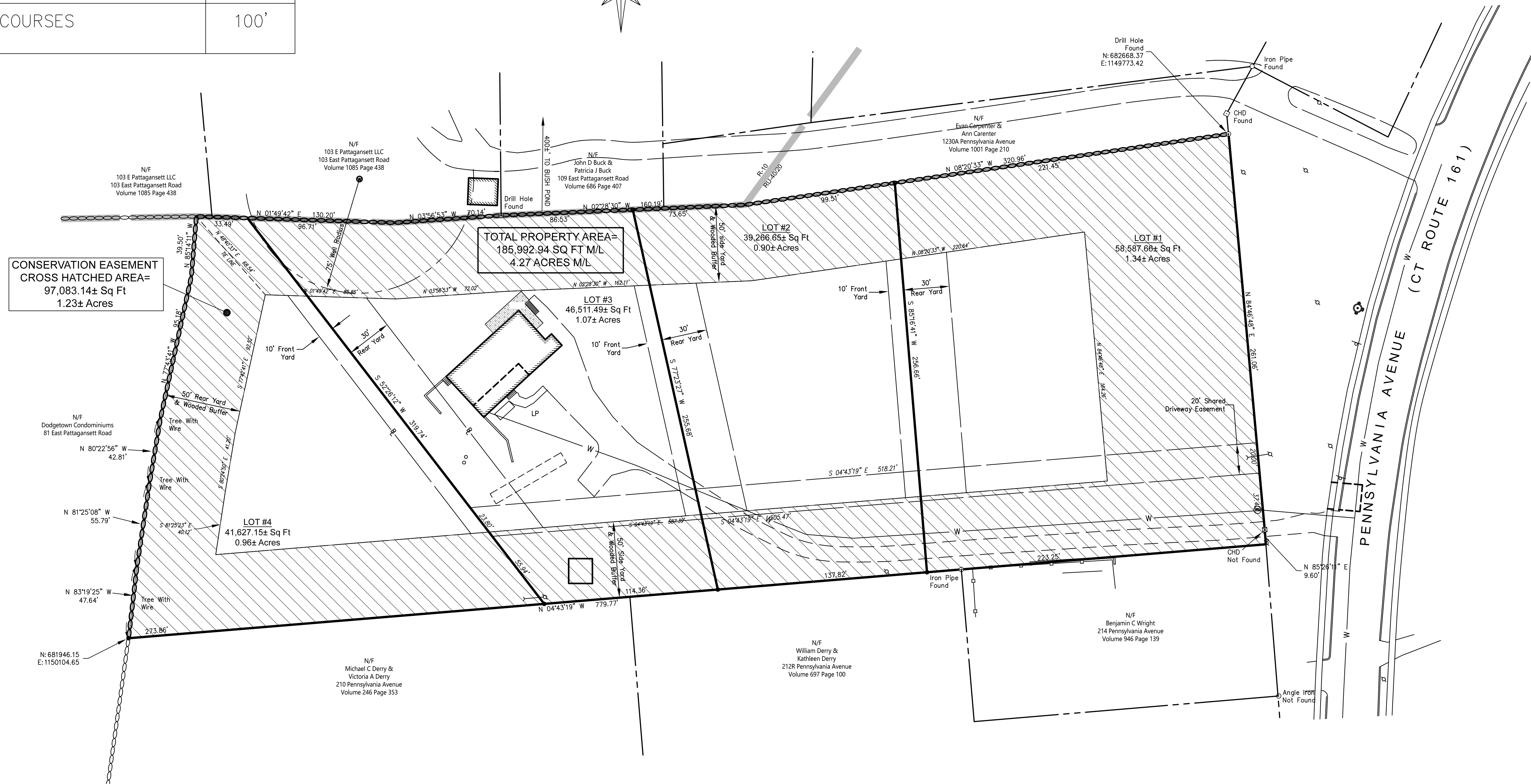
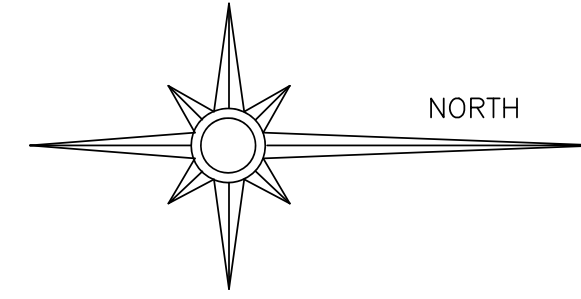
Scale:
1" = 40'

Date
SEPTEMBER 25, 2023

Project No.
23063-1

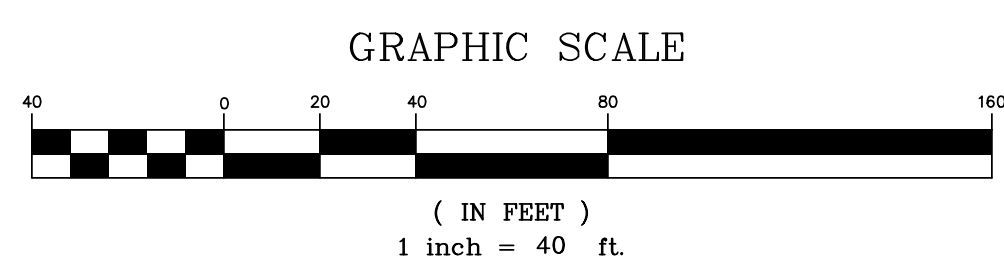
ZONING COMPLIANCE CHART
 ZONE: RU-40/20
 ZONING REGULATIONS SECTION 23
 CONSERVATION DESIGN DEVELOPMENT

FRONT YARD SETBACK (MINIMUM)	10'
REAR YARD SETBACK (MINIMUM)	30'
REAR YARD SETBACK (WHEN ALONG PERIMETER OF CDD DEV)	50'
SIDE YARD SETBACK (MINIMUM)	15'
SIDE YARD SETBACK (WHEN ALONG PERIMETER OF CDD DEV)	50'
LOT COVERAGE (MAXIMUM)	25%
BUILDING SETBACK TO WETLANDS/WATERCOURSES	100'

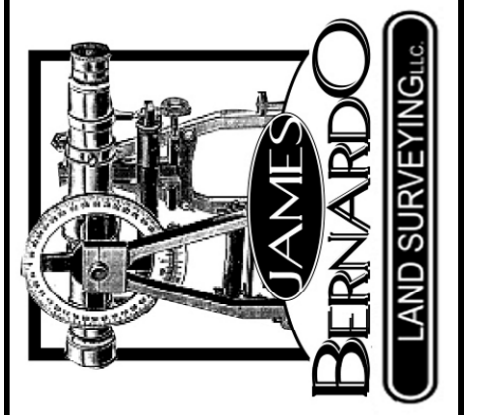


CONSERVATION EASEMENT
 CROSS HATCHED AREA=
 97,083.14± Sq Ft
 1.23± Acres

TOTAL PROPERTY AREA=
 185,992.94 SQ FT M/L
 4.27 ACRES M/L



JAMES BERNARDO
 LAND SURVEYING, LLC
 102A SPITHEAD ROAD
 WATERFORD, CONNECTICUT 06385
 (860) 447-0236
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LTR	DESCRIPTION	DATE
REVISIONS		

