

USGS MAP

SCALE: 1" = 500'

PROPOSED SOAPY NOBLE EXPRESS CAR WASH

230 FLANDERS ROAD
EAST LYME, CONNECTICUT



PREPARED FOR:

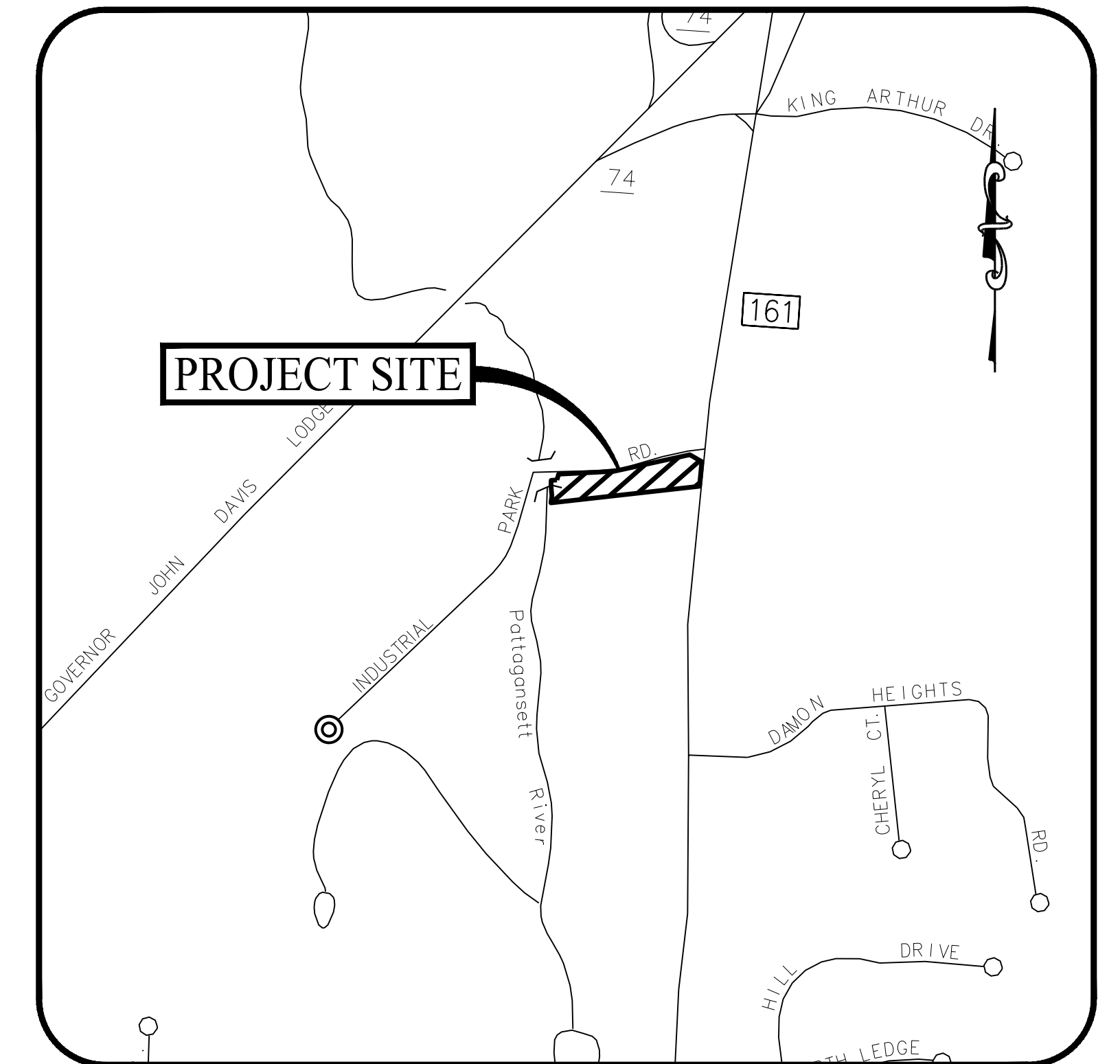
NIANTIC SOAPY NOBLE, LLC

131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CONNECTICUT

PREPARED BY:



501 MAIN STREET, MONROE, CONNECTICUT 06468
11 VANDERBILT AVENUE, NORWOOD, MASSACHUSETTS 02062



LOCATION MAP

SCALE: 1" = 500'

OWNER / APPLICANT

NIANTIC SOAPY NOBLE, LLC
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CONNECTICUT
(860) 593-0129

PROPERTY INFORMATION

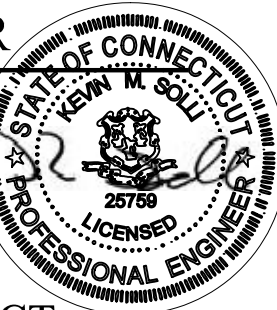
ADDRESS: 230 FLANDERS ROAD
MAP-BLOCK-LOT: 26.1-27
ZONE: COMMERCIAL (CA)
AREA: ±1.35 AC

ARCHITECT

JOSEPH DELUCA, LICENSE NO. 11296
MILLENNIUM DESIGN ASSOCIATES (MDA), INC.
1599 WASHINGTON STREET, SUITE 1A
BRAintree, MASSACHUSETTS 02184
(781) 843-9400

SITE / CIVIL ENGINEER

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C
LICENSE NO. 25759
SOLLI ENGINEERING, LLC
501 MAIN STREET
MONROE, CONNECTICUT 06468
(203) 880-5455



LANDSCAPE ARCHITECT

MARY BLACKBURN, P.L.A.,
LICENSE CT NO. 1499
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501 MAIN STREET
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(203) 880-5455

SURVEYOR OF RECORD

BRYAN NESTERIAK, PE, LS
LICENSE NO. 23556
ACCURATE LAND SURVEYING
15 RESEARCH DRIVE
WOODBRIDGE, CONNECTICUT 06525
(203) 881-8145

SOIL SCIENTIST

WILLIAM KENNY
WILLIAM KENNY ASSOCIATES
195 TUNNIS HILL CUTOFF SOUTH
FAIRFIELD, CT 06825
(203) 366-0588

DRAWING LIST

SITE CIVIL DRAWINGS

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	11/29/22	N/A
1 of 1	PROPERTY SURVEY	07/06/22	09/14/22
2.10	OVERALL SITE LAYOUT PLAN	11/29/22	N/A
2.11	SITE LAYOUT PLAN	11/29/22	N/A
2.12	EASEMENT PLAN	11/29/22	N/A
2.21	GRADING & DRAINAGE PLAN	11/29/22	N/A
2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	11/29/22	N/A
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	11/29/22	N/A
2.51	UTILITY PLAN	11/29/22	N/A
2.61	LANDSCAPE PLAN	11/29/22	N/A
2.71	LIGHTING PLAN	11/29/22	N/A
3.01	CONSTRUCTION DETAILS	11/29/22	N/A
3.02	CONSTRUCTION DETAILS	11/29/22	N/A
3.03	CONSTRUCTION DETAILS	11/29/22	N/A
3.04	CONSTRUCTION DETAILS	11/29/22	N/A

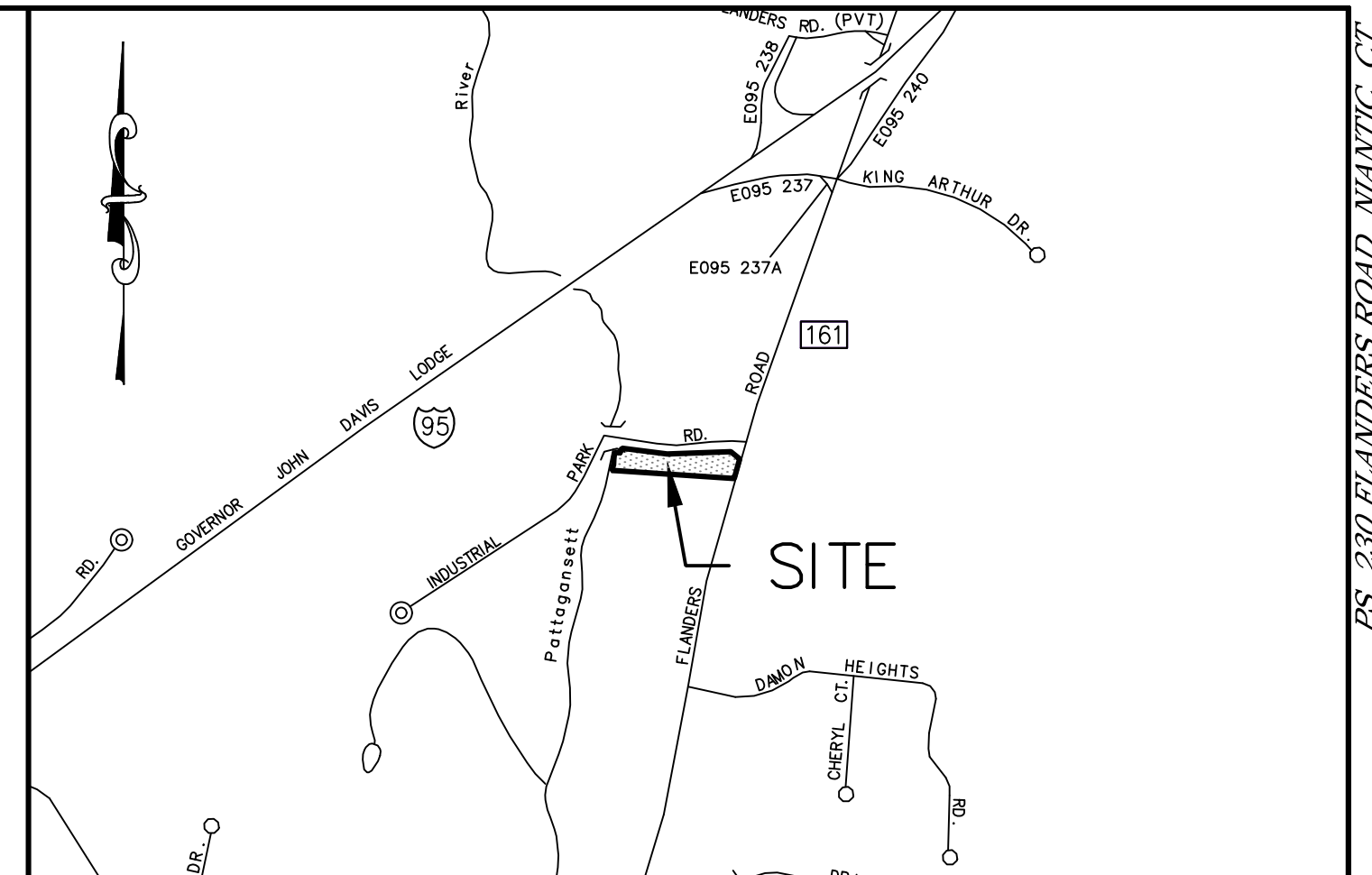
ARCHITECTURAL DRAWINGS

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
CP1.1	CONCEPT PLAN - CAR WASH	10/24/22	N/A
CP1.2	CONCEPT ELEVATIONS - CAR WASH COLORED	10/24/22	N/A

Rev. #: Date Description

Project: **PROPOSED SOAPY NOBLE EXPRESS CAR WASH**
230 FLANDERS ROAD
EAST LYME, CONNECTICUT

Sheet Title: **COVER SHEET** Sheet #: **0.00**



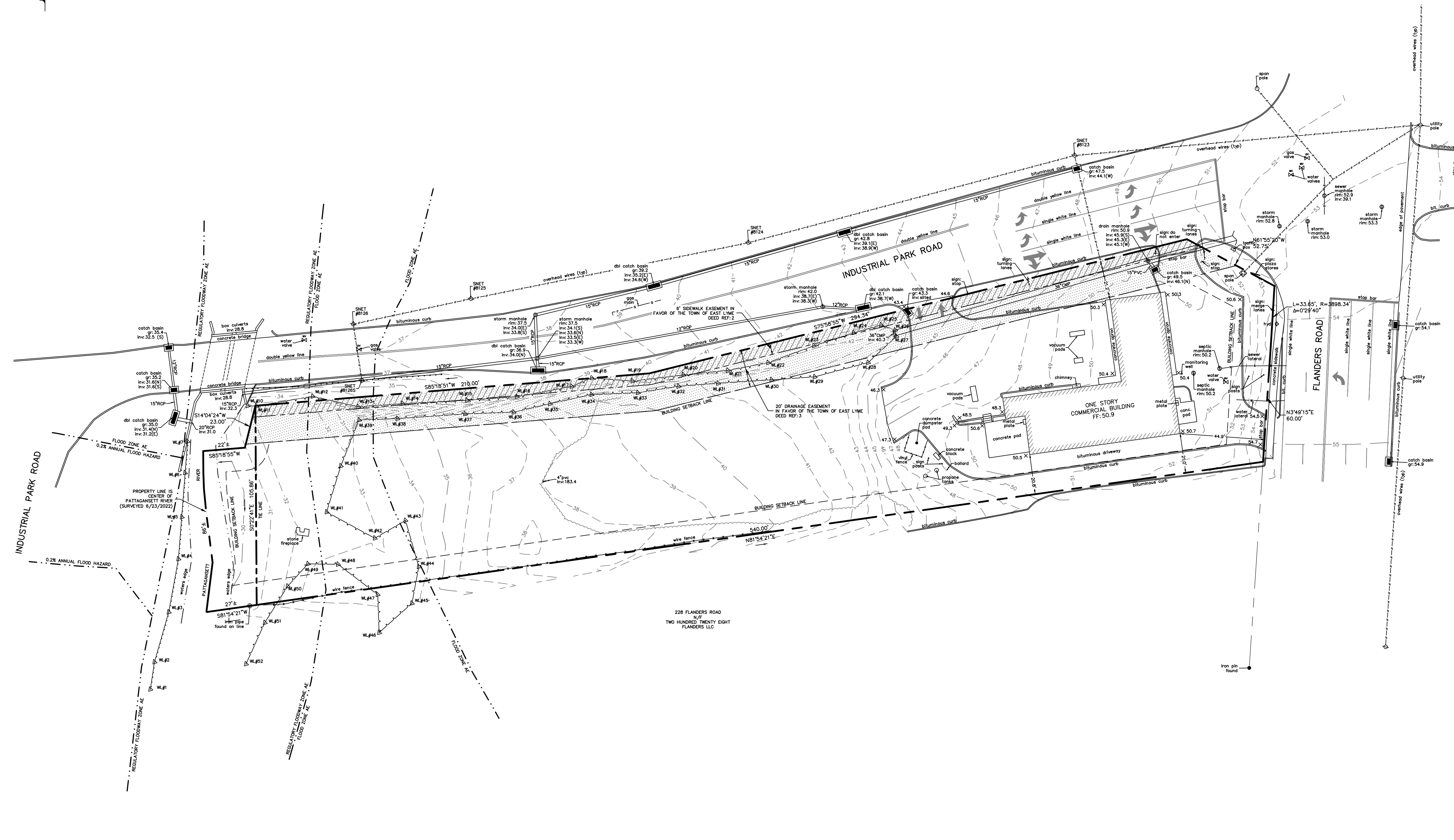
LOCATION MAP

SCALE: 1"=800'

- #### GENERAL SURVEY NOTES
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-300b-1 THROUGH 20-300b-20, EFFECTIVE OCTOBER 26, 2018, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
 - THE BOUNDARY DETERMINATION SHOWN HEREIN IS CONSIDERED A RESURVEY.
 - THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO CLASS V-2 STANDARDS. TOPOGRAPHIC DATA CONFORMS TO CLASS 1-2 STANDARDS. CONTOURS AND ELEVATIONS REFER TO NAVD 88 DATUM.
 - BEARING, COORDINATES AND ELEVATIONS ARE DERIVED FROM THE CONNECTICUT GEODETIC SURVEY (CTGS) VIA GPS TECHNOLOGY AND CONVENTIONAL SURVEY METHODS.
 - THIS IS A PROPERTY SURVEY. THE PURPOSE OF WHICH IS TO SHOW EXISTING CONDITIONS.
 - PROPERTY IS ALSO KNOWN AS TOWN OF EAST LYME ON ASSESSORS MAP 26.1 BLOCK 27.
 - TOTAL AREA = 58,884.5 SQ.FT. OR 1.351 ACRES
 - PROPERTY LIES IN ZONING DISTRICT "CA".
 - A PORTION OF THE PARCEL LIES WITHIN FLOOD ZONE AE AND THE REGULATORY FLOODWAY ZONE AE AS SHOWN ON FEMA FIRM MAP 0901CD477J, EFFECTIVE DATE AUGUST 5, 2013.
 - WETLANDS DELINEATED BY WILLIAM KENNY ASSOCIATES ON MAY 27, 2022. FLAGS WERE LOCATED VIA CONVENTIONAL SURVEY METHODS.
 - THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.

- #### MAP REFERENCES
- PLAN ENTITLED "CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP TOWN OF EAST LYME FLANDERS ROAD FROM SOCIETY ROAD NORTHERLY TO THE CONNECTICUT TURNPIKE", NUMBER 44-11 SHEET 3 OF 4 SCALE 1"=40', DATED: JULY 31, 1970.
 - PLAN ENTITLED "SITE PLAN FOR COLONIAL CAR WASH INC. 230 FLANDERS ROAD EAST LYME, CONNECTICUT", SCALE 1"=20', DATED: DECEMBER 1, 1993. BY D.W. GERWICK ENGINEERING, ON FILE IN THE TOWN OF EAST LYME CLERK'S OFFICE.
 - PLAN ENTITLED "BOUNDARY SURVEY OF LAND OF GLENN A. ETTÉ & HERBERT J. NYBERG 230 FLANDERS ROAD EAST LYME, CONNECTICUT", SCALE 1"=20', DATED: JULY 27, 1994. BY FINN SURVEY, ON FILE IN THE TOWN OF EAST LYME CLERK'S OFFICE.
 - PLAN ENTITLED "PROPERTY SURVEY MAP PREPARED FOR DONALD J. SHERMAN 218 & 222 FLANDERS ROAD - CT ROUTE 161 EAST LYME, CONNECTICUT", SCALE 1"=40', DATED: AUGUST 9, 2004. BY KENNY ASSOCIATES, INC. ON FILE IN THE TOWN OF EAST LYME CLERK'S OFFICE IN DRAWER 6 PAGE 183.
 - PLAN ENTITLED "ALTA/NPS/LAND TITLE SURVEY PREPARED FOR COLONIAL CAR WASH", SCALE 1"=20', DATED: DECEMBER 16, 2019. BY N/V/S.

- #### DEED REFERENCES
- DEED VOLUME 300 PAGE 426, ON FILE IN THE TOWN OF EAST LYME CLERK'S OFFICE.
 - DEED VOLUME 378 PAGE 83, ON FILE IN THE TOWN OF EAST LYME CLERK'S OFFICE.
 - DEED VOLUME 378 PAGE 85, ON FILE IN THE TOWN OF EAST LYME CLERK'S OFFICE.
 - DEED VOLUME 814 PAGE 693, ON FILE IN THE TOWN OF EAST LYME CLERK'S OFFICE.