RE-SUBDIVISION PLAN
 OVERALL LOT LAYOUT
 PROPERTY OF
PETRI MARKU
 FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-02
 SHEET 2 OF 8
 Scale: 1" = 40'
 Date: **SEPTEMBER 25, 2023**
 Project No.: **23063-1**

TEST HOLE DATA

SEPTEMBER 7, 2023
 JAMES BERNARDO, L.S.
 DANIELLE HOLMES, REHS (LLHD)
TEST HOLE #1 DEPTH 88"
 0-23" TOPSOIL
 23-29" ORANGE BROWN FINE SANDY LOAM
 29-88" YELLOW BROWN MEDIUM SAND & GRAVEL (60%)
 ROOTS TO 42", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

TEST HOLE #2 DEPTH 87"
 0-14" TOPSOIL
 14-20" ORANGE BROWN FINE SANDY LOAM
 20-87" YELLOW BROWN MEDIUM SAND & GRAVEL (35%)
 ROOTS TO 77", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

TEST HOLE #3 DEPTH 82"
 0-10" TOPSOIL
 10-38" ORANGE BROWN FINE SANDY LOAM
 38-82" YELLOW BROWN MEDIUM SAND & GRAVEL (1%)
 ROOTS TO 58" NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

TEST HOLE #4 DEPTH 81"
 0-8" TOPSOIL
 8-19" ORANGE BROWN FINE SANDY LOAM WITH COBBLES
 19-81" YELLOW BROWN MEDIUM SAND & GRAVEL (30%)
 ROOTS TO 60", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

TEST HOLE #5 DEPTH 97"
 0-6" TOPSOIL
 6-34" ORANGE BROWN FINE SANDY LOAM
 34-97" YELLOW BROWN MEDIUM SAND & GRAVEL (40%)
 ROOTS TO 72", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

TEST HOLE #6 DEPTH 92"
 0-6" TOPSOIL
 6-30" ORANGE BROWN FINE SANDY LOAM
 30-92" YELLOW BROWN MEDIUM SAND & GRAVEL (30%)
 ROOTS TO 50", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

TEST HOLE #7 DEPTH 79"
 0-7" TOPSOIL
 7-26" ORANGE BROWN FINE SANDY LOAM
 26-79" YELLOW BROWN COARSE SAND & GRAVEL (40%)
 ROOTS TO 72", NO GROUNDWATER/NO APPARENT REDOX, NO REFUSAL

LOT #1

PROPOSED 4 BEDROOM HOUSE
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE
 100% RESERVE AREA PROVIDED

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"

LOT #2

PROPOSED 4 BEDROOM HOUSE
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE
 100% RESERVE AREA PROVIDED

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"

LOT #3

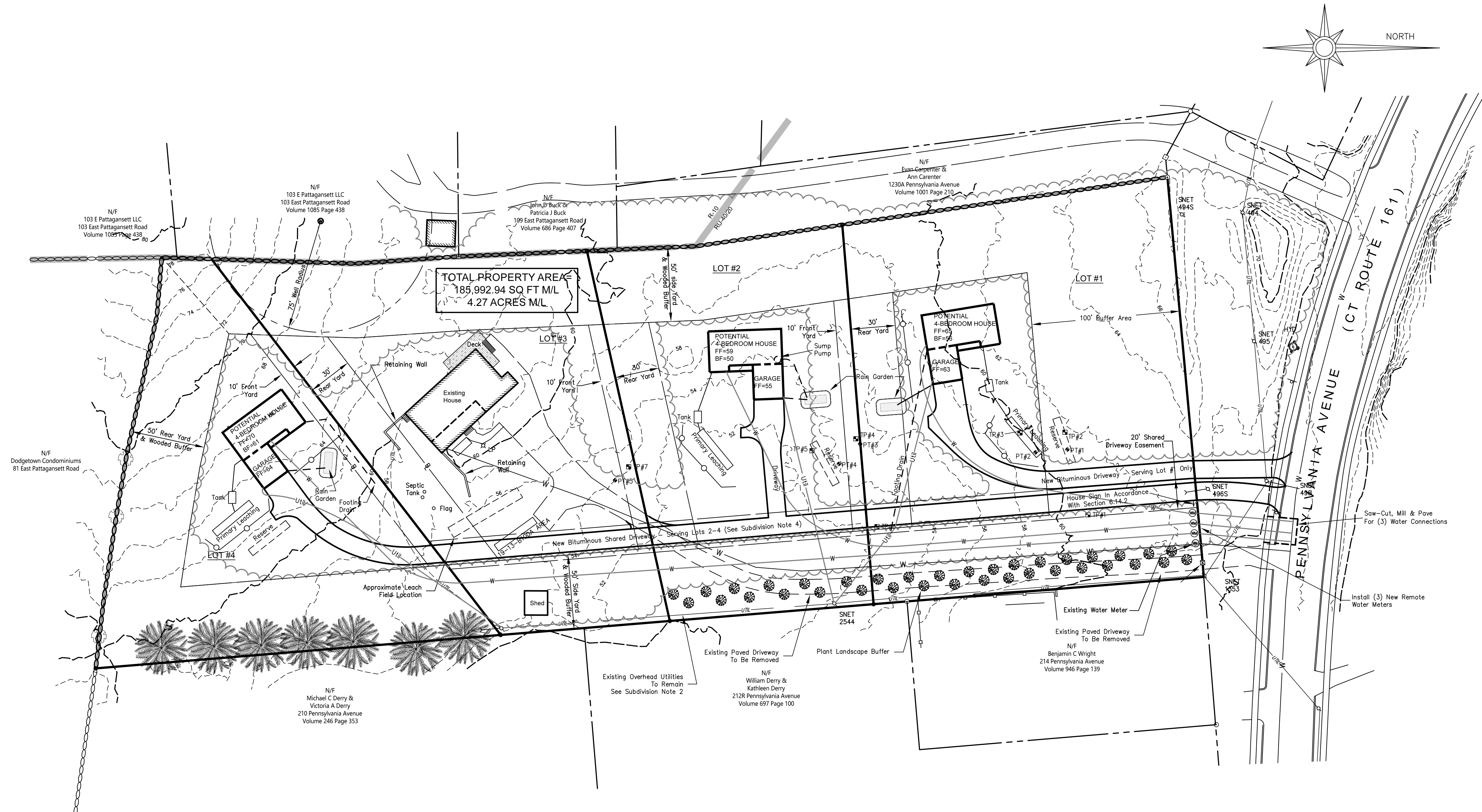
EXISTING 4 BEDROOM HOUSE
 THE EXISTING LEACHING SYSTEM IS UNKNOWN
 CPH 19-13-B100A IS AS FOLLOWS
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"

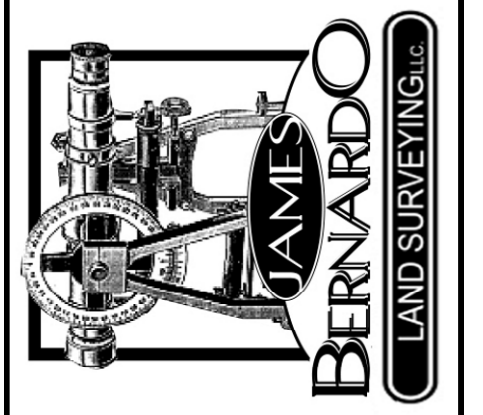
LOT #4

PROPOSED 4 BEDROOM HOUSE
 DESIGN PERCOLATION RATE = 1.0-10.0 MINUTES/INCH
 LEACHING AREA REQUIRED = 577.5 SF EFFECTIVE
 DESIGN: 1,250 GALLON SEPTIC TANK (MINIMUM) AND 1 ROW, 32LF-GST6224
 LEACHING AREA PROVIDED = 579.2 SF EFFECTIVE
 100% RESERVE AREA PROVIDED

MLSS NEED NOT BE CONSIDERED, DEPTH TO RESTRICTIVE LAYER GREATER THAN 60"



JAMES BERNARDO
 LAND SURVEYING, LLC
 102A SPITHEAD ROAD
 WATERFORD, CONNECTICUT 06385
 (860) 447-0236
 WWW.JBSURVEY.COM



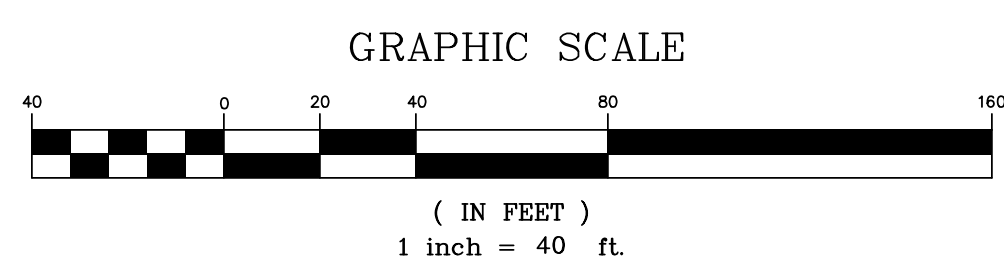
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LR	DESCRIPTION	DATE

REVISIONS

RE-SUBDIVISION PLAN
 LOT DEVELOPMENT PLAN
 PROPERTY OF
PETRIE MARKU
 FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-03
 SHEET 3 OF 8
 Scale: 1" = 40'
 Date: **SEPTEMBER 25, 2023**
 Project No. **23063-1**



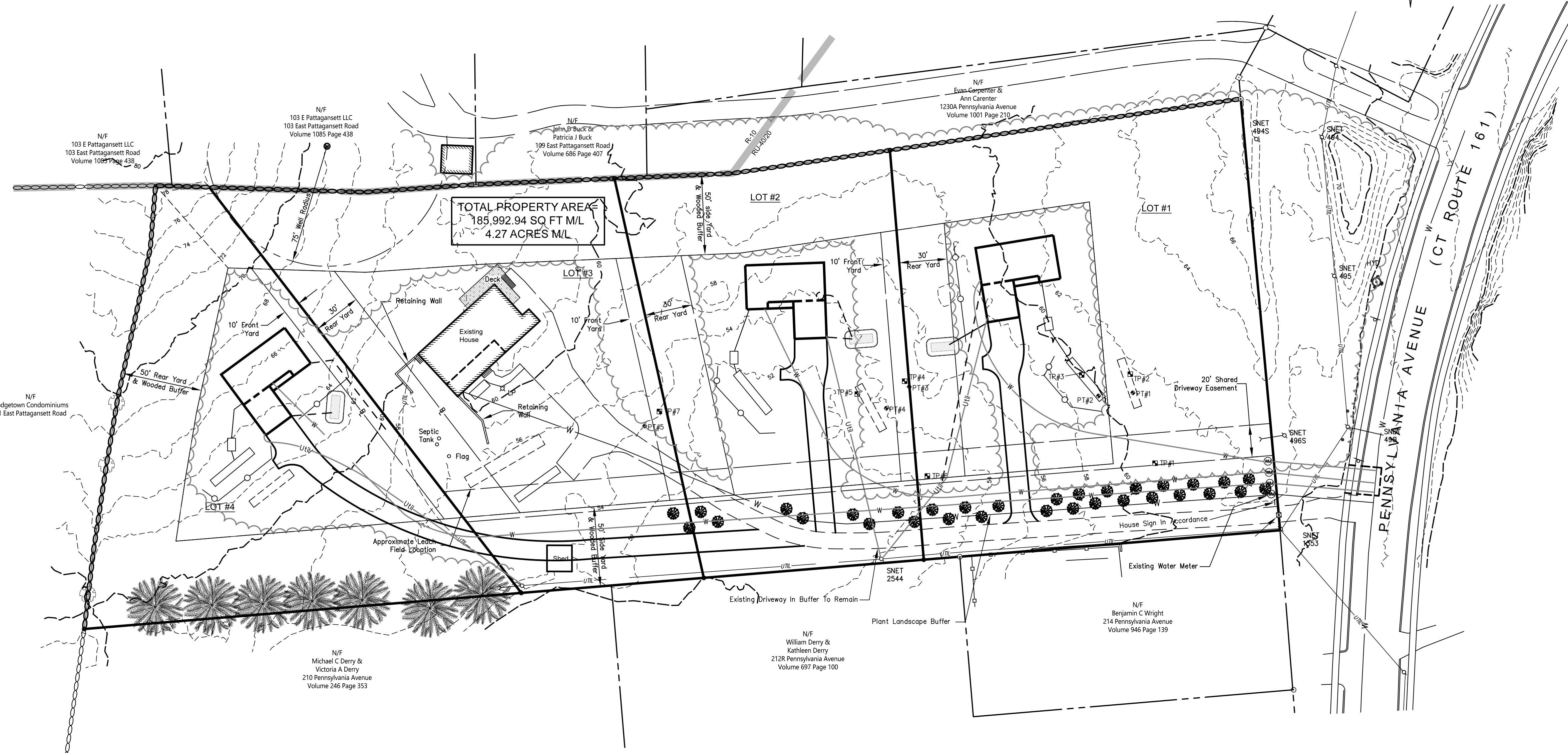
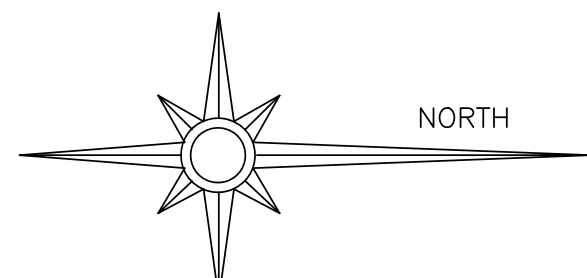