LEGEND

<ul style="list-style-type: none"> ● C.H.D. Monument ● Mon. Monument ● Iron Pin to be Set ● Conc. Monument to be Set ● I. Pipe ● Iron Pin ● D.H. Drill Hole ● Pile of Stones ● Light Post ● Fnd. ● N/F 	<ul style="list-style-type: none"> --- Conn. Hwy. Dept. Monument --- Property Line --- Building Setback Line --- Easement Line --- Edge of Water --- FEMA Flood Zone --- Base Flood Elevation --- Existing Spot Elevation 	<ul style="list-style-type: none"> --- Gas gate valve --- Water gate valve --- Water meter --- Hyd. --- W --- WS --- G --- SS --- E --- Sanitary Manhole --- Drain Manhole --- Chain Link or Split Rail Fence --- Metal/Wire Fence --- Wood or Vinyl Fence --- Utility Pole --- Invt. Elevation of Pipe --- Existing Catch Basin/Pipe --- Building (existing) 	<ul style="list-style-type: none"> ● Evergreen Tree ● Deciduous Tree ● Swamp or Wetlands ● Tree Line ● Watercourse ● 123 ● Existing Contours ● Reinforced Concrete Pipe ● Corrugated Metal Pipe ● Percolation Test Location ● OPT A ● TIP 100 ● Stone Retaining Wall ● Retaining Wall ● Stone Wall ● Wetland Limit ● Wetland Flag Number ● Wetland Setback ● Benchmark ● Well (Existing) ● F.P. ● Fence Post
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SITE STATISTICS

ZONING DISTRICT "CA"	REQUIRED	PROVIDED
BULK STATISTICS		
MIN. LOT AREA	0.172 ACRES (7,500 S.F.)	1.351 ACRES (58,884.5 S.F.)
MIN. LOT FRONTAGE	80'	690.74'
MIN. BUILDING SETBACK (STREET)	20'	21.1'
MIN. BUILDING SETBACK (SIDE)	12'	20.8'
MIN. BUILDING SETBACK (REAR)	12'	>12'
MAX. HEIGHT	30'	<30'
MAX. BUILDING COVERAGE	35% = 20,609.5 S.F.	BUILDING: 3,862.2 S.F. FIREPLACE: 20.4 S.F. VACUUM PADS: 154.3 S.F. TOTAL: 3,936.9 S.F. (6.6%)

No.	Date	REVISION DESCRIPTION
1.	9/14/2022	ADDED DRAINAGE INVERTS

SCALE: 1"=30'

ACCURATE LAND SURVEYING, LLC
13 RESEARCH DRIVE SUITE 301 MAIN STREET
WOODBRIDGE, CT 06525 MONROE, CT 06468
TEL: 203.881.8145 TEL: 203.880.9459

PROPERTY SURVEY

OF

230 FLANDERS ROAD
NIANTIC, CONNECTICUT

PREPARED FOR
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

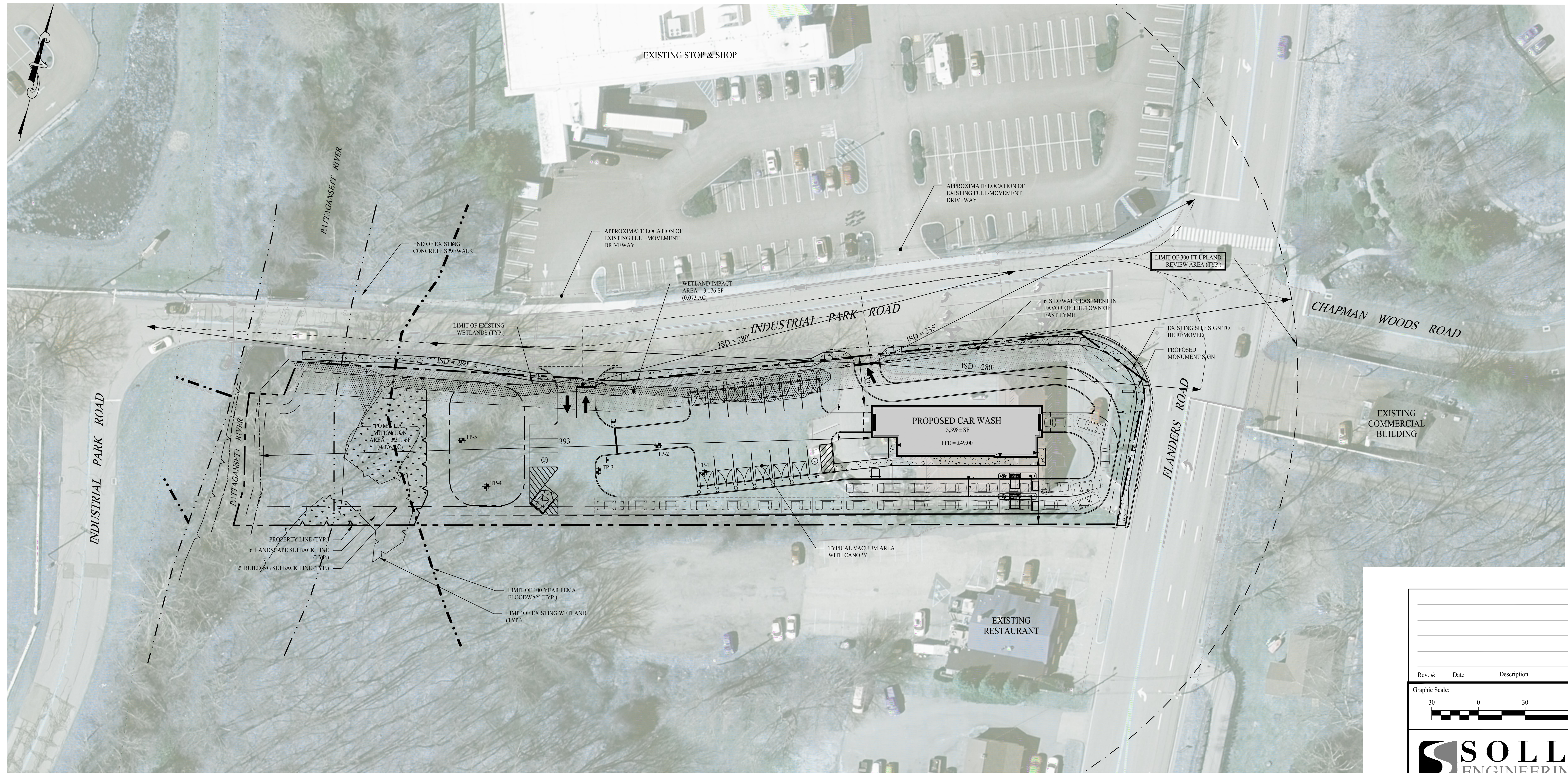
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREOF.

Date **7/6/2022**
Scale **1"=30'**
Job No. **1232**
Drawing No. **1 of 1**

Bryan P. Nesteriak
BRYAN P. NESTERIAK, PE, LS 23556

THIS DOCUMENT, THE DEEDS AND DESIGN INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF ACCURATE LAND SURVEYING, LLC AND IS NOT TO BE REPRODUCED OR USED IN WHOLE OR IN PART FOR ANY EXTENSION OF THE PROJECT OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ACCURATE LAND SURVEYING, LLC. THIS DRAWING IS NOT A FINAL AND VALID DOCUMENT WITHOUT A SIGNATURE OF THE CERTIFYING PROFESSIONAL AND A LIVE MET STAMP OR EMBOSSED SEAL.

PS, 230 FLANDERS ROAD, NIANTIC, CT.



SITE PLAN NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL PROPOSED SITE WORK IS TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY LOCAL, STATE AND/OR FEDERAL REVIEWING AGENCIES.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, NANTIC, CONNECTICUT", SCALE 1"=30', DATED 07/06/2022, BY "ACCURATE LAND SURVEYING, LLC".
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE ARCHITECT AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "800-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
- PARTS OF THE PROJECT PARCEL ARE LOCATED WITHIN FEMA DESIGNATED FLOOD HAZARD AREAS.
- WETLANDS WERE DELINEATED AND FLAGGED BY WILLIAM KENNY ASSOCIATES ON MAY 22, 2022.

PARKING SUMMARY

PROPOSED DEVELOPMENT	GSF / UNITS	REQUIREMENT	REQ.	PROP.
CAR WASH	3,398± SF	N/A*	N/A*	17
TOTAL				17

* TOWN OF EAST LYME ZONING REGULATIONS, SECTION 22.1.18 - PARKING REQUIREMENTS FOR ANY USE NOT SPECIFIED IN THIS SECTION MAY BE SET BY THE ZONING COMMISSION IN THE PARTICULAR INSTANCE, TAKING ACCOUNT OF SIMILARITY OF THE USE TO OTHER USES FOR WHICH REQUIREMENTS ARE SPECIFIED HEREIN.
 ** PROPOSED PARKING COUNT INCLUDES THIRTEEN (13) VACUUM SPACES.

ZONING COMPLIANCE TABLE			
ZONE: COMMERCIAL DISTRICT (CA)			
ZONING REQUIREMENT	ZONING STANDARD	EXISTING CONDITIONS	PROPOSED CONDITIONS
MINIMUM LOT AREA	7,500 SF	58,885 ± SF	58,885 ± SF
MINIMUM LOT FRONTAGE	80 FT	780 FT	780 FT
MINIMUM SETBACK (STREET)	20 FT	21 FT	32 FT
MINIMUM SETBACK (OTHER)	12 FT	21 FT	43 FT
MAXIMUM BUILDING COVERAGE	35%	7%	6%
MAXIMUM BUILDING HEIGHT	30 FT	<30 FT	23.33± FT

WETLAND AREA TABLE	
AREA	LOT (ACRE)
LOT AREA	+1.352
WETLANDS ON LOT	+0.236
UPLAND REVIEW AREA ON LOT	+1.352
WETLANDS TO BE ALTERED	+0.073
UPLAND REVIEW AREA TO BE ALTERED	+1.206
TOTAL REGULATED AREA TO BE ALTERED	+1.279

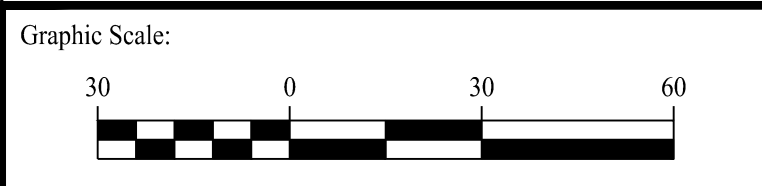
LEGEND

- PROPERTY LINE
- LIMIT OF EXISTING WETLANDS
- LIMIT OF PROPOSED WETLAND MITIGATION
- UPLAND REVIEW AREA - 300 FT BUFFER
- LIMIT OF 100-YEAR FEMA FLOODWAY
- LIMIT OF RIVER
- BUILDING SETBACK
- LANDSCAPE BUFFER
- PROPOSED BUILDING LIMITS
- PROPOSED BUILDING HATCH
- STORMWATER BASIN
- PROPOSED WETLAND MITIGATION AREA
- WETLAND IMPACT AREA
- TEST PIT

TEST PIT DATA

- | | |
|--|---|
| <p>TP#1
0'-10" A LOAM - TOPSOIL
10'-24" B SANDY LOAM
24'-56" C1 COARSE SAND W/ GRAVEL
56'-105" C2 COARSE SAND
*GROUNDWATER MOTTLING @ 73"
*GROUNDWATER WEEPING - NONE
*STANDING GROUNDWATER - NONE
* ESTIMATED HEIGHT OF GROUNDWATER = 73"</p> | <p>TP#4
0'-10" A LOAM - TOPSOIL
10'-16" B SANDY LOAM
16'-32" C1 COARSE SAND W/ GRAVEL
32'-86" C2 COARSE SAND
*GROUNDWATER MOTTLING @ 48"
*GROUNDWATER WEEPING - NONE, BOTTOM OF HOLE WET
*STANDING GROUNDWATER - NONE
* ESTIMATED HEIGHT OF GROUNDWATER = 60"</p> |
| <p>TP#2
0'-10" A LOAM - TOPSOIL
10'-18" B SANDY LOAM
18'-52" C1 COARSE SAND W/ GRAVEL
52'-108" C2 COARSE SAND
*GROUNDWATER MOTTLING @ 77"
*GROUNDWATER WEEPING - NONE
*STANDING GROUNDWATER - NONE
* ESTIMATED HEIGHT OF GROUNDWATER = 73"</p> | <p>TP#5
0'-8" A LOAM - TOPSOIL
8'-20" B SANDY LOAM
20'-30" C1 COARSE SAND W/ GRAVEL
30'-84" C2 COARSE SAND
*GROUNDWATER MOTTLING @ 48"
*GROUNDWATER WEEPING @ 72"
*STANDING GROUNDWATER @ 74"
* ESTIMATED HEIGHT OF GROUNDWATER = 48"</p> |
| <p>TP#3
0'-4" A LOAM - TOPSOIL
4'-12" B SANDY LOAM
12'-39" C1 COARSE SAND W/ GRAVEL
39'-96" C2 COARSE SAND
*GROUNDWATER MOTTLING @ 60"
*GROUNDWATER WEEPING - NONE
*STANDING GROUNDWATER - NONE
* ESTIMATED HEIGHT OF GROUNDWATER = 60"</p> | |

Rev. #:	Date	Description

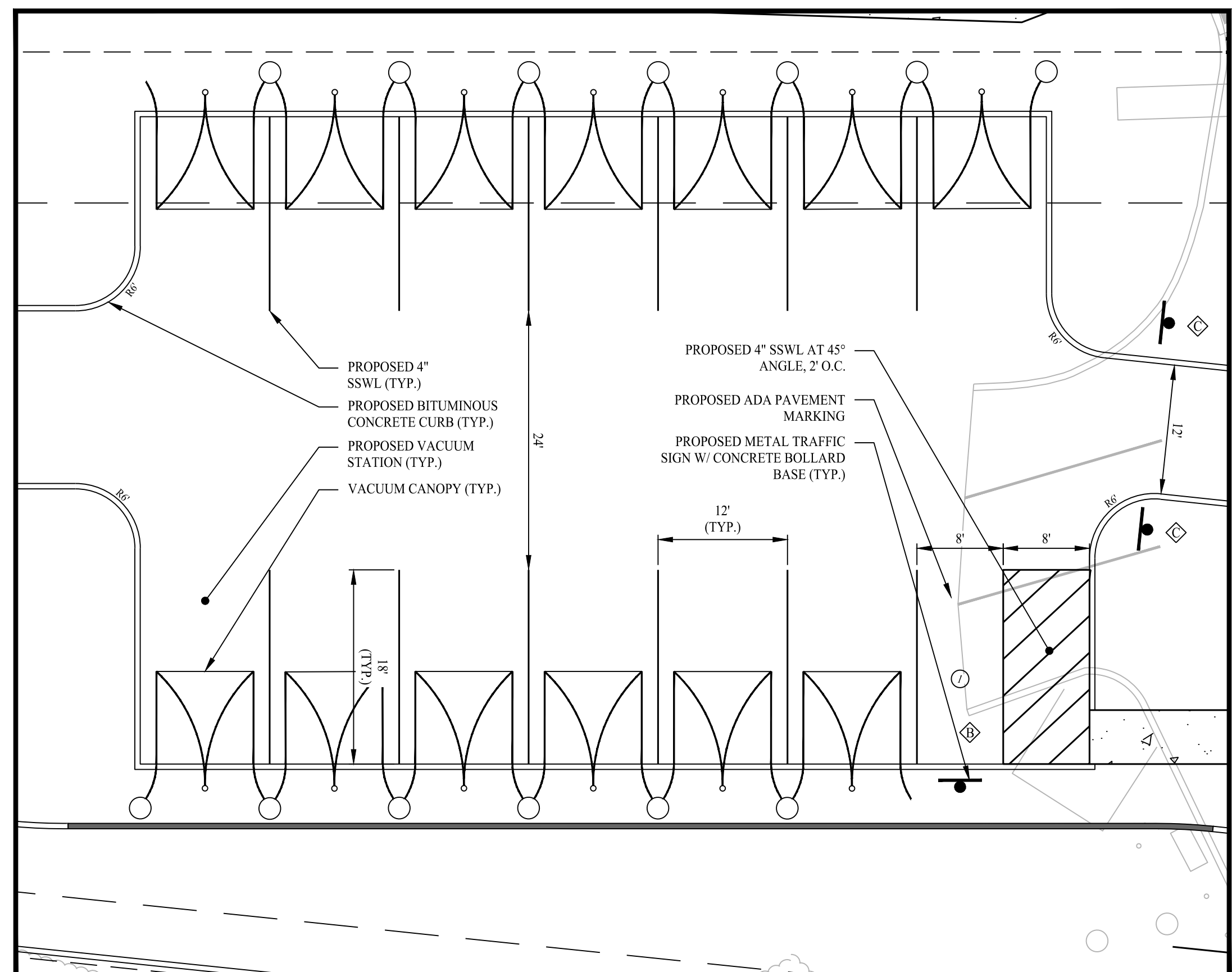
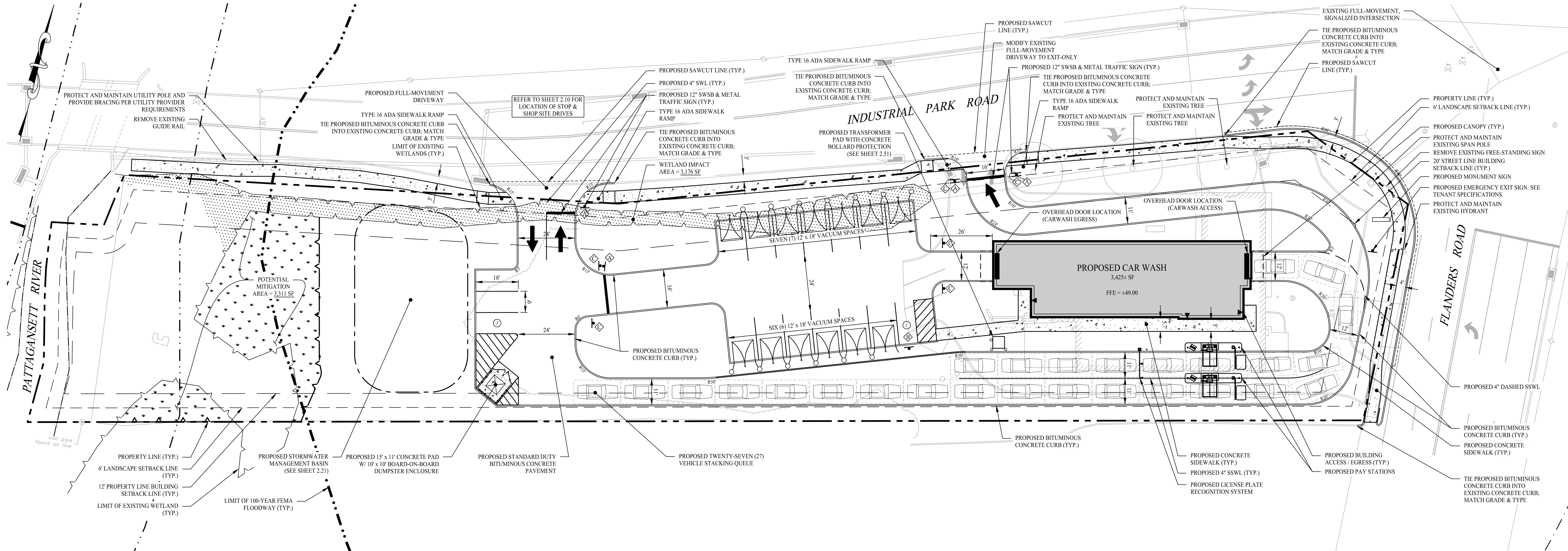


SOLLI ENGINEERING
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 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By: AWC
 Checked By: CJB
 Approved By: KMS
 Project #: 22105001
 Plan Date: 11/29/22
 Scale: 1" = 30'

PROPOSED SOAPY NOBLE EXPRESS CAR WASH
 230 FLANDERS ROAD
 EAST LYME, CONNECTICUT

Sheet Title: **OVERALL SITE LAYOUT PLAN** Sheet #: **2.10**



VACUUM AREA & PARKING AREA ENLARGEMENT

SCALE: 1" = 10'

SITE PLAN NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL PROPOSED SITE WORK IS TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY LOCAL, STATE AND/OR FEDERAL REVIEWING AGENCIES.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, NANTIC, CONNECTICUT", SCALE 1"=30', DATED 07/06/2022, BY "ACCURATE LAND SURVEYING, LLC". ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF EAST LYME STANDARDS, CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL COUNTY AND TOWN CONSTRUCTION PERMITS, INCLUDING SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER OF RECORD IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO HIDDING. ANY CONFLICT BETWEEN THE DRAWINGS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO HIDDING.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
- SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- DO NOT INTERFERE WITH EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS, EDGE OF PAVING, OR EDGE OF BUILDING EXTERIOR, AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- REFER TO CONSTRUCTION DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- TRAFFIC CONTROL SIGNALAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 7" OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- PAVEMENT MARKING KEY:
 4" SWL - 4" SOLID WHITE LINE
 12" SWSB - 12" SOLID WHITE STOP BAR
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE. 2" ON CENTER HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPE AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER OF RECORD.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CT DEPT 129 FOR EXCAVATION TRENCHING AND FRENCH PROTECTION REQUIREMENTS.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER OF RECORD, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- DISPROBATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 924-4455 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CONNECTICUT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
- A DEMOLITION PERMIT IS REQUIRED FOR EXISTING BUILDINGS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING SAID PERMIT.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
- WETLANDS WERE DELINEATED AND FLAGGED BY WILLIAM KENNY ASSOCIATES ON MAY 22, 2022.