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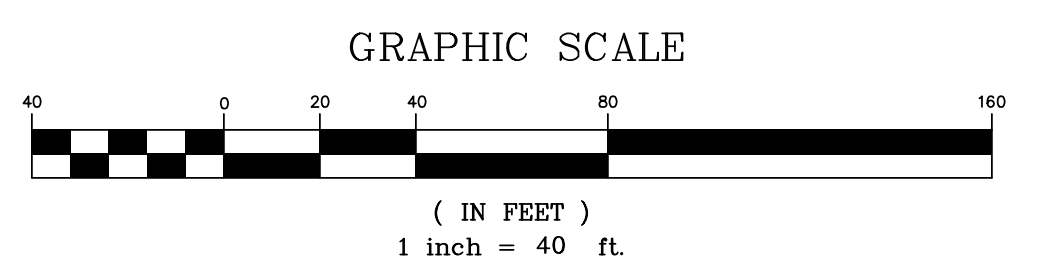
LR	DESCRIPTION	DATE
REVISIONS		

RE-SUBDIVISION PLAN
 ALTERNATIVE - LOT DEVELOPMENT PLAN
 PROPERTY OF
PETRIE MARKU
 FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
 TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-04
 SHEET 4 OF 8
 Scale: 1" = 40'
 Date: **SEPTEMBER 25, 2023**
 Project No.
23063-1

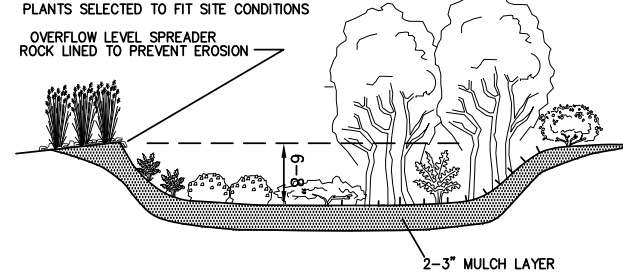
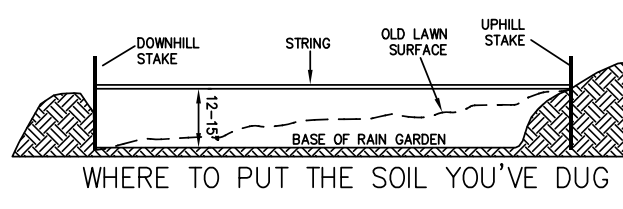
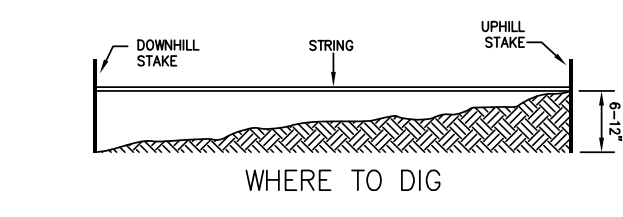


NOTE:
 THIS ALTERNATE LOT DEVELOPMENT LAYOUT IS PROVIDED TO DEMONSTRATE THAT THE CONTINUED USE OF THE EXISTING PAVED DRIVEWAY WITHIN THE REQUIRED BUFFER (23.5B) WOULD CREATE SIGNIFICANTLY LESS IMPACT TO THE SITE. SUCH USE WOULD OBIVATE THE NEED FOR A LANDCAPE BUFFER. PLANTINGS WOULD BE PROVIDED ON THE WEST OF THE EXISTING DRIVEWAY TO SCREEN THE HOUSES IN THE PROPOSED DEVELOPMENT FROM THE ADJACENT PROPERTIES.



- LEGEND**
 THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING
- | | | | |
|-------|---------------------------------|------|-------------------------|
| AC | ACRES | HTB | HIGH TIDE BUSH |
| BF | BASEMENT FLOOR | SP | SPARTINA PATENS |
| BIT | BITUMINOUS | SA | SPARTINA ALTERNAFLORA |
| BCLC | BITUMINOUS CONCRETE LIP CURBING | TBR | TO BE REMOVED |
| CONC | CONCRETE | TYP | TYPICAL |
| DIA | DIAMETER | P-S | SOIL PERC TEST LOCATION |
| DB | DISTRIBUTION BOX | THS | SOIL DEEP TEST LOCATION |
| EOP | EDGE OF PAVEMENT | W | WELL |
| ELEV | ELEVATION | HYD | HYDRANT |
| FF | FINISHED FIRST FLOOR | TREE | TREE |
| LF | LINEAR FOOT | BSL | BUILDING SETBACK LINE |
| (MIN) | MINIMUM | CLL | CLEARING LIMIT LINE |
| M/L | MORE OR LESS | ETL | EXISTING TREELINE |
| N/F | NOW OR FORMERLY | EC | EXISTING CONTOUR |
| PVC | POLY VINYL CHLORIDE | NL | NEW CONTOUR |
| SCH40 | SCHEDULE 40 | SF | SEDIMENT FENCE |
| 5.4x | SPOT ELEVATION | SDP | STORM DRAIN PIPE |
| SF | SQUARE FEET | SW | STONE WALL |
| TR | TO REMAIN | S | SANITARY SEWER |
| | | W | WATER |

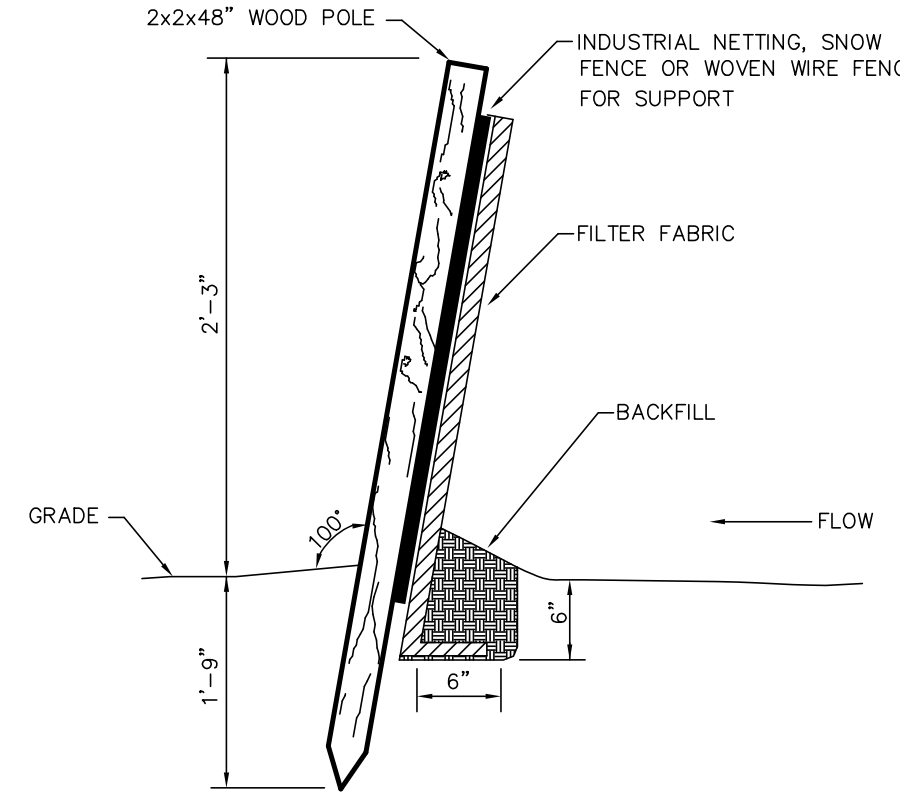
SUGGESTED PLANT LIST FOR CONNECTICUT RAIN GARDENS



- PERENNIALS**
- A. SWAMP MILKWEED (*ASPLERAS INCARNATA*)
 - B. NEW YORK ASTER (*ASTER MOYER-BELLOI*)
 - C. ASTILBE (*ASTILBE SPP.*)
 - D. TICKSEED SUNFLOWER (*BIENNIS ARISETOSA*)
 - E. JOE PYE WEED (*EUPATORIUM FISTULOSUM*)
 - F. ROSE MALLOW (*HIBISCUS MOSCHEutos*)
 - G. IRIS (*IRIS VERTICILLATA*)
 - H. CARDINAL FLOWER (*LOBELIA CARDINALIS*)
 - I. SPINNEY GAY FEATHER (*LIATRIS SPICATA*)
 - J. SENSITIVE FERN (*ONOCLEA SENSIBILIS*)
 - K. CINNAMON FERN (*OSMUNDA CINNAMOMEA*)
 - L. ROYAL FERN (*OSMUNDA REGALIS*)
 - M. MARSH FERN (*THELIPTERIS PALUSTRIS*)
 - N. SPIDERWORT (*TRADISCANTIA VIRGINIANA*)
 - O. BLACK-EYED SUSAN (*RUDHEKIA BRITA*)
- GRASSES**
- P. CREEPING BENTGRASS (*AGROSTIS STOLONIFERA*)
 - Q. MEADOW FORTUL (*ALPHEGURUS PRATENSIS*)
 - R. BLUE JOINT (*CALAMAGROSTIS CANADENSIS*)
 - S. TUSSOCK SEDGE (*CAREX STRICTA*)
 - T. TUFTED HAIR GRASS (*DESCHAMPSIA CAESPITOSA*)
 - U. SWITCH GRASS (*PANICUM VIRGATUM*)
 - V. RIBBON GRASS (*PHALARIS ARUNDINACEA*)
- SHRUBS**
- 1. RED CHOKEBERRY (*ARONIA ARBURTIFOLIA*)
 - 2. BUTTERNUTSH (*CEPHALANTHUS OCCIDENTALIS*)
 - 3. SUMMERSWEET CLETHRA (*CLETHRA ALNIFOLIA*)
 - 4. SILKY DOGWOOD (*CORNUS AMOMUM*)
 - 5. GRAY DOGWOOD (*CORNUS RAGAZOSUM*)
 - 6. RED OSBY DOGWOOD (*CORNUS SERICEA*)
 - 7. INKBERRY (*ILEX GLABRA*)
 - 8. WINTERBERRY (*ILEX VERTICILLATA*)
 - 9. SPICEBUSH (*LINDERA AESTIVALE BENZONI*)
 - 10. PINKERBLOOM AZALEA (*RHODODENDRON FORTIS MONODOS*)
 - 11. SWAMP AZALEA (*RHODODENDRON VISCOSUM*)
 - 12. ELDERBERRY (*SAMBUCUS CANADENSIS*)
 - 13. LOWBUSH BLUEBERRY (*VACCINIUM ANGUSTIFOLIUM*)
 - 14. HIGHBUSH BLUEBERRY (*VACCINIUM CORYMBOSUM*)
 - 15. WITHERED (*VIBURNUM CASSINOIDES*)
 - 16. ARROWWOOD (*VIBURNUM SEPTENTRUM*)
 - 17. NANNYBERRY (*VIBURNUM LENTAGO*)
 - 18. BLACK HAW (*VIBURNUM PRUNIFOLIUM*)
 - 19. AMERICAN CRANBERRY (*VIBURNUM TROLOBIUM*)
- TREES**
- 20. RIVER BIRCH (*BETULA NEGRA*)
 - 21. RED MAPLE (*ACER RUBRUM*)
 - 22. SWEETGUM (*LIQUIDAMBAR STRYACIFLUA*)
 - 23. SWAMP WHITE OAK (*QUERCUS BICOLOR*)
 - 24. PIN OAK (*QUERCUS PALUSTRIS*)
 - 25. LARCH (*LARIX LARICINA*)
 - 26. COTTONWOOD (*POPULUS DELTOIDES*)
 - 27. SHADBLow (*AMELANCHIER SPP.*)
 - 28. GREEN ASH (*FRAXINUS PENNSYLVANICA*)