SIGN LEGEND

SIZE (IN)	CONN DOT #	SUPPORTS	SIZE (IN)	MUTCD #	SUPPORTS	SIZE (IN)	CONN DOT #	SUPPORTS
36"	31-0552	1	12"x24"	R7-8P	1	30"x30"	31-1119	2

PARKING SUMMARY

PROPOSED DEVELOPMENT	GSF / UNITS	REQUIREMENT	REQ.	PROP.
CAR WASH	3,425± SF	N/A*	N/A*	17**
TOTAL				17**

*TOWN OF EAST LYME ZONING REGULATIONS, SECTION 22.1.18 - PARKING REQUIREMENTS FOR ANY USE NOT SPECIFIED IN THIS SECTION MAY BE SET BY THE ZONING COMMISSION IN THE PARTICULAR INSTANCE, TAKING ACCOUNT OF SIMILARITY OF THE USE TO OTHER USES FOR WHICH REQUIREMENTS ARE SPECIFIED HEREIN.
 **PARKING COUNT INCLUDES THE (13) VACUUM SPACES.

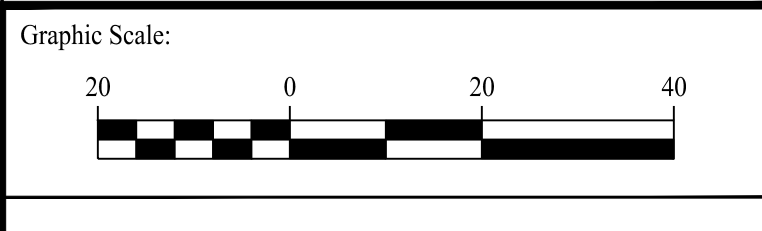
ZONING COMPLIANCE TABLE

ZONING REQUIREMENT	ZONING STANDARD	EXISTING CONDITIONS	PROPOSED CONDITIONS
MINIMUM LOT AREA	7,500 SF	58,885 ± SF	58,885 ± SF
MINIMUM LOT FRONTAGE	80 FT	780 FT	780 FT
MINIMUM SETBACK (STREET)	20 FT	21 FT	32 FT
MINIMUM SETBACK (OTHER)	12 FT	21 FT	43 FT
MAXIMUM BUILDING COVERAGE	35%	7%	6%
MAXIMUM BUILDING HEIGHT	30 FT	<30 FT	23.33± FT

LEGEND

- PROPERTY LINE
- LIMIT OF WETLANDS
- PROPOSED LIMIT OF WETLANDS MITIGATION
- UPLAND REVIEW AREA - 300 FT BUFFER
- LIMIT OF 100-YEAR FEMA FLOODWAY
- LIMIT OF RIVER
- BUILDING SETBACK
- LANDSCAPE BUFFER
- PROPOSED BUILDING LIMITS
- PROPOSED BUILDING HATCH
- STORMWATER BASIN
- PROPOSED MITIGATION AREA
- WETLAND IMPACT AREA
- BUILDING OVERHANG LINE / CANOPY
- SAWCUT PAVEMENT LINE
- BITUMINOUS CONCRETE CURB
- CONCRETE CURB
- BITUMINOUS CONCRETE PAVEMENT
- CONCRETE SIDEWALK / PAVEMENT
- PAVEMENT ARROW MARKING
- PARKING SPACE COUNT
- VEHICLE
- DUMPSTER / TRASH RECEPTACLE
- TRAFFIC SIGN
- TRAFFIC SIGN DESIGNATION
- GATE
- BUILDING ACCESS / EGRESS
- PAVEMENT STRIPING - WHITE STANDARD AND ADA PARKING SPACES
- VACUUM STATION & CANOPY

Rev. #:	Date	Description

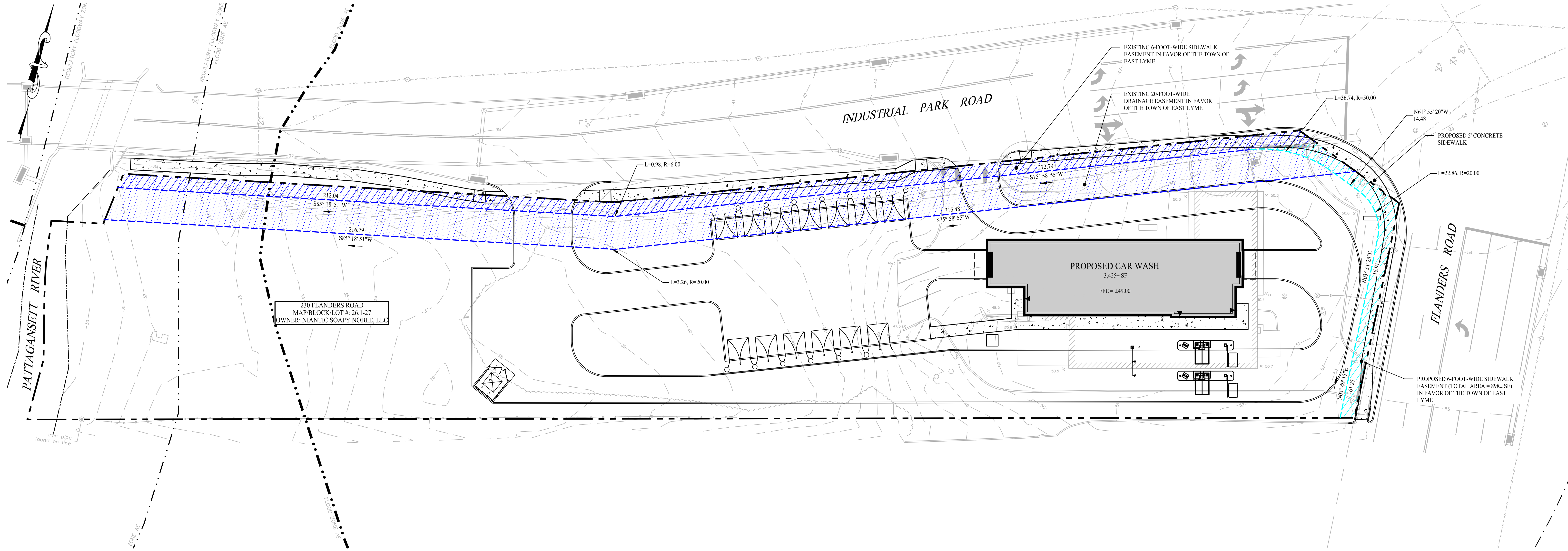


Drawn By:	AWC
Checked By:	CJB
Approved By:	KMS
Project #:	22105001
Plan Date:	11/29/22
Scale:	1" = 20'



PROPOSED SOAPY NOBLE EXPRESS CAR WASH
 230 FLANDERS ROAD
 EAST LYME, CONNECTICUT

Sheet Title:	SITE LAYOUT PLAN	Sheet #:	2.11
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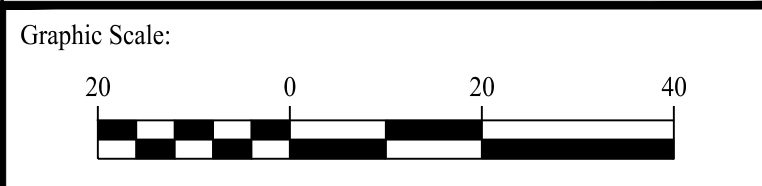


LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	LIMIT OF MODIFIED SIDEWALK EASEMENT
	LIMIT OF EXISTING SIDEWALK EASEMENT TO REMAIN
	LIMIT OF EXISTING DRAINAGE EASEMENT TO REMAIN
	LIMIT OF EXISTING EASEMENT TO BE ERADICATED

- GENERAL NOTES**
1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
 2. ALL PROPOSED SITE WORK IS TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY LOCAL, STATE AND/OR FEDERAL REVIEWING AGENCIES.
 3. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, NIAN TIC, CONNECTICUT", SCALE 1"=30', DATED: 07/06/2022, BY "ACCURATE LAND SURVEYING, LLC"

Rev. #:	Date	Description



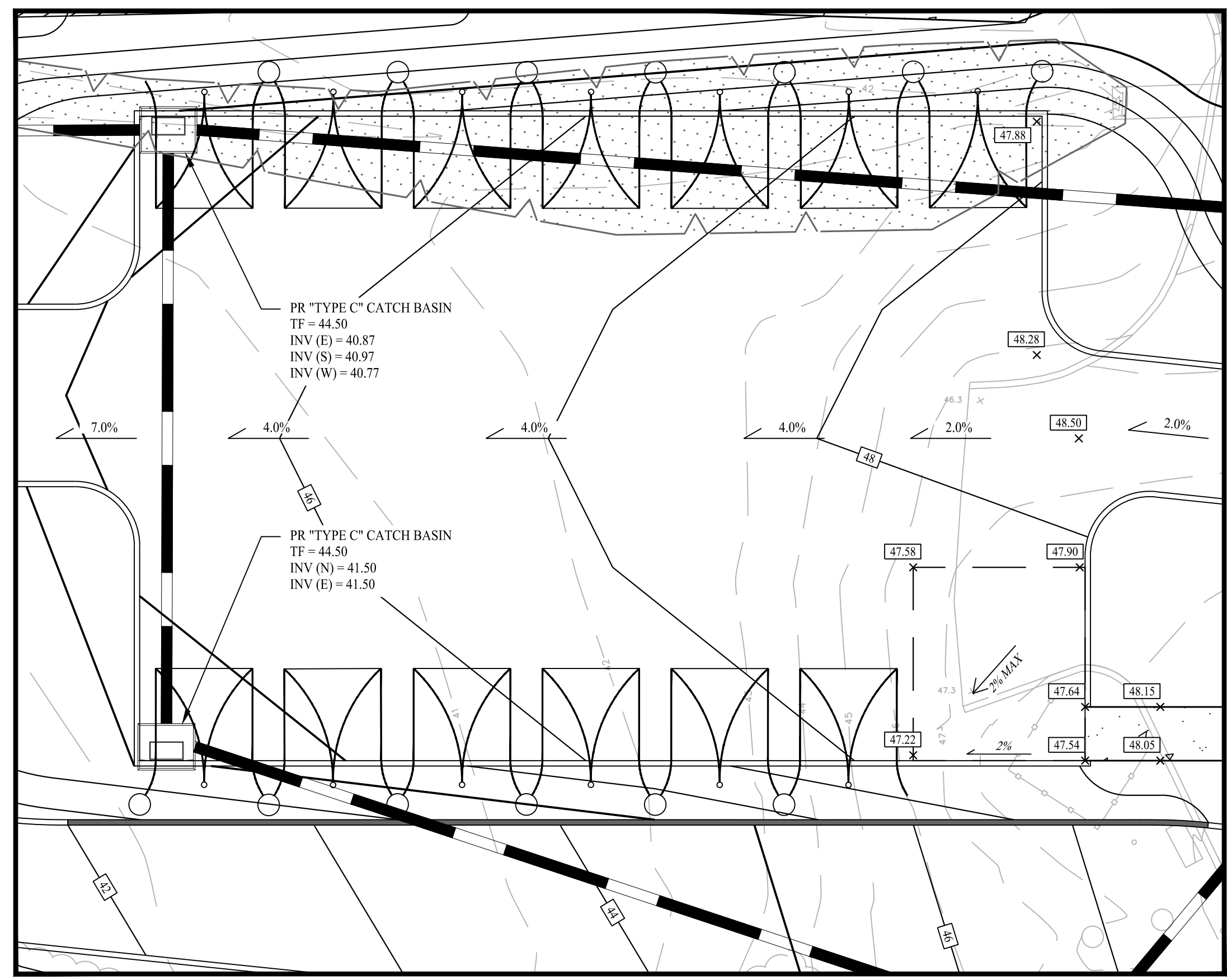
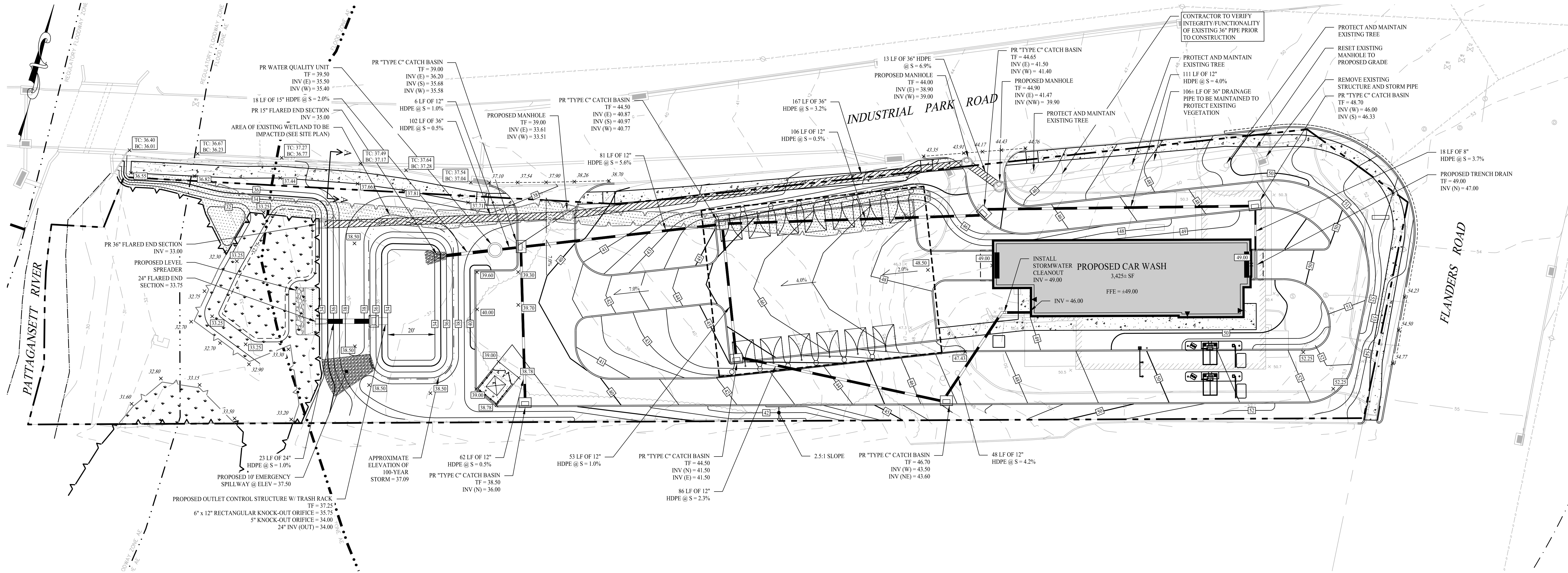
SOLLI ENGINEERING
 501 Main Street, Monro, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By:	AWC
Checked By:	CJB
Approved By:	KMS
Project #:	22105001
Plan Date:	11/29/22
Scale:	1" = 20'



Project:
PROPOSED SOAPY NOBLE EXPRESS CAR WASH
 230 FLANDERS ROAD
 EAST LYME, CONNECTICUT

Sheet Title:	Sheet #:
EASEMENT PLAN	2.12



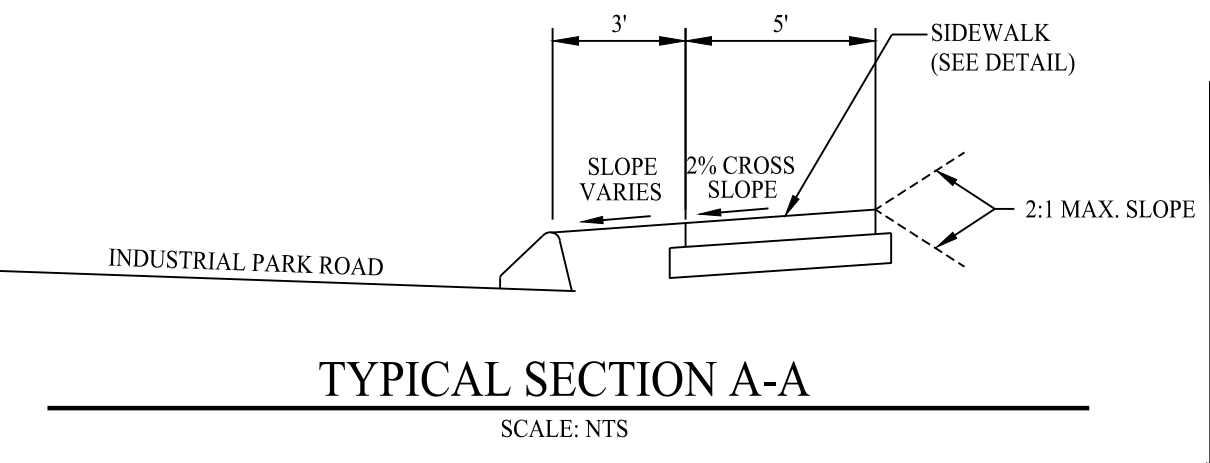
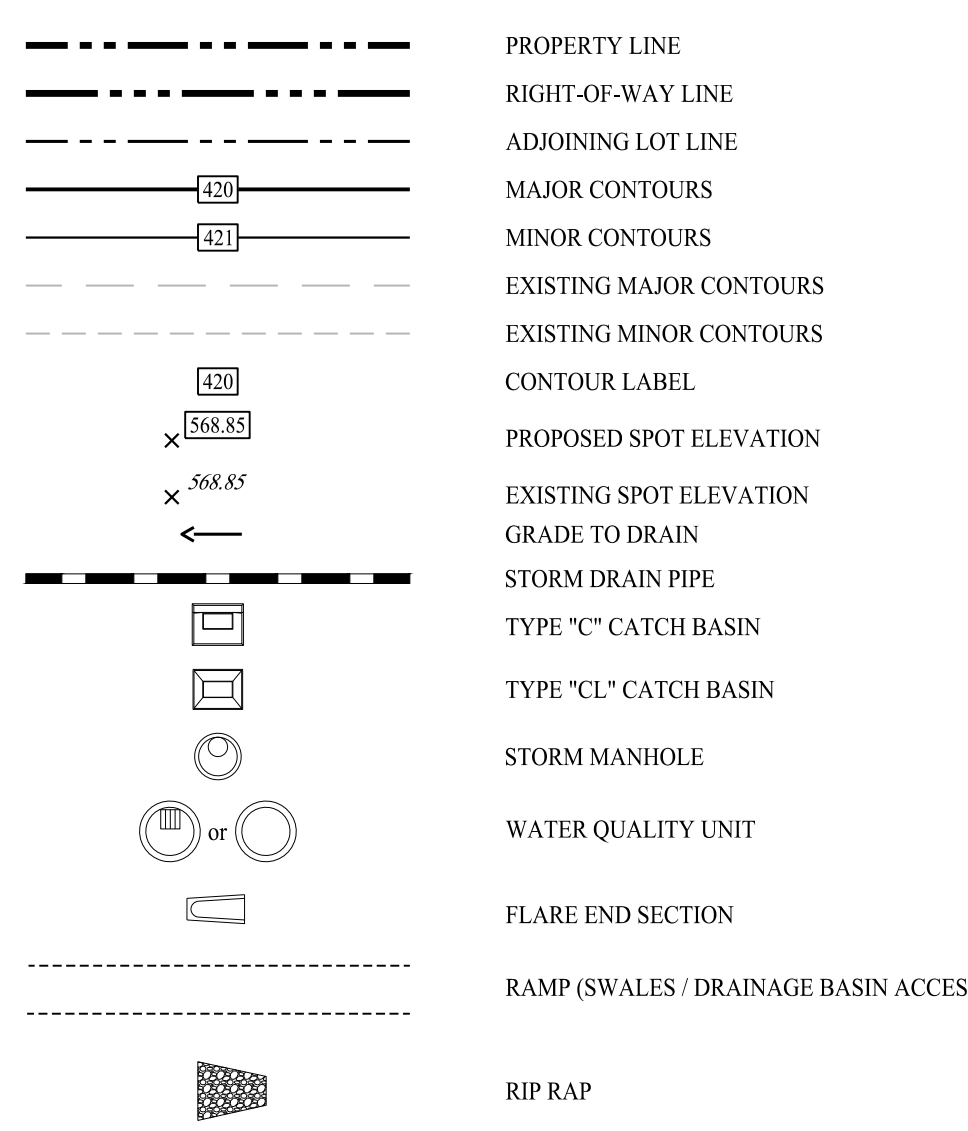
VACUUM AREA & PARKING AREA ENLARGEMENT

SCALE: 1" = 10'

GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL FINAL APPROVAL OF THIS PLAN IS GRANTED.
2. ALL PROPOSED SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY LOCAL, STATE AND/OR FEDERAL REVIEWING AGENCIES.
3. EXISTING BOUNDARY, TOPOGRAPHY AND SITE CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, NIAN TIC, CONNECTICUT", SCALE 1"=30', DATED: 07/06/2022, BY "ACCURATE LAND SURVEYING, LLC."
4. THIS DRAWING IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS.
5. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
6. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE TOWN OF EAST LYME REQUIRED TO PERFORM ALL WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
9. FILL WITHIN FORMER BUILDING FOUNDATION SHALL BE CHECKED BY TEST PIT AND PROF/ROLLING AND SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF SOFT SUBGRADE MATERIAL AS ORDERED BY THE GEOTECHNICAL ENGINEER.
10. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
11. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
12. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF ENFIELD AUTHORITY.
13. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
14. IF GROUNDWATER IS ENCOUNTERED DURING THE INSTALLATION OF THE UNDERGROUND DETENTION SYSTEM THEN THE BASIN SHALL BE LINED WITH AN IMPERVIOUS MEMBRANE PREVENT GROUNDWATER FROM ENTERING THE SYSTEM.
15. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
16. GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACT ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO BASE AND PAVING OPERATIONS COMMENCING.

LEGEND



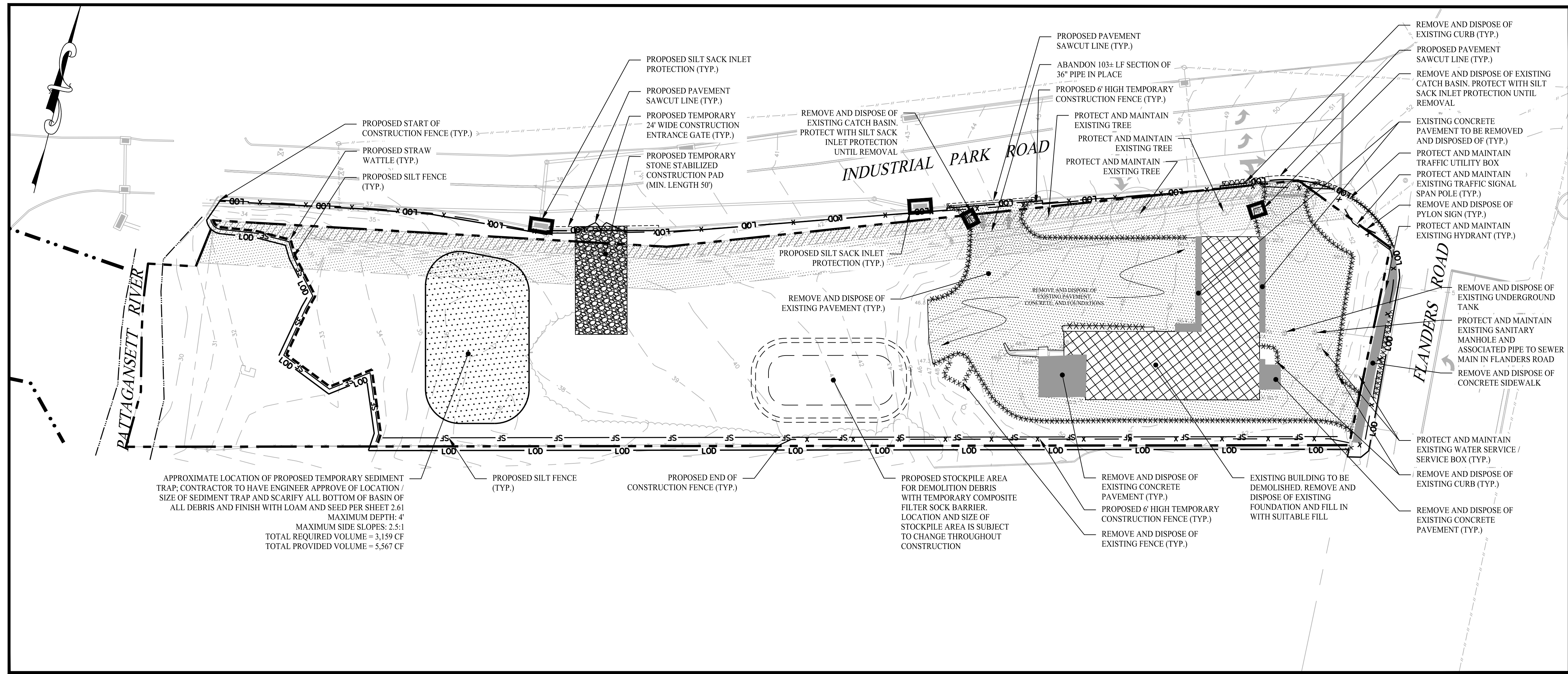
ABBREVIATIONS

@	AT
BC	BOTTOM OF CURB
C	CURB INLET
CB	CATCH BASIN
DPW	DEPARTMENT OF PUBLIC WORKS
DMH	DRAINAGE MANHOLE
E	EAST
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAR FEET
N	NORTH
OCS	OUTLET CONTROL STRUCTURE
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
S	SLOPE
SDR	STANDARD DIMENSION RATIO
SMH	SEWER MANHOLE
SSWR	SEWER
STRM	STORM
TC	TOP OF CURB
TF	TOP OF FRAME
TYP	TYPICAL
TYPE C	CURB INLET CATCH BASIN
WQU	WATER QUALITY UNIT
W	WEST

VOLUME SUMMARY

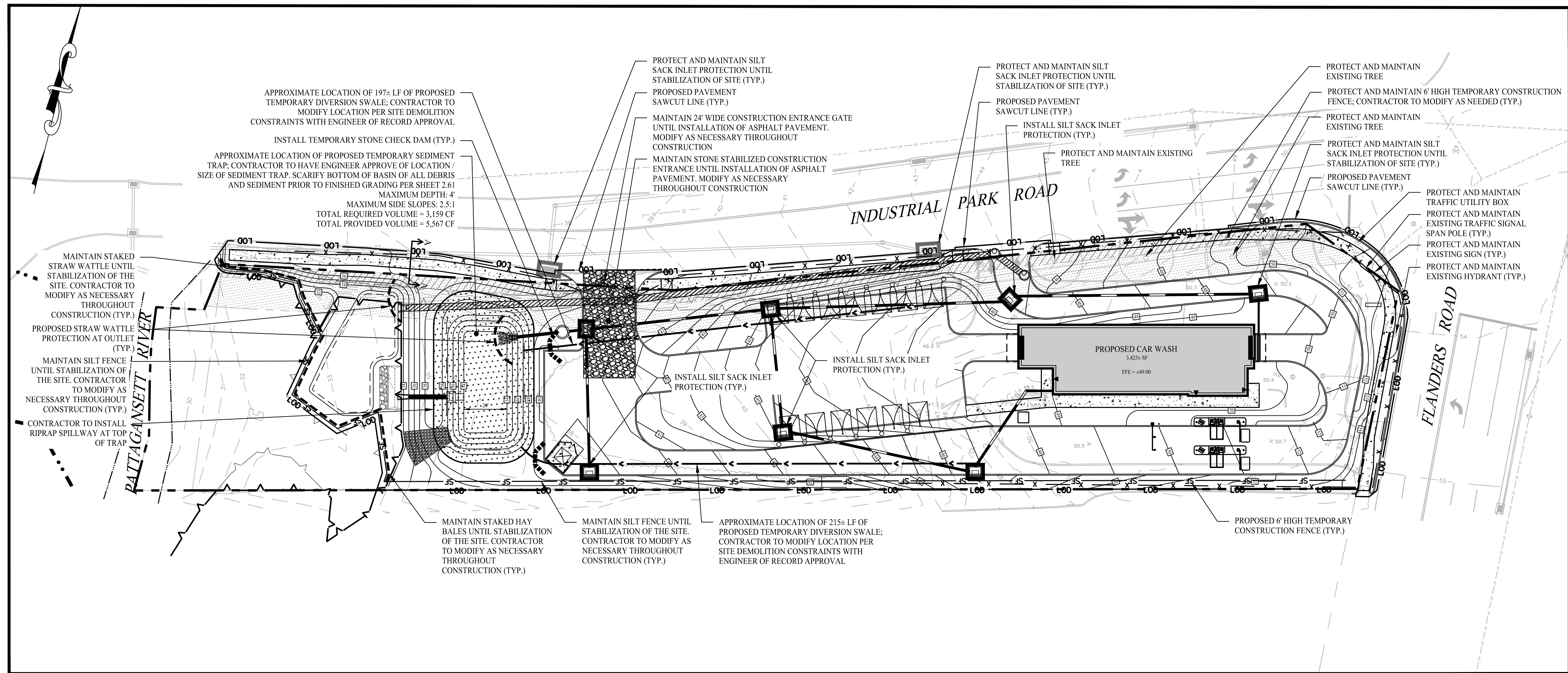
AREA	CUT (CY)	FILL (CY)	NET (CY)
REGULATED AREA	748	1,681	933 (FILL)
BALANCE OF SITE	0	0	0
TOTAL	748	1,681	933 (FILL)

Rev. #:	Date	Description
Graphic Scale: 0 20 40		
SOLLI ENGINEERING		
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Drawn By:	AWC	
Checked By:	CJB	
Approved By:	KMS	
Project #:	22105001	
Plan Date:	11/29/22	
Scale:	1" = 20'	
Project:	PROPOSED SOAPY NOBLE EXPRESS CAR WASH 230 FLANDERS ROAD EAST LYME, CONNECTICUT	
Sheet Title:	GRADING & DRAINAGE PLAN	Sheet #:
		2.21



DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PHASE I

SCALE: 1" = 30'



SOIL EROSION & SEDIMENT CONTROL PHASE II

SCALE: 1" = 30'

SEDIMENT & EROSION CONTROL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF EAST LYME FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, NANTIC, CONNECTICUT"; SCALE 1"=30'; DATED: 07/06/2022; BY "ACCURATE LAND SURVEYING, LLC."
- PRIOR TO STARTING ANY OTHER WORK ON SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT. EROSION CONTROLS TO BE INSTALLED AT THE EDGE OF PROPOSED WORK.
- EROSION CONTROLS TO ACT AS A LIMIT OF WORK LINE TO ENSURE THAT NO EQUIPMENT ENCLOSES ON THE ADJACENT PROPERTIES.
- EROSION CONTROLS SHALL REMAIN IN PLACE AND BE MAINTAINED FOR THE DURATION OF THE PROJECT TO LIMIT THE MOVEMENT OF SILTATION AND SEDIMENTS FROM ENTERING EXISTING DRAINAGE SYSTEMS OR FROM LEAVING THE PARCEL. ANY ACCUMULATED SEDIMENTS ARE TO BE REMOVED FROM THE EROSION CONTROLS AND DISPOSED TO PROPERLY. ADDITIONALLY, ALL EROSION CONTROLS ARE TO BE INSPECTED AFTER A STORM EVENT AND THE CONTROLS REPLACED OR ARMORED AS NECESSARY AND ACCUMULATED SEDIMENTS REMOVED.
- ADDITIONAL EROSION CONTROLS ARE TO BE UTILIZED AS NECESSARY AND AS DIRECTED BY THE ENGINEER TO LIMIT SEDIMENTS FROM DISCHARGING TO CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- A RESERVE AMOUNT OF EROSION CONTROL MATERIALS ARE TO BE KEPT WITHIN EASY ACCESS ON SITE AT ALL TIMES.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR MINIMAL TIME BEFORE THEY ARE COVERED, SEED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- TEMPORARY STOCKPILING OF MATERIALS RELATED TO THE CONSTRUCTION ACTIVITIES ARE TO BE PROPERLY STABILIZED, PROTECTED AND DEMARCATED TO LIMIT MOVEMENT OF MATERIAL INTO STORM DRAIN SYSTEM OR ONTO ADJACENT PARCELS.
- REFUELING AND ANY WORK ASSOCIATED WITH THE MAINTENANCE OF CONSTRUCTION EQUIPMENT TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE REGULATIONS.
- THE AREAS OF CONSTRUCTION SHALL REMAIN IN A STABLE CONDITION AT THE CLOSE OF EACH CONSTRUCTION DAY. EROSION CONTROLS SHALL BE CHECKED AT THIS TIME AND MAINTAINED OR REPAIRS MADE AS NECESSARY.
- EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH PAVEMENT, PLANTING, OR WITH AN ESTABLISHED STAND OF GRASS. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE STABILIZATION IS COMPLETE. CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS AS DIRECTED BY THE ENGINEER OF RECORD, TOWN ENGINEER, DPW AND/OR EAST LYME LAND USE AGENT.
- UTILIZE APPROPRIATE DEWATERING SYSTEMS AND TECHNIQUES TO MAINTAIN THE EXCAVATED AREA SUFFICIENTLY DRY FROM GROUNDWATER AND/OR SURFACE RUNOFF SO AS TO NOT ADVERSELY AFFECT CONSTRUCTION PROCEDURES OR CAUSE EXCESSIVE DISTURBANCE OF UNDERLYING NATURAL GROUND.
- WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL THE AREAS OF WORK IN SUITABLE DRY CONDITION.
- PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW WORK FROM FLOODING DURING STORMS OR FROM OTHER CAUSES. GRADING IN THE AREAS SURROUNDING ALL EXCAVATIONS SLOPED TO PREVENT WATER FROM RUNNING INTO THE EXCAVATED AREA OR TO ADJACENT PROPERTIES. WHERE REQUIRED, TEMPORARY DITCHES SHALL BE PROVIDED FOR DRAINAGE. UPON COMPLETION OF THE WORK AND WHEN DIRECTED, ALL AREAS SHALL BE RESTORED IN A SATISFACTORY MANNER AND AS DIRECTED.
- ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
- REFER TO SHEET 241 FOR DETAILS OF THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL (SEC) MEASURES AND ADDITIONAL INFORMATION REGARDING CONSTRUCTION SEQUENCE, SEC MEASURE INSTALLATION, AND MAINTENANCE.

DEMOLITION NOTES

- CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ALL BUILDINGS, INCLUDING FOUNDATIONS WALLS, FOOTINGS AND BASEMENT SLABS INDICATED ON PLAN ARE TO BE REMOVED FROM THE SITE.
- ALL SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE PLAN HEREON SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. THE HAULER SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENT AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEMAND NECESSARY BY THE ENGINEER OF RECORD. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENT CONTROLS AS SHOWN HEREON.
- THE CONTRACTOR SHALL ADHERE TO ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID BY THE CONTRACTOR.
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE ENGINEER OF RECORD IS HELD. THE CONTRACTOR SHALL HAVE MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- CONTRACTOR SHALL BACKFILL ALL AREAS WHERE BUILDING SLABS AND FOUNDATIONS HAVE BEEN REMOVED. THE BACKFILL SHALL BE FILLED UP TO THE LIMITS OF THE PAVEMENT SUBGRADE.