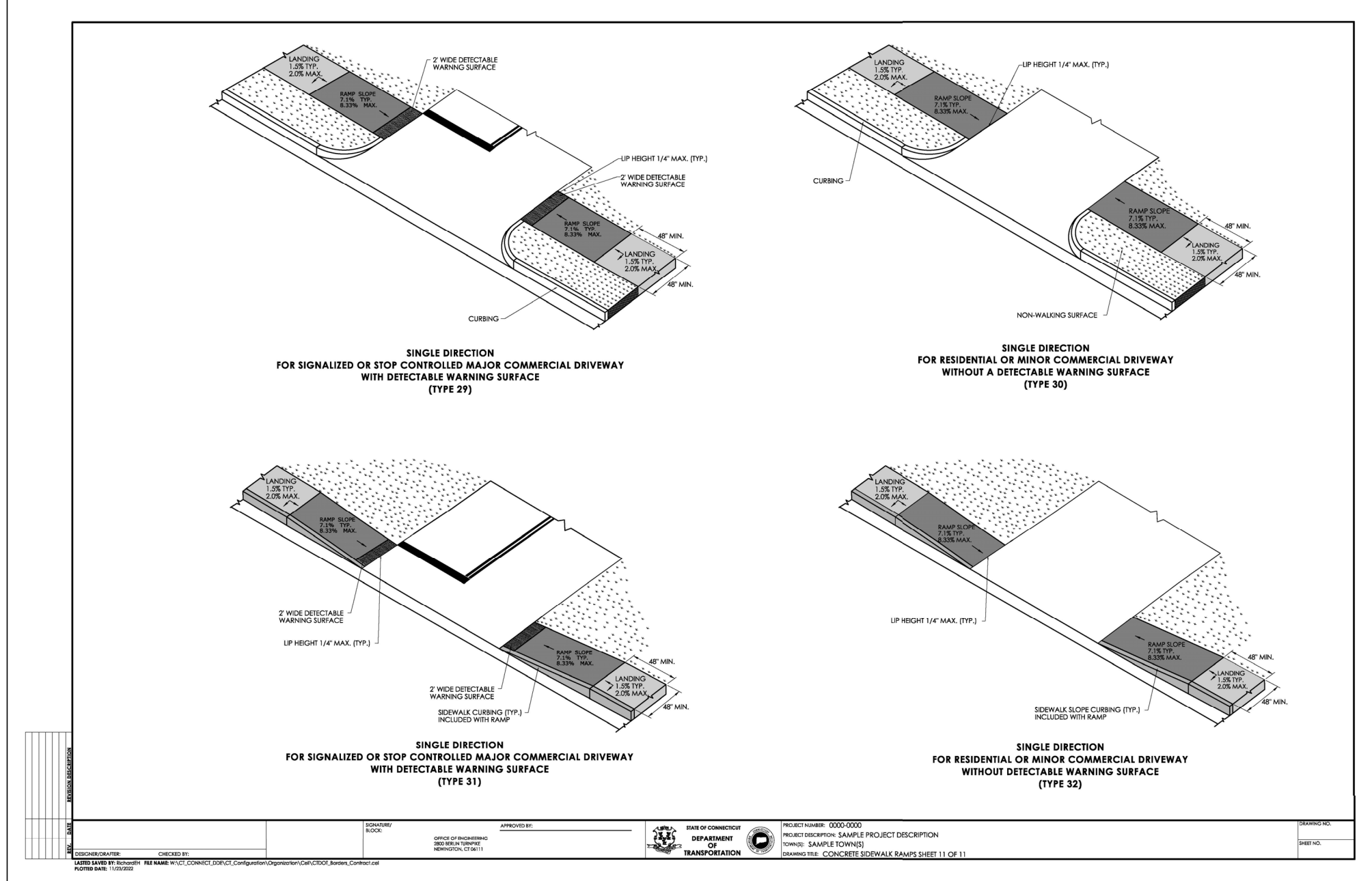
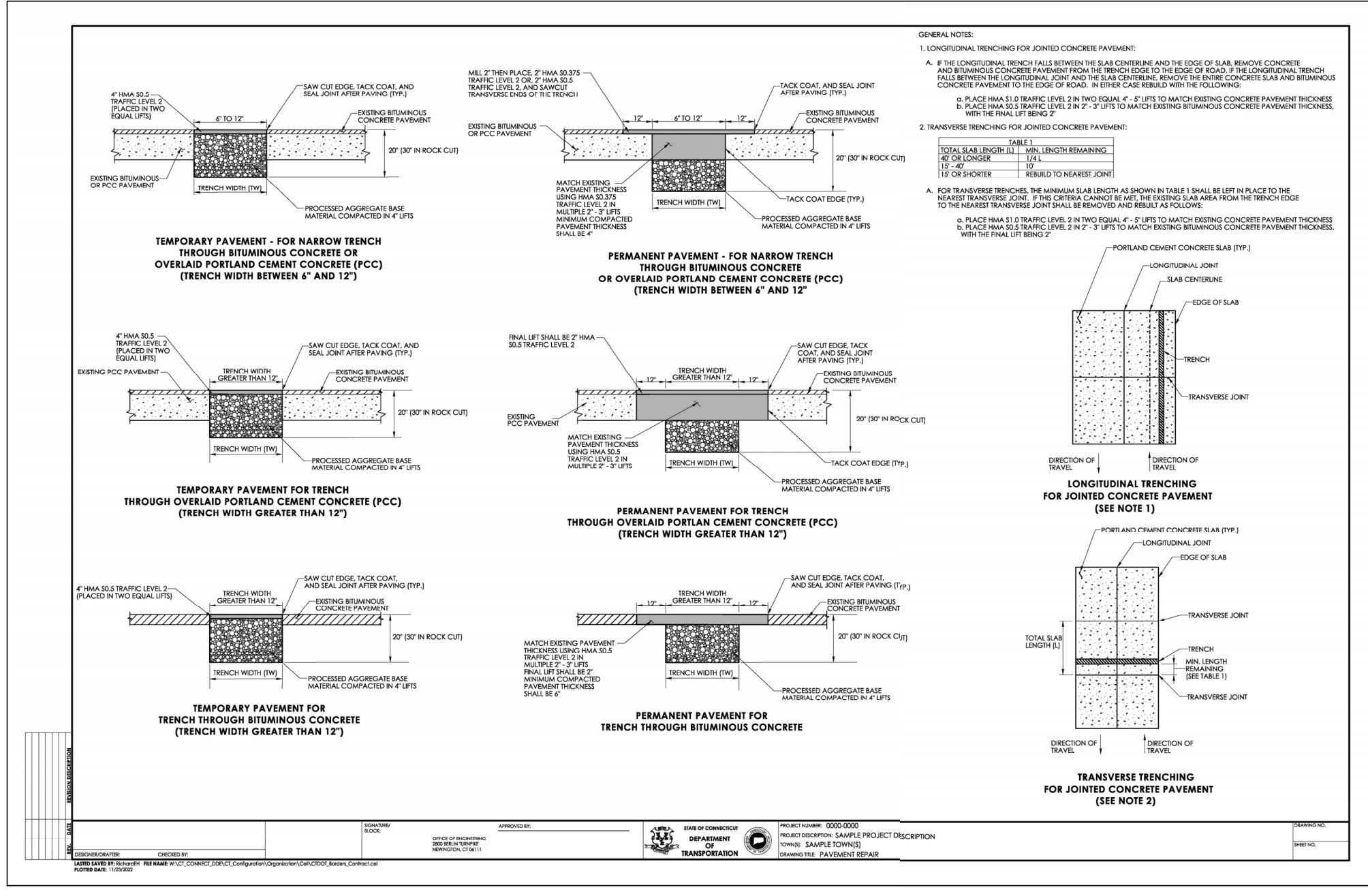
ONE OR MORE TREES CAN BE ADDED TO A RAIN GARDEN, DEPENDING UPON IT SIZE. CAUTION SHOULD BE USED THOUGH, AS A TREE CAN QUICKLY TAKE OVER THE GARDEN AND CREATE A DIFFERANT LOOK. REMEMBER, MOST TREES WILL GROW VERY LARGE UNLESS THEY ARE PURPOSELY KEPT SMALL. IF A TREE IS DESIRED, THE FOLLOWING TYPES ARE RECOMMENDED:

- NOTES:
- ADDITIONAL PLANTS MAY BE SUBSTITUTED FOR THOSE LISTED ABOVE WITH MUNICIPAL APPROVAL.
 - CALL BEFORE YOU DIG 1-800-922-4455.



NOTE: PREMANUFACTURED FENCE MAY BE USED.