LEGEND

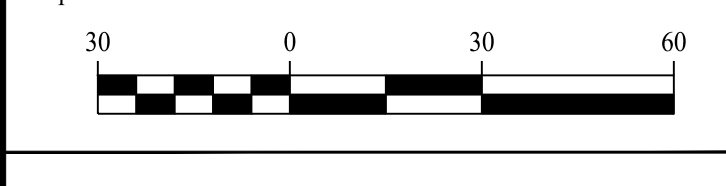
	PROPERTY LINE
	BUILDING / STRUCTURE DEMOLITION
	CONCRETE PAVEMENT DEMOLITION
	BITUMINOUS CONCRETE PAVEMENT DEMOLITION
	SILT FENCE PROTECTION
	COMPOSITE FILTER SOCK
	CONSTRUCTION FENCE
	DIVERSION SWALE/BERM
	TEMPORARY SEDIMENT TRAP / BASIN
	SILT SACK INLET PROTECTION
	STONE CHECK DAM
	STRAW WATTLE
	SAWCUT PAVEMENT LINE
	CURB REMOVAL
	CONSTRUCTION ENTRANCE

SEDIMENT TRAP CALCULATIONS

NOTE: TEMPORARY SEDIMENT TRAPS HAVE BEEN SIZED TO PROVIDE A MINIMUM STORAGE CAPACITY PER ACRE OF DRAINAGE AREA PER THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

SEDIMENT TRAP
CONTRIBUTING DRAINAGE AREA = 0.87± ACRES
0.87 AC x 134 CY/AC = 117 CY
117 CY x 27 CF/CY = 3,159 CF

Rev. #:	Date	Description



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Drawn By:	JEP
Checked By:	CJB
Approved By:	KMS
Project #:	22105001
Plan Date:	11/29/22
Scale:	1" = 30'

PROPOSED SOAPY NOBLE EXPRESS CAR WASH
230 FLANDERS ROAD
EAST LYME, CONNECTICUT

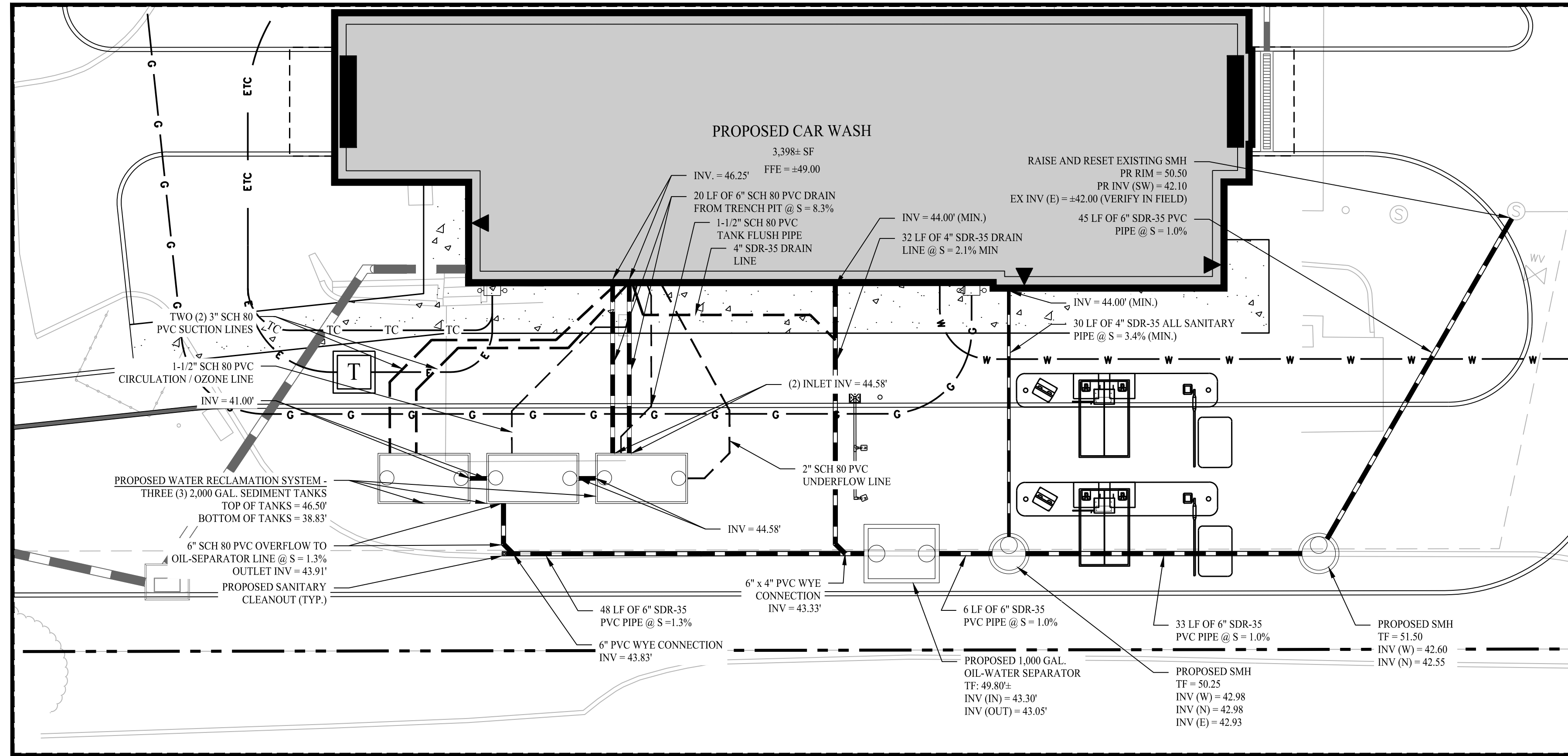
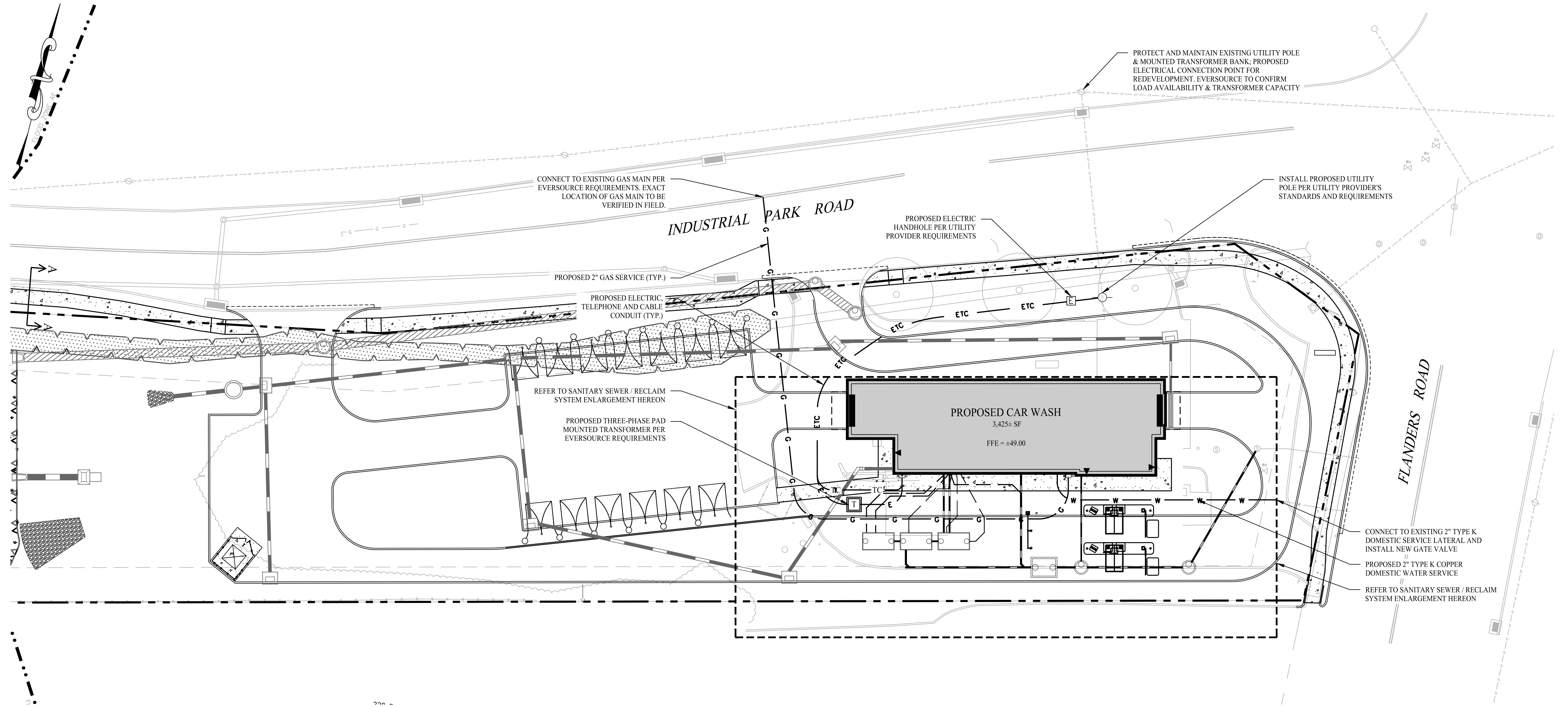
Sheet Title:	SOIL EROSION & SEDIMENT CONTROL PLAN	Sheet #:	2.31
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LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
- - -	ADJOINING LOT LINE
W W W	WATER MAIN / LATERAL
G G G	GAS LINE
///	OVERHEAD ELECTRIC LINE
E E E	ELECTRIC CONDUIT
TC TC TC	TELEPHONE & CABLE CONDUIT
ETC ETC ETC	ELECTRIC, TELEPHONE & CABLE CONDUIT
---	SANITARY SEWER PIPE
⊠	SANITARY TANK/TRAP
⊕	WATER VALVE
⊙	GAS METER
⊖	ELECTRIC METER
⊘	UTILITY POLE

ABBREVIATIONS

@	AT
AC	ACRES
BLDG	BUILDING
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
GAL	GALLONS
INV	INVERT
LF	LINEAR FEET
MIN	MINIMUM
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
S	SLOPE
SCH	SCHEDULE
SDR	STANDARD DIAMETER RATIO
SF	SQUARE FEET
SMH	SANITARY MANHOLE
TF	TOP OF FRAME
TYP	TYPICAL



SANITARY SEWER / RECLAIM SYSTEM ENLARGEMENT

SCALE: 1" = 10'

GENERAL NOTES

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2. ALL PROPOSED SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY LOCAL, STATE AND/OR FEDERAL REVIEWING AGENCIES.
3. EXISTING BOUNDARY, TOPOGRAPHY AND SITE CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, MANTIC, CONNECTICUT", SCALE 1"=30', DATED 07/06/2022, BY "ACCURATE LAND SURVEYING, LLC".
4. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF EAST LYME STANDARDS AND CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
5. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT (800) 922-4455 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
6. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
7. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS, THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
8. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING AND SIDEWALKS ADJACENT TO THE BUILDING.
9. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
10. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER OF RECORD, AND REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.

UTILITY NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
3. ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF EAST LYME RIGHT OF WAY SHALL COMPLY WITH TOWN OF EAST LYME DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK MAY REQUIRE LANE CLOSURES. COORDINATION WILL BE REQUIRED PRIOR TO CONSTRUCTION.
4. ALL DISTURBANCE TO TOWN, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
5. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
6. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
7. GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO ABSE AND PAVING OPERATIONS COMMENCING.
8. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRIC SERVICES SHALL BE IN COMPLIANCE WITH UTILITY PROVIDER STANDARDS AND SPECIFICATIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED BY UTILITY PROVIDERS.

Rev. #:	Date	Description



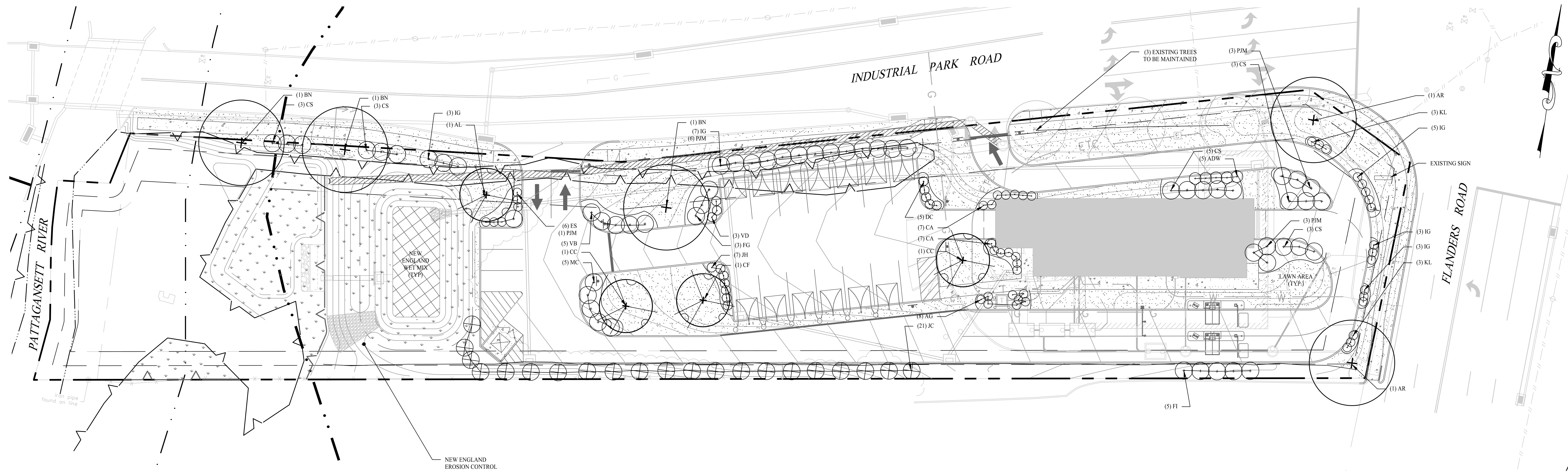
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 501 Main Street, Monro, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By:	AWC
Checked By:	CJB
Approved By:	KMS
Project #:	22105001
Plan Date:	11/29/22
Scale:	1" = 20'



PROPOSED SOAPY NOBLE EXPRESS CAR WASH
 230 FLANDERS ROAD
 EAST LYME, CONNECTICUT

Sheet Title:	Utility Plan
Sheet #:	2.51



PLANTING SCHEDULE

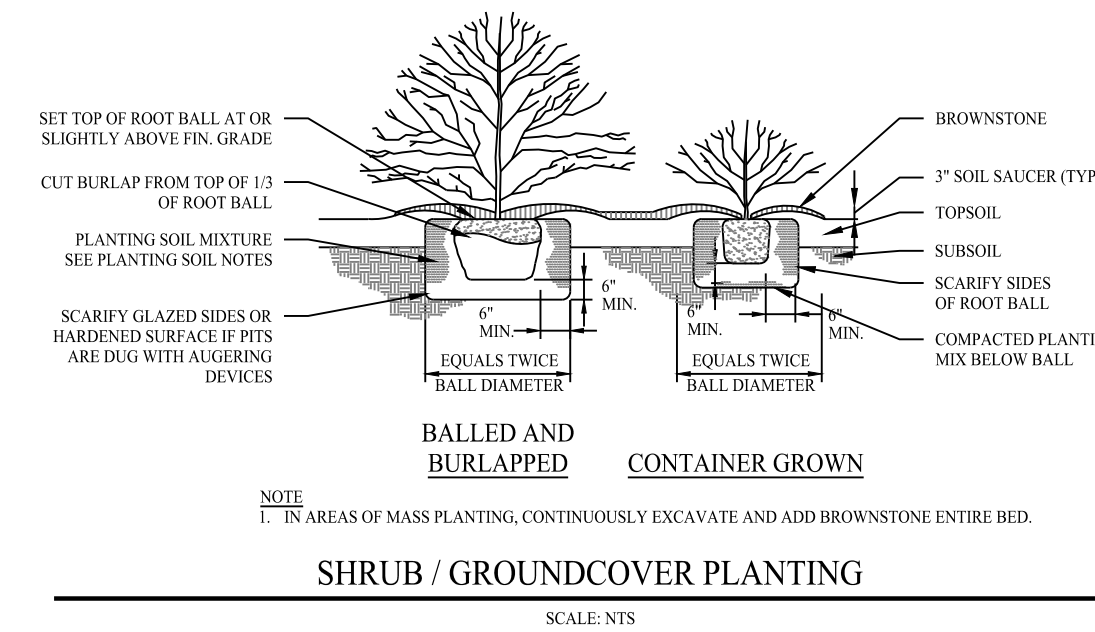
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	COMMENTS
TREES					
AR	2	ACER RUBRUM	RED MAPLE	B&B	2'-3" CAL FULL, EXTRA HEAVY
BN	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B&B	2'-3" CAL MULTI-STEM
JC	21	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	B&B	6'-7' HT FULL, EXTRA HEAVY
UNDERSTORY TREES					
AL	1	AMELANCHIER LAEVIS	SMOOTH SHADBUSH	B&B	2'-2 1/2" CAL FULL, EXTRA HEAVY
CC	2	CERCIS CANADENSIS	EASTERN REDBUD	B&B	2'-2 1/2" CAL FULL, EXTRA HEAVY
CF	1	CORNUS X STELLAR PINK 'RUTGAN'	RUTGERS HYBRID DOGWOOD	B&B	2'-2 1/2" CAL FULL, EXTRA HEAVY
UPLAND SHRUBS					
ADW	5	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	CONT	18"-24" HT FULL, EXTRA HEAVY
CA	14	CEANOTHUS AMERICANUS	NEW JERSEY TEA	CONT	18"-24" HT FULL, EXTRA HEAVY
CS	17	CORNUS SERICA 'BAILEY'	RED TWIG DOGWOOD	CONT	24"-36" HT FULL, EXTRA HEAVY
FI	8	FORSYTHIA INTERMEDIA	BORDER FORSYTHIA	CONT	24"-30" HT FULL, EXTRA HEAVY
IG	21	ILEX GLABRA 'SHAMROCK'	INKBERRY	CONT	36"-48" HT FULL, EXTRA HEAVY
KL	6	KALMIA HYBRIDS	MOUNTAIN LAUREL	CONT	24"-30" HT FULL, EXTRA HEAVY
PJM	13	RHODODENDRON PJM	PJM RHODODENDRON	CONT	24"-30" HT FULL, EXTRA HEAVY
VB	5	VIBURNUM ACERIFOLIUM	MAPLE-LEAF VIBURNUM	CONT	24"-30" HT FULL, EXTRA HEAVY
VD	3	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	CONT	24"-30" HT FULL, EXTRA HEAVY
FERNS / GROUNDCOVER / GRASSES					
AG	8	ANDROPOGON 'GERARDII'	BIG BLUESTEM	CONT	#1 CONT FULL, EXTRA HEAVY
DC	5	DELOSPERMA COOPERI	ICE PLANT	CONT	#1 CONT FULL, EXTRA HEAVY
ES	6	ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	CONT	#1 CONT FULL, EXTRA HEAVY
FG	3	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE GRASS	CONT	#1 CONT FULL, EXTRA HEAVY
JH	7	JUNIPERUS HORIZONTALIS	CREeping HYBRID JUNIPER	CONT	#1 CONT FULL, EXTRA HEAVY
MC	5	MUHLENBERGIA CAPILLARIS	HAIRAWN MUHLY	CONT	#1 CONT FULL, EXTRA HEAVY
SEED MIXES					
NEW ENGLAND WET MIX (NEW ENGLAND WETLAND PLANTS, INC.) APPLICATION RATE: 1 LB/2,500 S.F.					
NEW ENGLAND EROSION CONTROL RESTORATION MIX (NEW ENGLAND WETLAND PLANTS, INC.) APPLICATION RATE: 1 LB/2,500 S.F.					
LAWN: PENNINGTON SMART SEED SUN AND SHADE					

PLANTING SOIL NOTES

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE.
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:
3 PARTS SCREENED TOPSOIL
1 PART CLEAN WASHED COARSE SAND
1 PART PEAT HUMUS
5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
- MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL.
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:
3 PARTS SCREENED TOPSOIL
1 PART SAND
1 PART HUMUS
5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:
A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEIOUS MATTER.
B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
C. MECHANICAL ANALYSIS

SCREEN SIZE	% BY WEIGHT PASSING
1"	100
1/4"	97 - 100
NO. 200	20 - 65

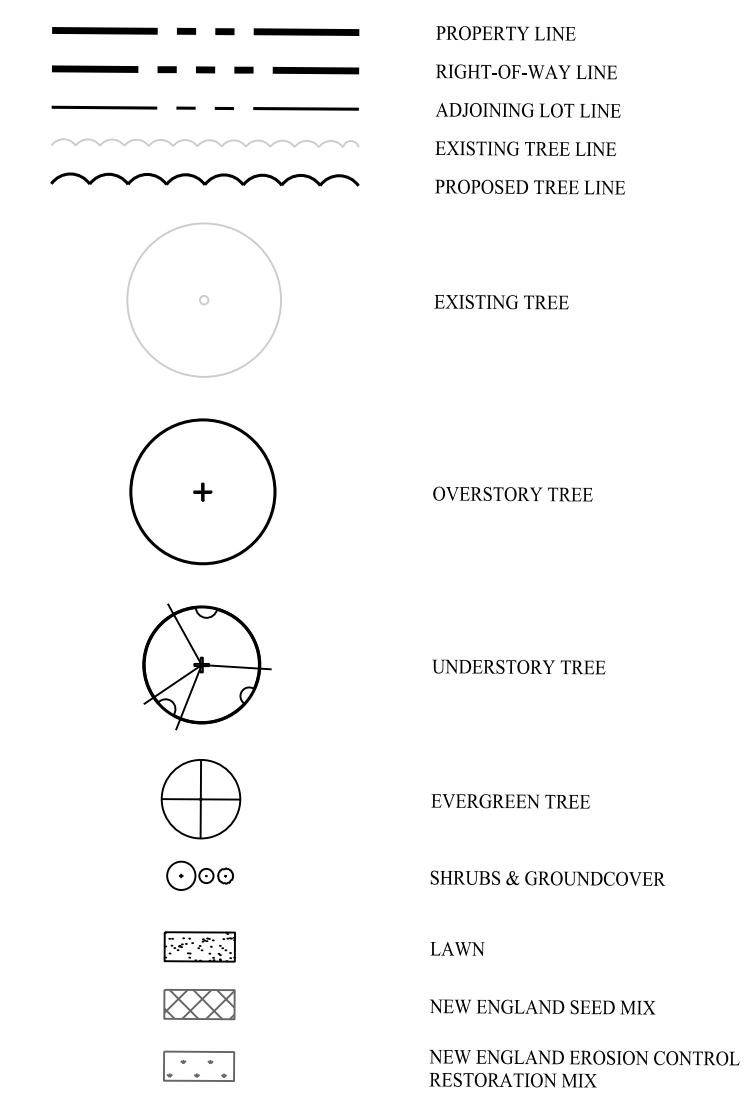
D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL.
E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.



GENERAL NOTES

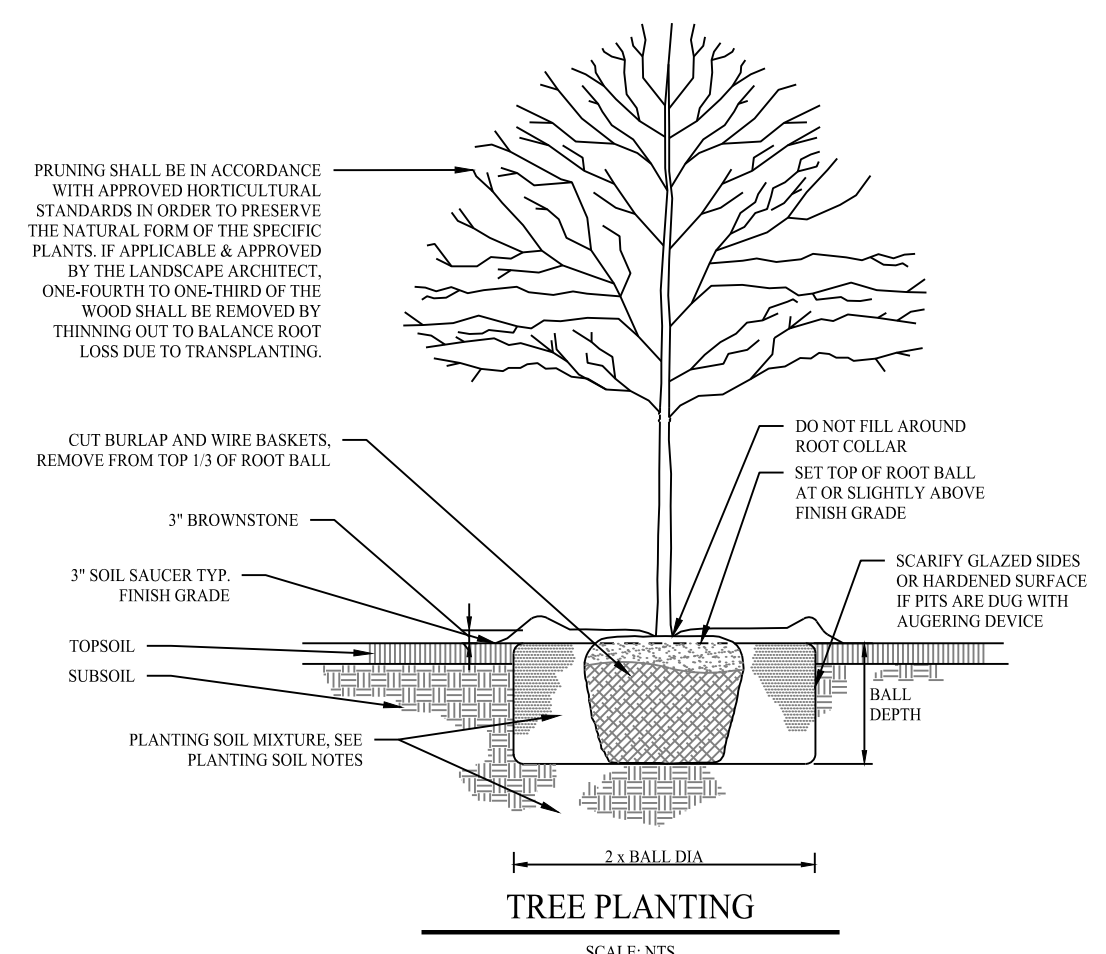
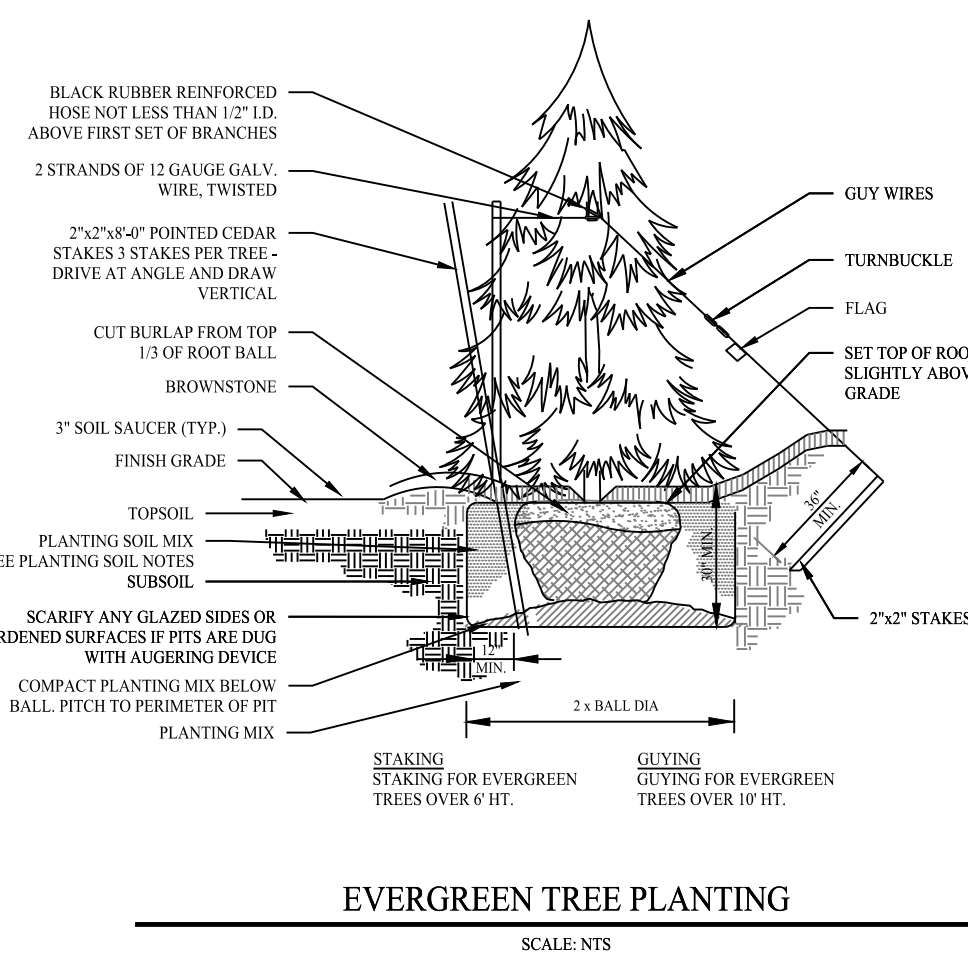
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, NANTIC, CONNECTICUT"; SCALE 1"=30'; DATED: 07/06/2022; BY "ACCURATE LAND SURVEYING, LLC"
- ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

LEGEND



PLANTING NOTES

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE TO VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" AND 1-2004 OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- ALL BEDS SHOWN AS CONTINUOUS WITH A 2" MINIMUM OF BROWNSTONE. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.
- TRANSPLANTED MATERIALS TO BE WATERED, HEELED IN AND TENDED BY CONTRACTOR UNTIL FINAL PLACEMENT.



Rev. #: _____ Date _____ Description _____

Graphic Scale:

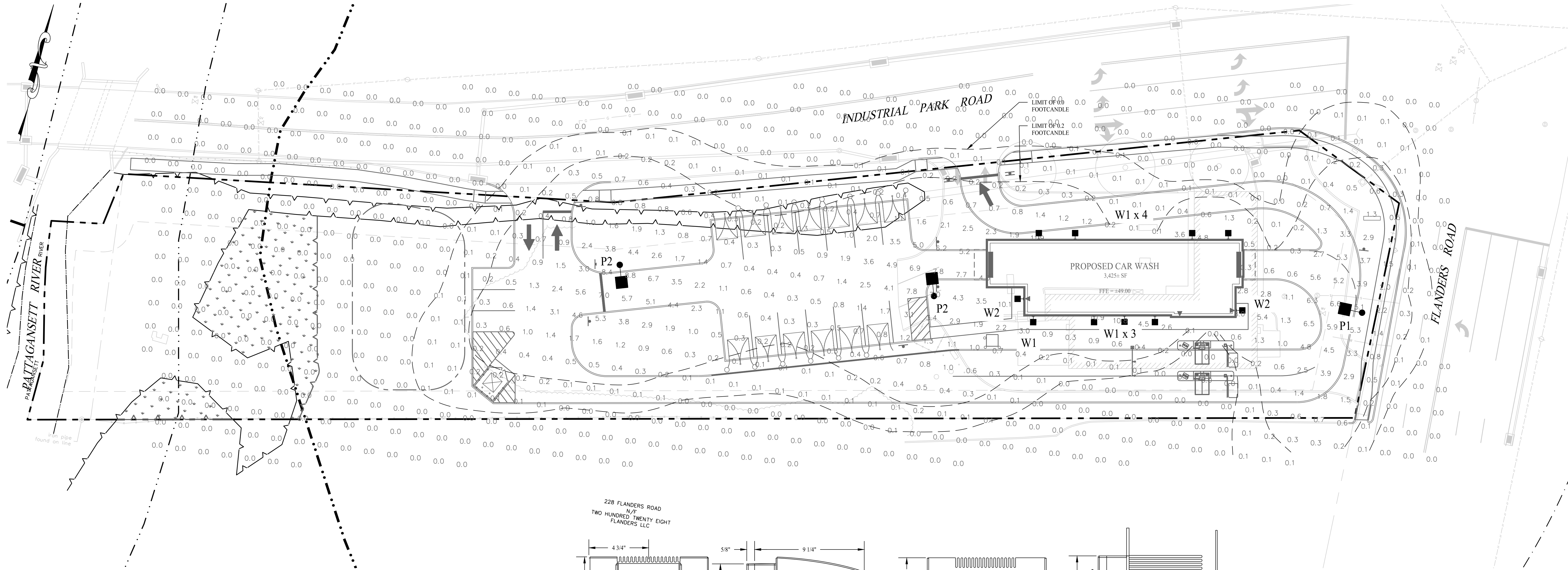
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 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By: MM
 Checked By: MFB
 Approved By: KMS
 Project #: 22105001
 Plan Date: 11/29/22
 Scale: 1" = 20'

Project: **PROPOSED SOAPY NOBLE EXPRESS CAR WASH**
 230 FLANDERS ROAD
 EAST LYME, CONNECTICUT

Sheet Title: **LANDSCAPE PLAN** Sheet #: **2.61**

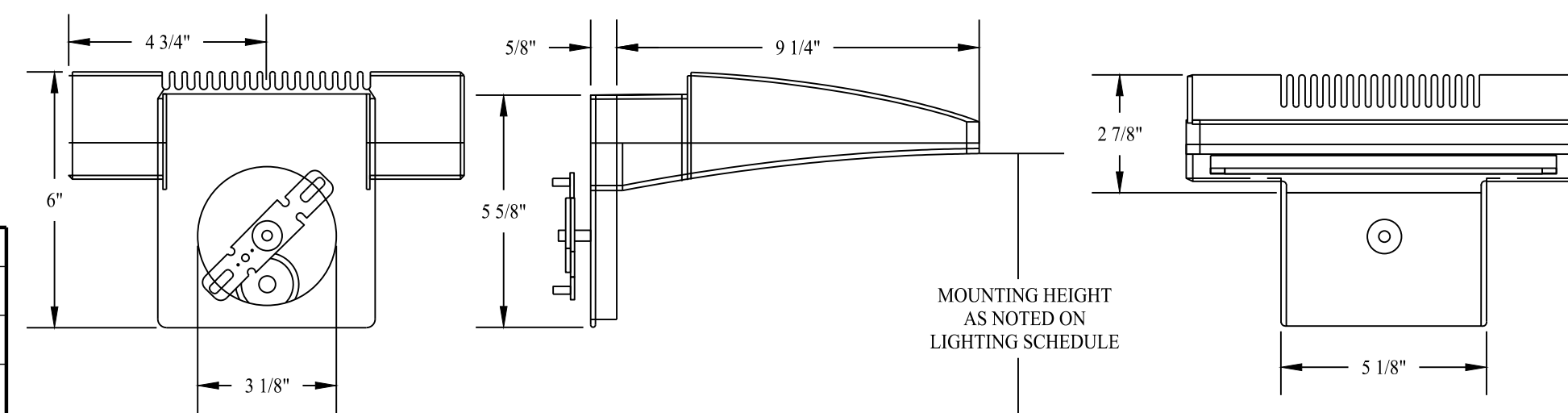
Mary Blackburn, P.L.A.
CT 1499



FIXTURE SCHEDULE

QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	LUMENS
1	P1	●	POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-BLSMF-A-NM-2ME-K-30K, POWDER COATED ALUMINUM, BRONZE	130W 30K LED, TYPE II DISTRIBUTION 17'-6" MOUNTING HEIGHT	13,032
2	P2	●	POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-A-NM-3ME-K-30K, POWDER COATED ALUMINUM, BRONZE	130W 30K LED, TYPE III DISTRIBUTION 17'-6" MOUNTING HEIGHT	16,022
8	W1	■	WALL MOUNTED FIXTURE	WAC LIGHTING MODEL WS-W17714-14" AL BRUSHED	23W 4K LED, TYPE III DISTRIBUTION, 6'-9" MOUNTING HEIGHT	600
2	W2	■	WALL MOUNTED FIXTURE	RAB WPLED26N, POWDER COATED ALUMINUM, BRONZE	26W 4K LED, 9'-0" MOUNTING HEIGHT	3,527

228 FLANDERS ROAD
N/E
TWO HUNDRED TWENTY EIGHT
FLANDERS LLC



PROPOSED WALL MOUNTED LIGHT FIXTURE - W2

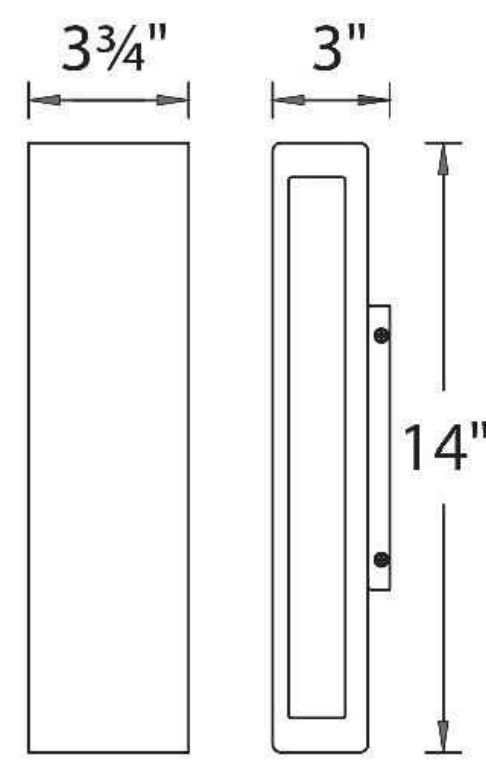
WALL MOUNTED FIXTURE, RAB WPLED26N, POWDER COATED ALUMINUM, BRONZE
SCALE: NTS

LIGHTING NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.
3. EXISTING BOUNDARY, TOPOGRAPHY AND SITE CONDITIONS INFORMATION TAKEN FROM A PLAN ENTITLED "PROPERTY SURVEY OF 230 FLANDERS ROAD, NIAHTIC, CONNECTICUT", SCALE 1"=30'; DATED: 07/06/2022; BY "ACCURATE LAND SURVEYING, LLC"
4. ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
5. ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

LEGEND

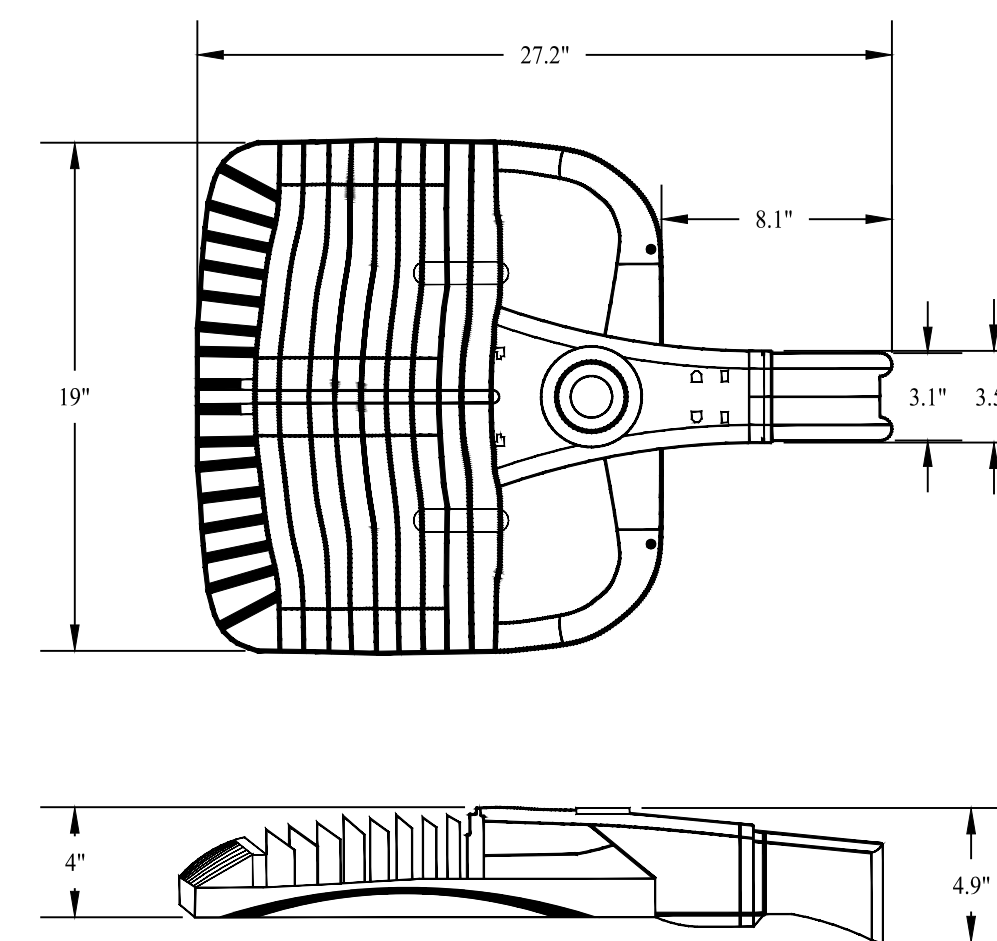
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 -
 -
 -
 -
- PROPOSED FOOTCANDLES
- PROPOSED WALL MOUNTED FIXTURE
- PROPOSED POLE MOUNTED FIXTURES
- LINE OF 0.2 & 0.0 FOOTCANDLES