SEDIMENT FENCE
NOT TO SCALE



JAMES BERNARDO
LAND SURVEYING, LLC
102A SPITHEAD ROAD
WATERFORD, CONNECTICUT 06285
(860) 447-0236
WWW.JBSURVEYING.COM

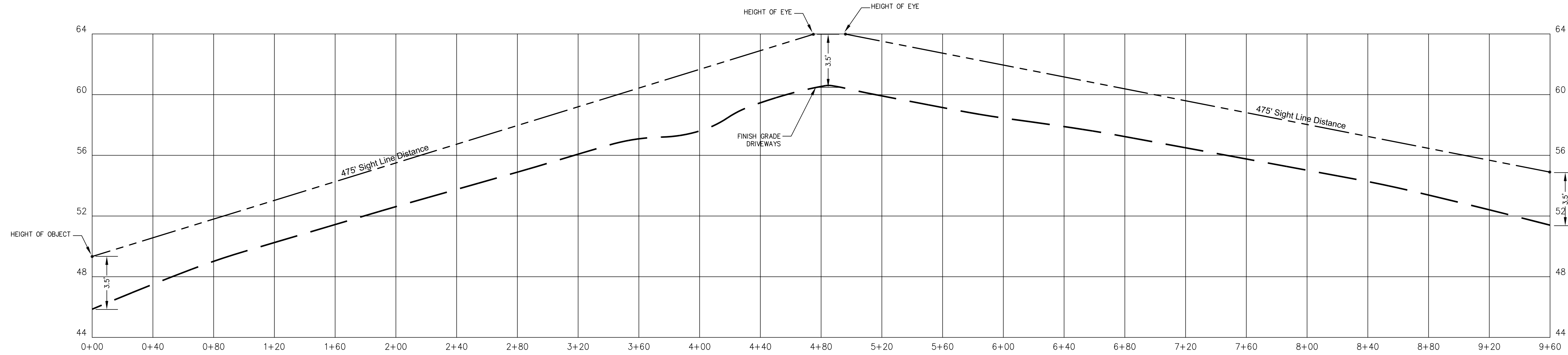
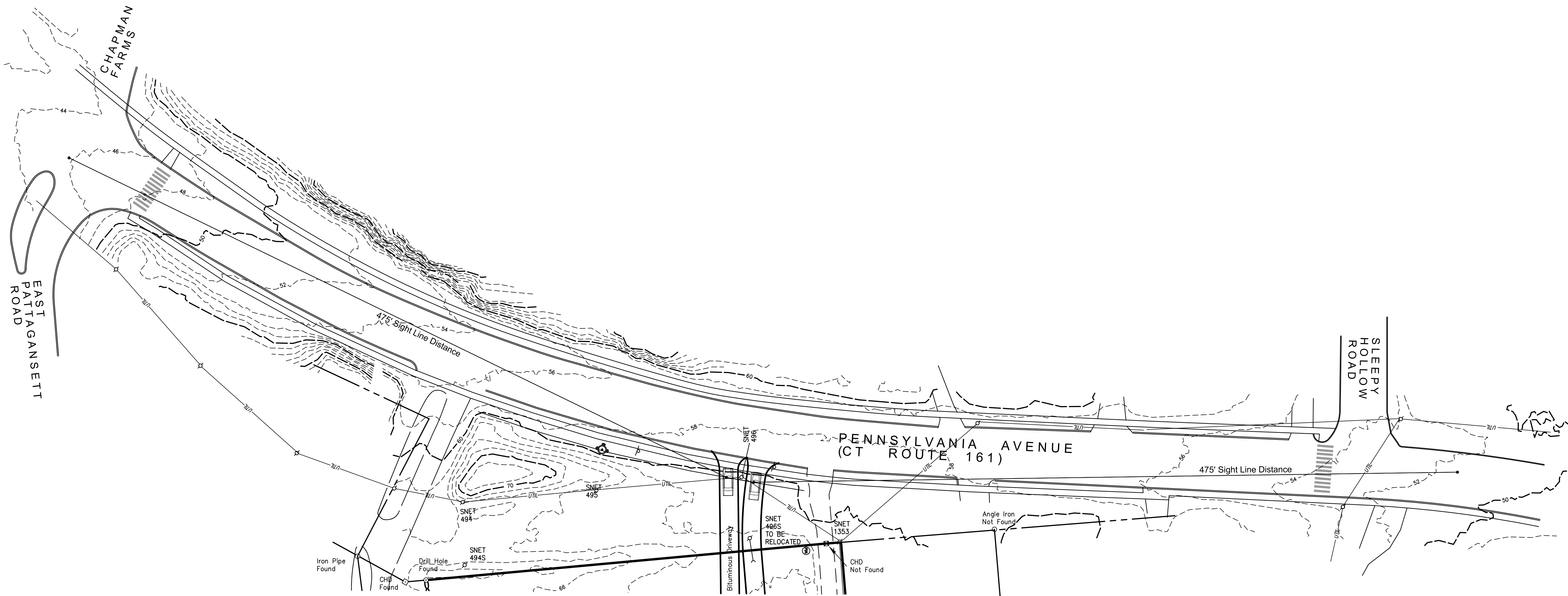
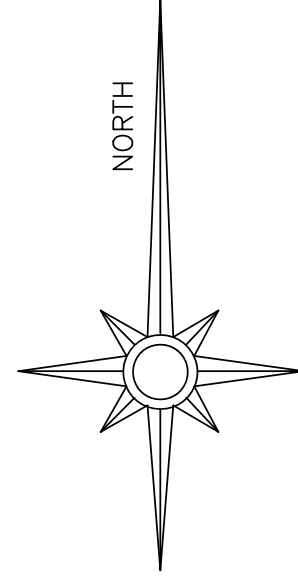


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LTR	DESCRIPTION	DATE
REVISIONS		

RE-SUBDIVISION PLAN
PROJECT DETAILS
PROPERTY OF
PETRIIT MARKU
FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-05
SHEET 5 OF 8
Scale: 1"=40'
Date: **SEPTEMBER 25, 2023**
Project No. **23063-1**

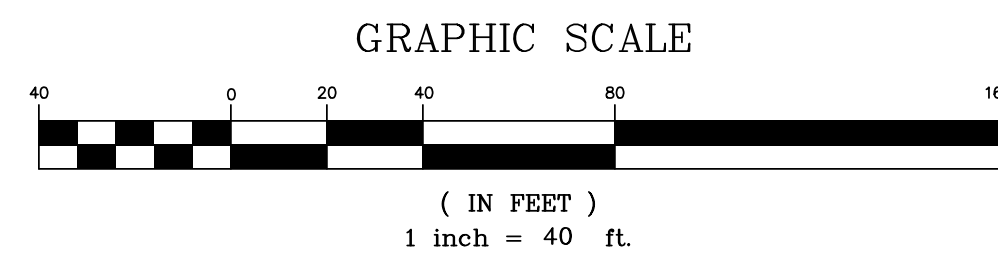


SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

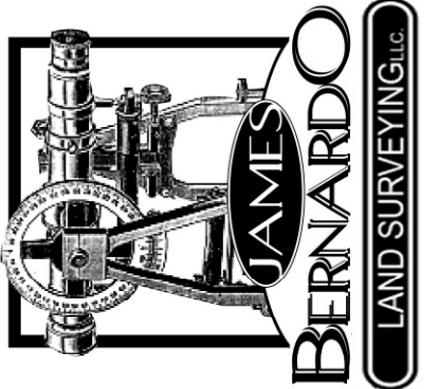
85TH PERCENTILE SPEED IN THIS AREA = 37 MPH
THEREFORE, SIGHTLINE DISTANCE OF 410' IS REQUIRED
475' SIGHT LINE IS DEMONSTRATED