WS-W17714

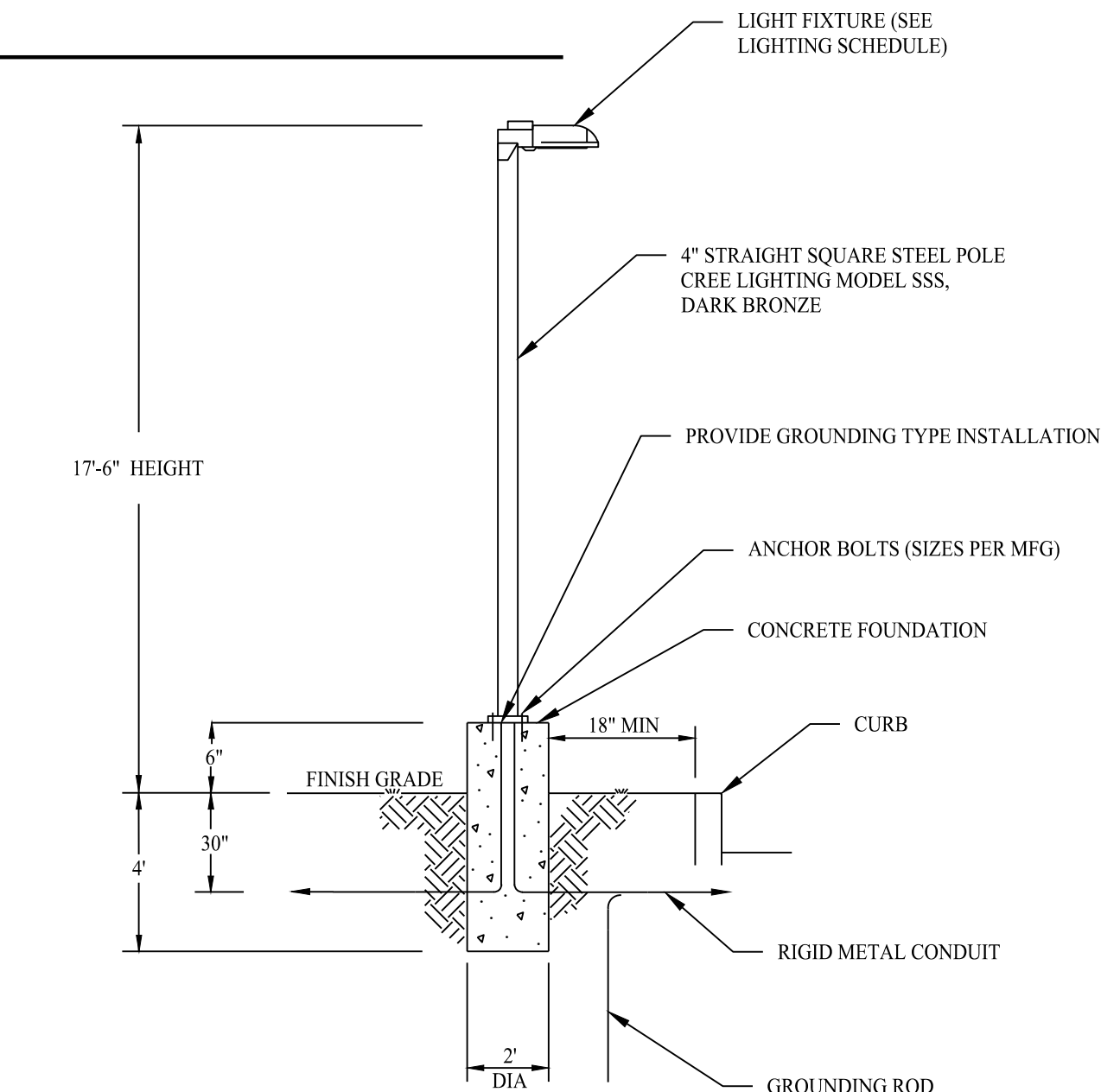
PROPOSED WALL MOUNTED FIXTURE - W1

WAC LIGHTING MODEL WS-W17714-14"
SCALE: NTS



POLE MOUNTED LIGHT FIXTURE - P1 & P2

CREE LIGHTING, OSQ-A LED SERIES, BRONZE
SCALE: NTS



PROPOSED LIGHT POLE - P1 & P2

SCALE: NTS

Rev. #:	Date	Description



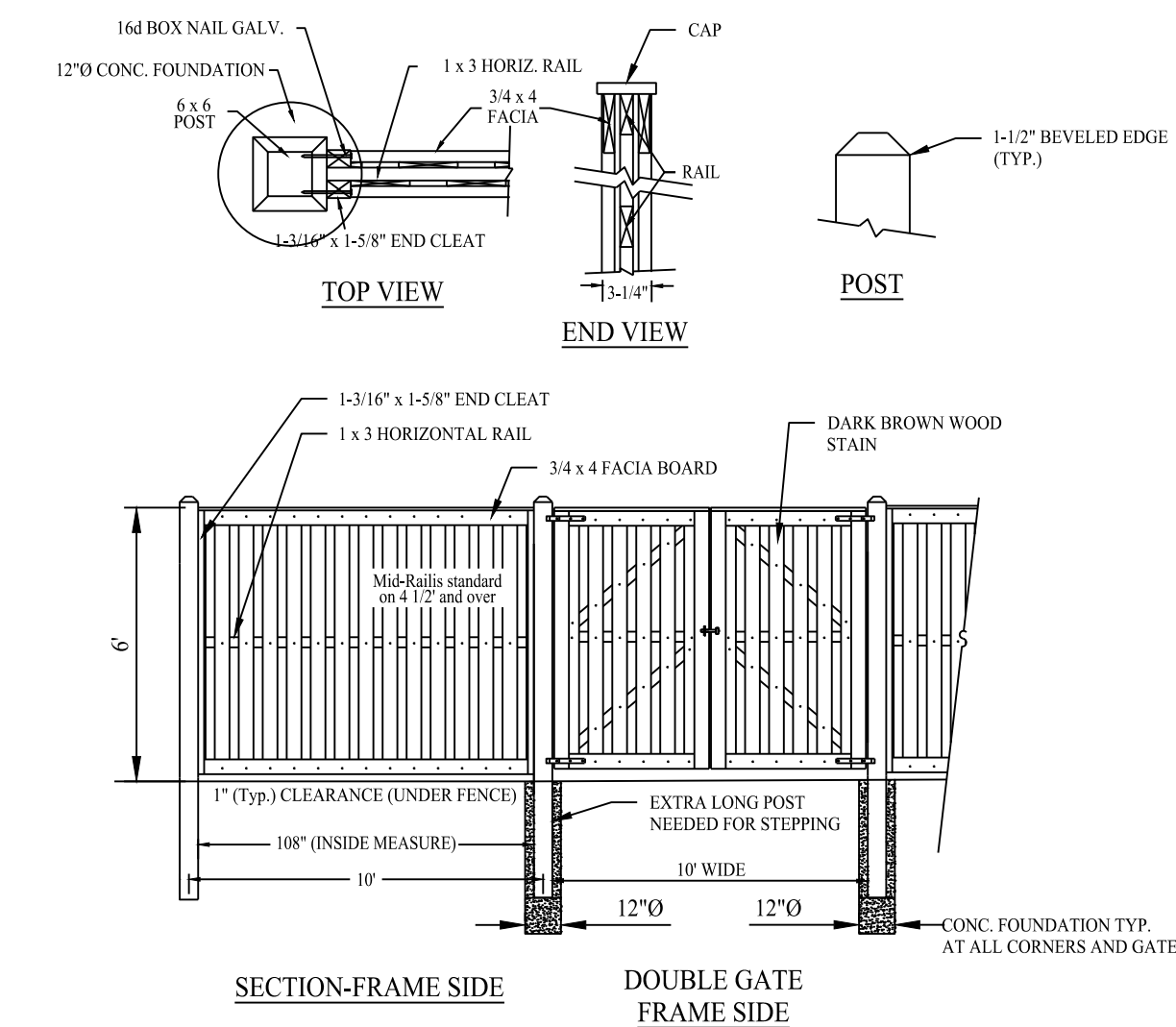
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Drawn By: CMH
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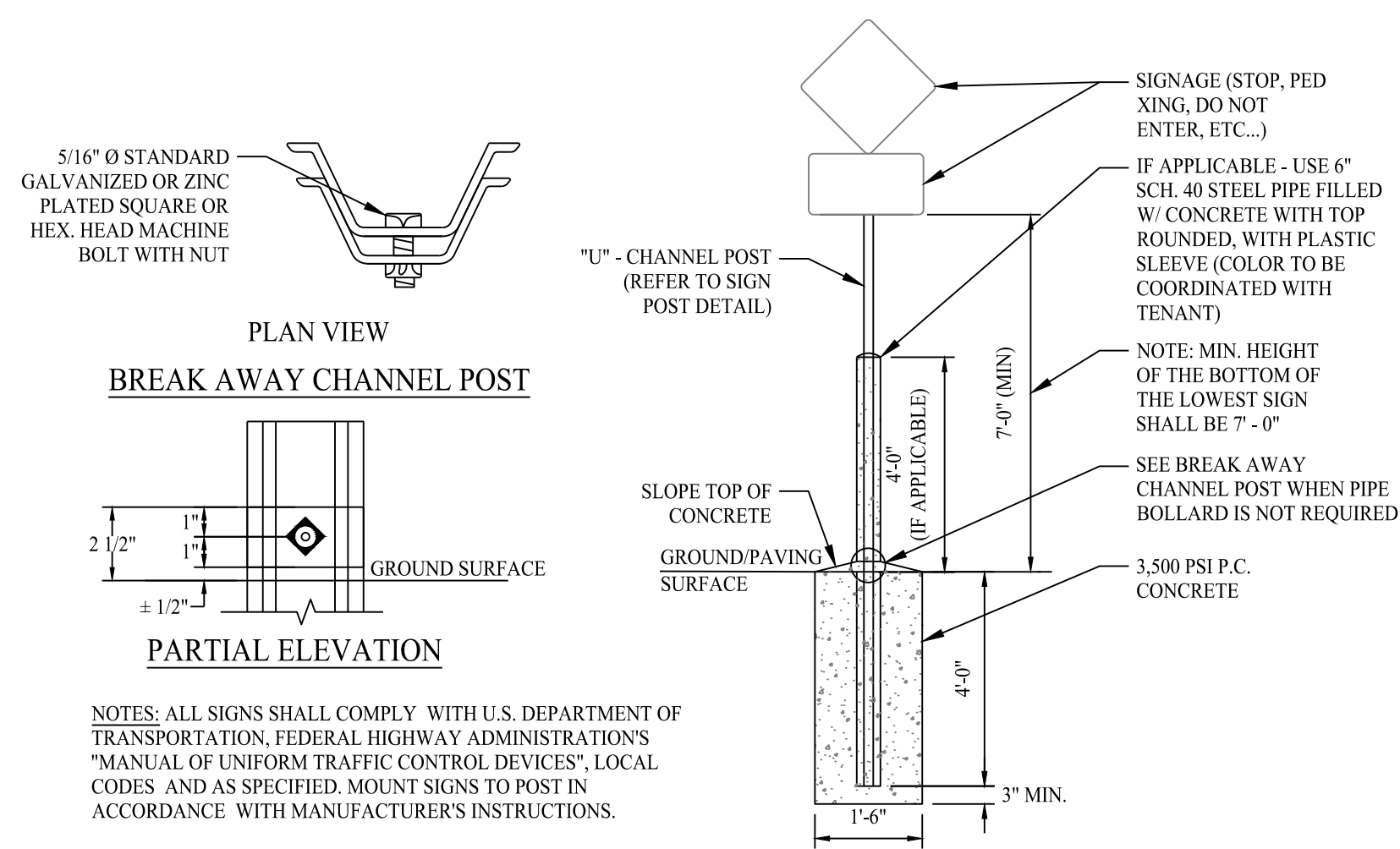
PROPOSED SOAPY NOBLE EXPRESS CAR WASH
230 FLANDERS ROAD
EAST LYME, CONNECTICUT

Sheet Title: LIGHTING PLAN Sheet #: 2.71



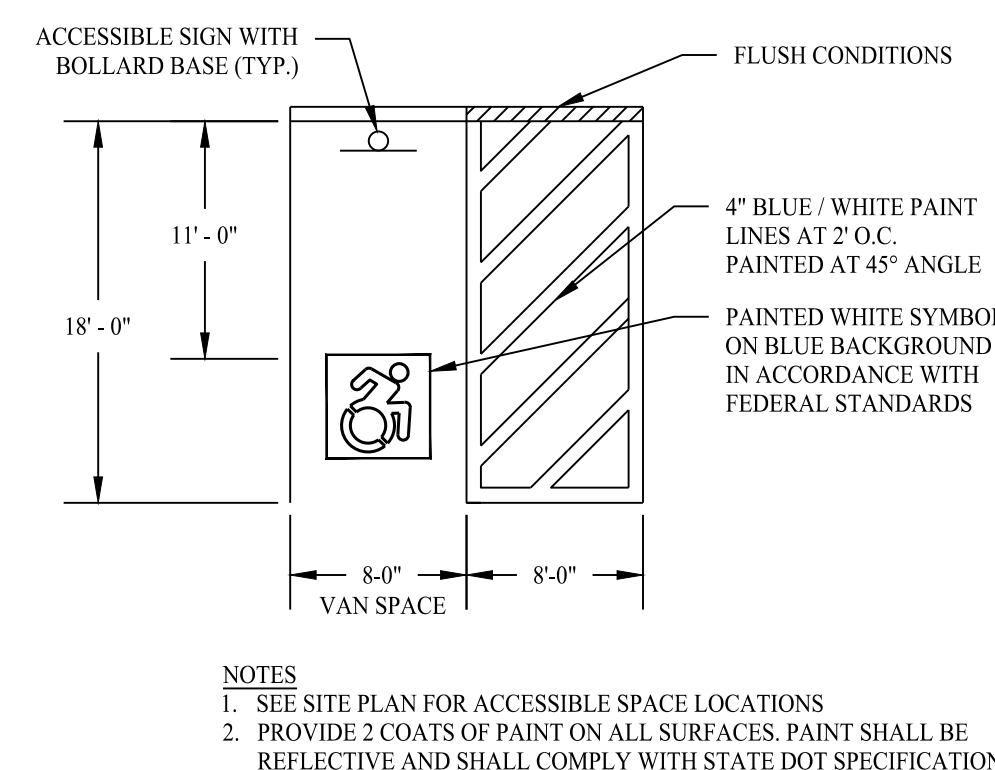
DUMPSTER PAD ENCLOSURE - BOARD ON BOARD FENCE