LEGEND
THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING

AC	ACRES	HTB	HIGH TIDE BUSH
BF	BASEMENT FLOOR	SP	SPARTINA PATENS
BIT	BITUMINOUS	SA	SPARTINA ALTERNAFLORA
BCLC	BITUMINOUS CONCRETE LIP CURBING	TBR	TO BE REMOVED
CONC	CONCRETE	TYP	TYPICAL
DIA	DIAMETER	P-5	SOIL PERC TEST LOCATION
DB	DISTRIBUTION BOX	THS	SOIL DEEP TEST LOCATION
EOP	EDGE OF PAVEMENT	W	WELL
ELEV	ELEVATION	HYD	HYDRANT
FF	FINISHED FIRST FLOOR	TREE	TREE
LF	LINEAR FOOT	BSL	BUILDING SETBACK LINE
(MIN)	MINIMUM	CLL	CLEARING LIMIT LINE
M/L	MORE OR LESS	ETL	EXISTING TREELINE
N/F	NOW OR FORMERLY	EC	EXISTING CONTOUR
PVC	POLY VINYL CHLORIDE	NC	NEW CONTOUR
SCH40	SCHEDULE 40	SF	SEDIMENT FENCE
5.4x	SPOT ELEVATION	SDP	STORM DRAIN PIPE
SF	SQUARE FEET	SW	STONE WALL
TR	TO REMAIN	S	SANITARY SEWER
		W	WATER



JAMES BERNARDO
LAND SURVEYING, LLC
102A SPITHEAD ROAD
WATERFORD, CONNECTICUT 06385
(860) 447-0236
WWW.JBSURVEY.COM

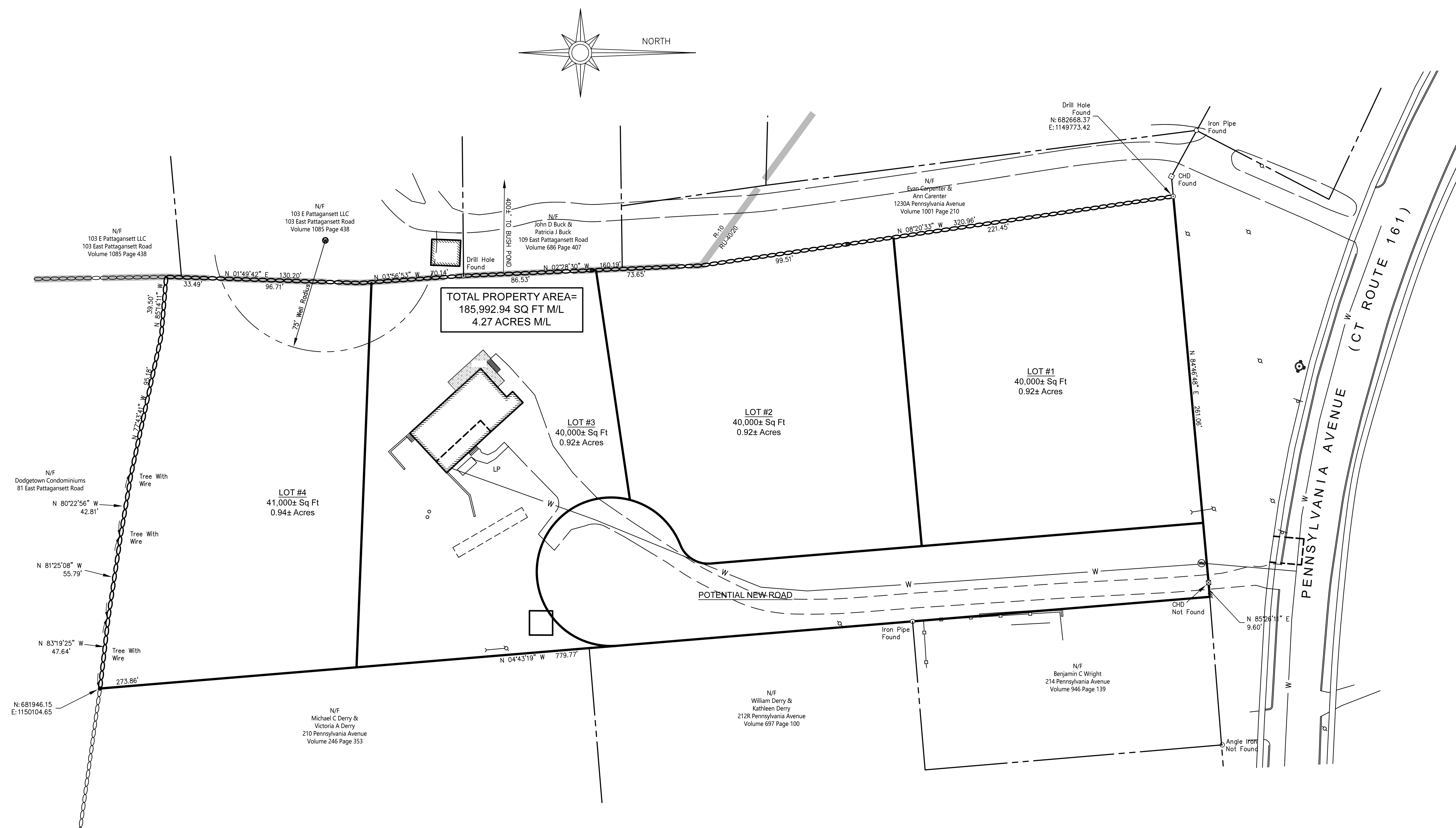


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LTR	DESCRIPTION	DATE
REVISIONS		

RE-SUBDIVISION PLAN
SIGHT LINE DEMONSTRATION
PROPERTY OF
PETRI MARKU
FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-06
SHEET 6 OF 8
Scale: 1"=40'
Date: **SEPTEMBER 25, 2023**
Project No.
23063-1



JAMES BERNARDO
LAND SURVEYING, LLC
102A SPITHEAD ROAD
WATERFORD, CONNECTICUT 06385
(860) 447-0236
WWW.JBSURVEY.COM



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LTR	DESCRIPTION	DATE

REVISIONS

RE-SUBDIVISION PLAN
LOT YIELD PLAN
PROPERTY OF
PETRIE MARKU
FOR PROPERTY LOCATED AT
220 PENNSYLVANIA AVENUE
TOWN OF EAST LYME - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-08
SHEET 2 OF 8
Scale: 1" = 40'
Date: **SEPTEMBER 25, 2023**
Project No.: **23063-1**