SCALE: NTS



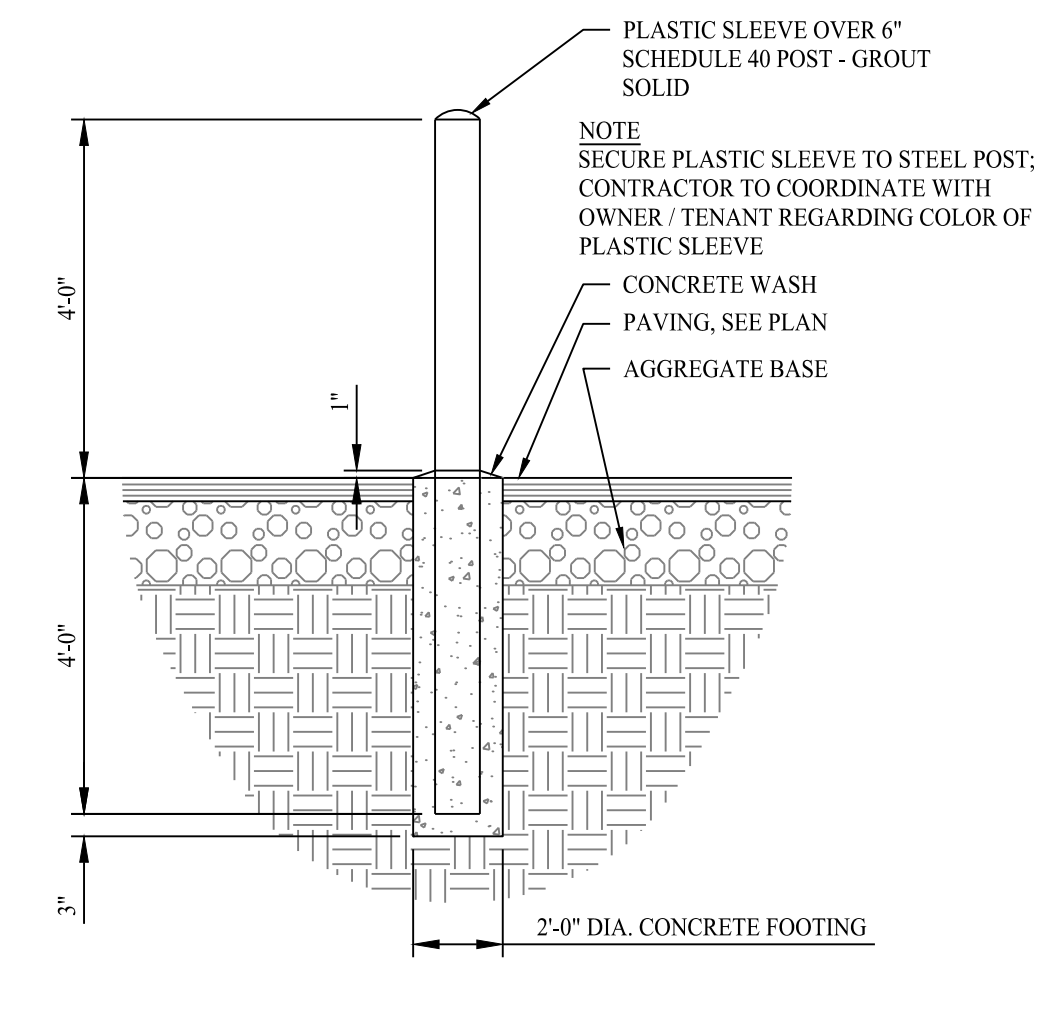
SITE SIGN BASE DETAILS

SCALE: NTS



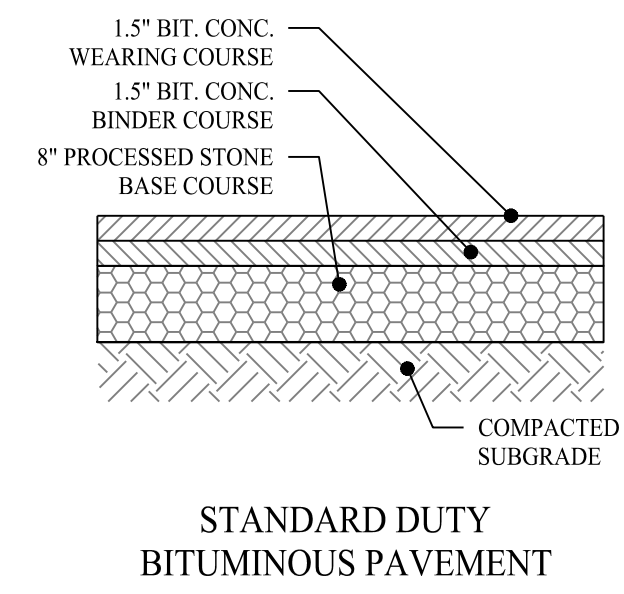
ACCESSIBLE PARKING SPACE DETAIL

SCALE: NTS



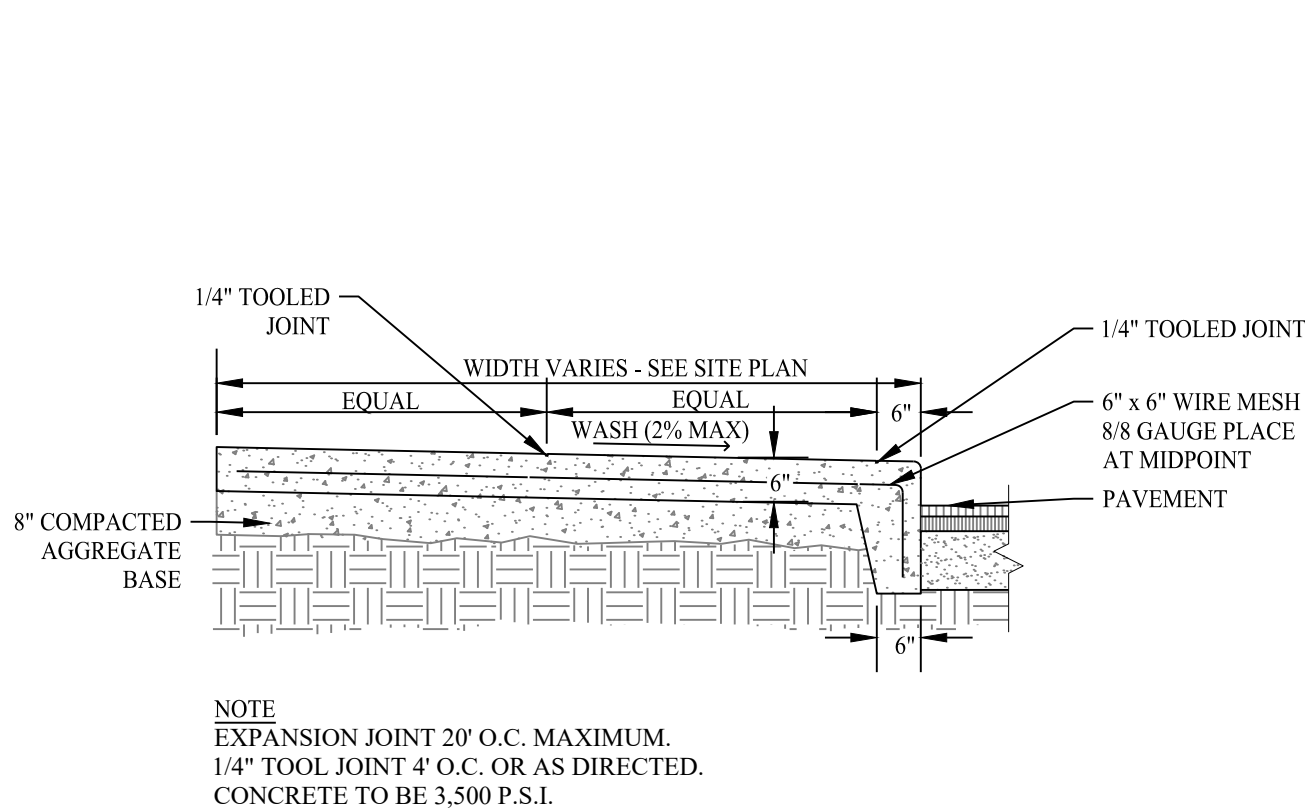
CONCRETE BOLLARD DETAIL

SCALE: NTS



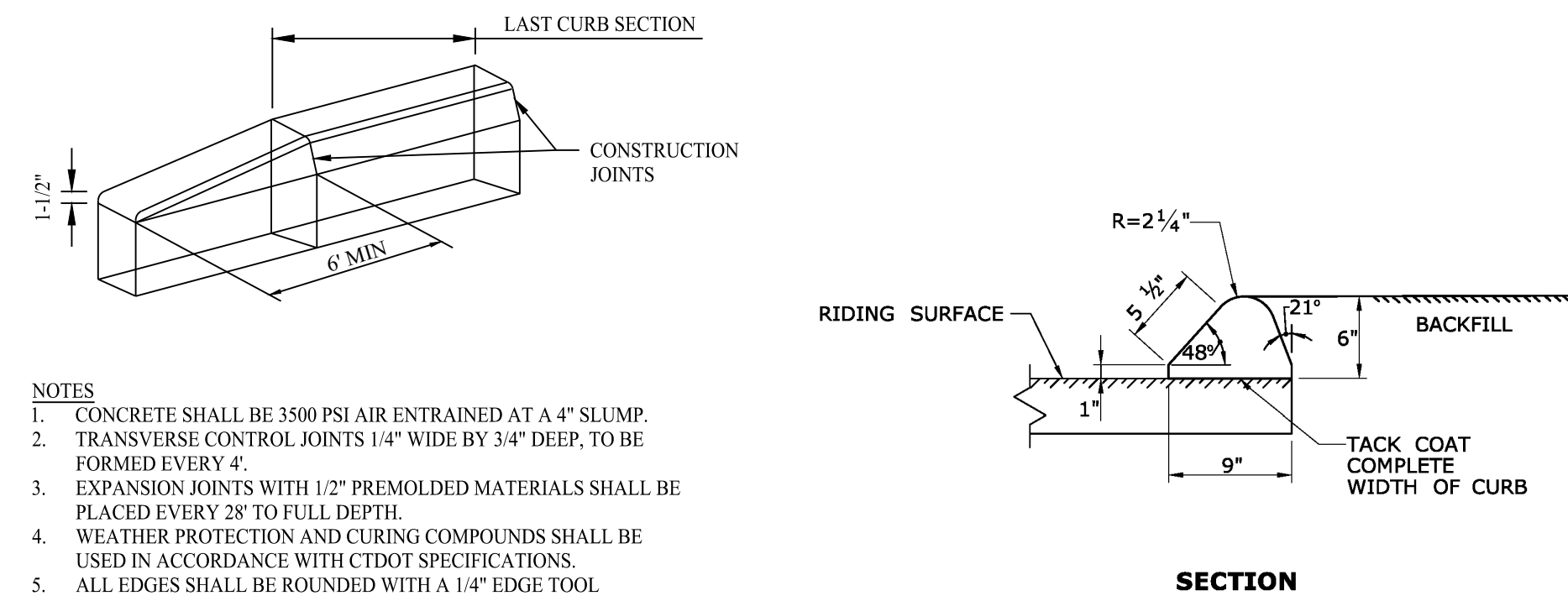
STANDARD DUTY BITUMINOUS PAVING

SCALE: NTS



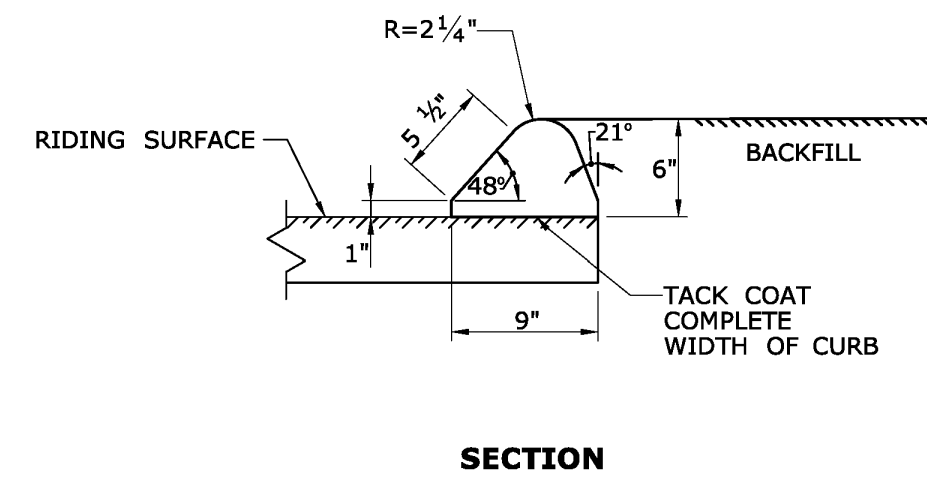
INTEGRAL CURB

SCALE: NTS



CURB TRANSITION DETAIL

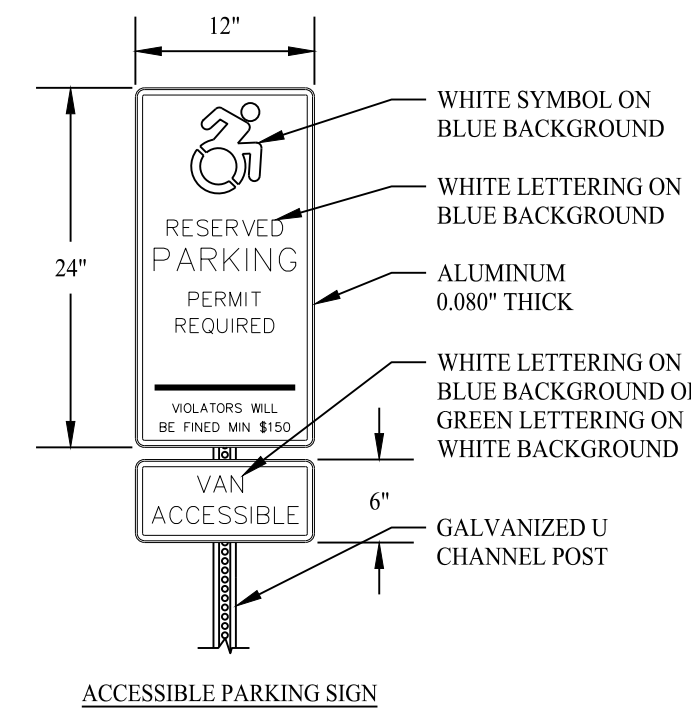
SCALE: NTS



BITUMINOUS CONCRETE CURB DETAIL

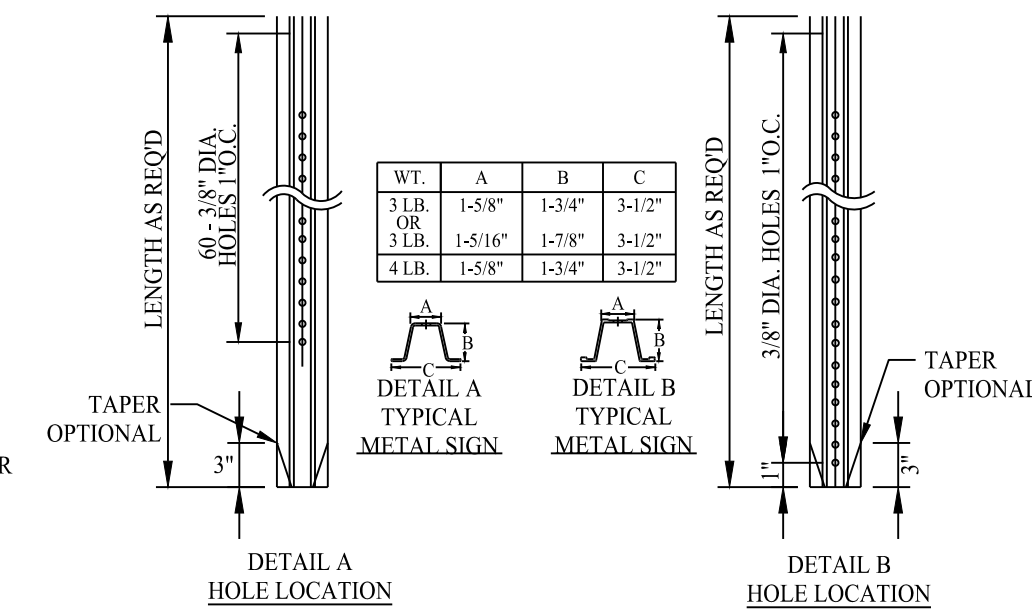
SCALE: NTS

DETAIL TAKEN FROM CTDOT HIGHWAY STANDARD DETAILS



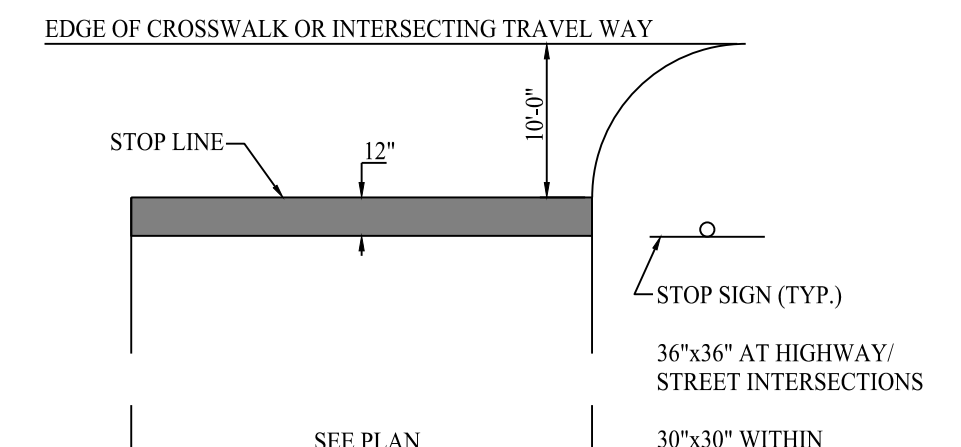
ACCESSIBLE SIGN DETAILS

SCALE: NTS



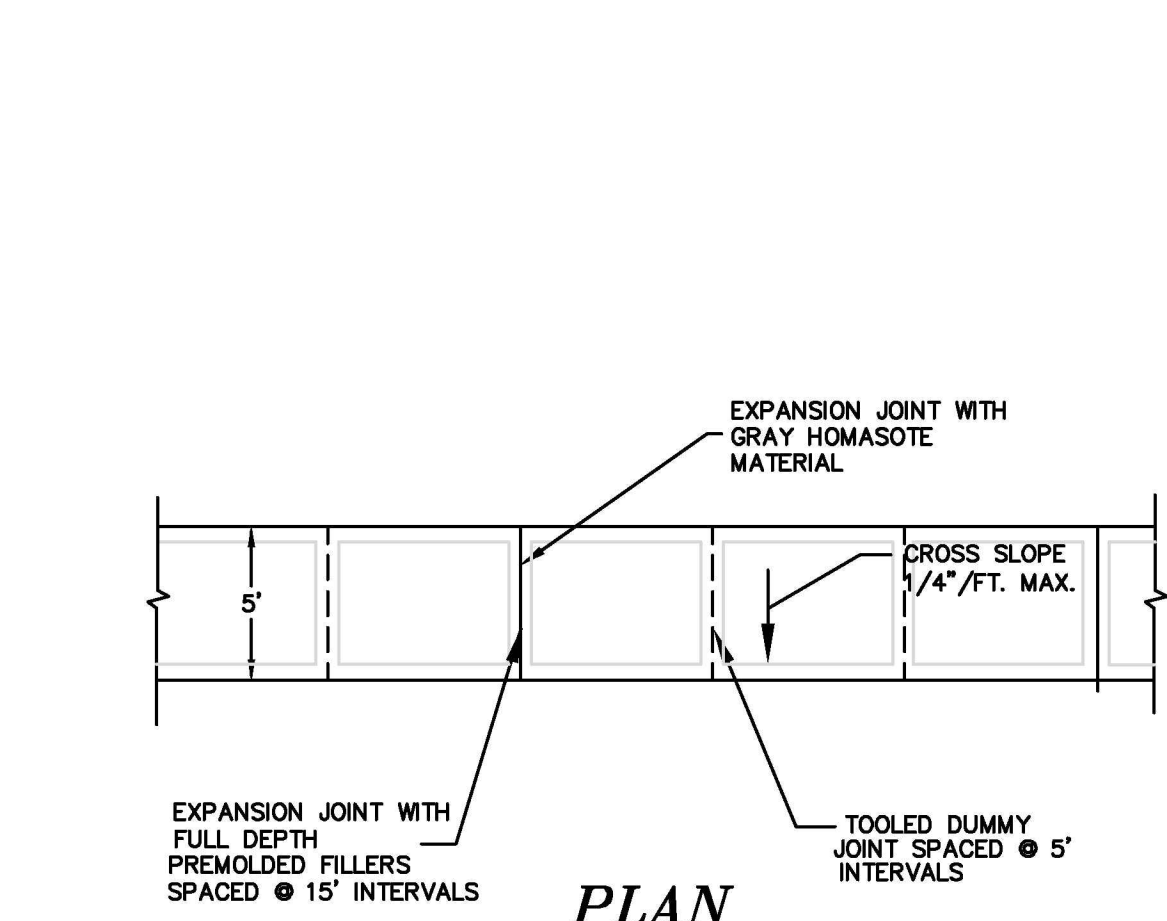
TYPICAL METAL SIGN POSTS

SCALE: NTS



STOP SIGNAGE AND MARKING

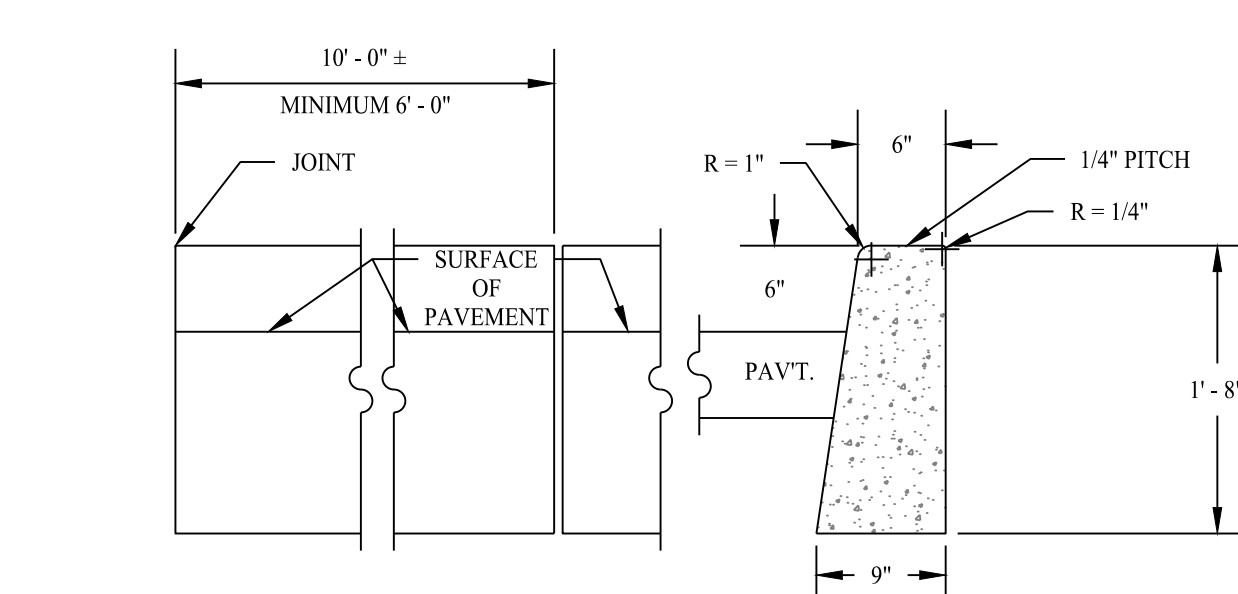
SCALE: NTS



CONCRETE SIDEWALK DETAIL

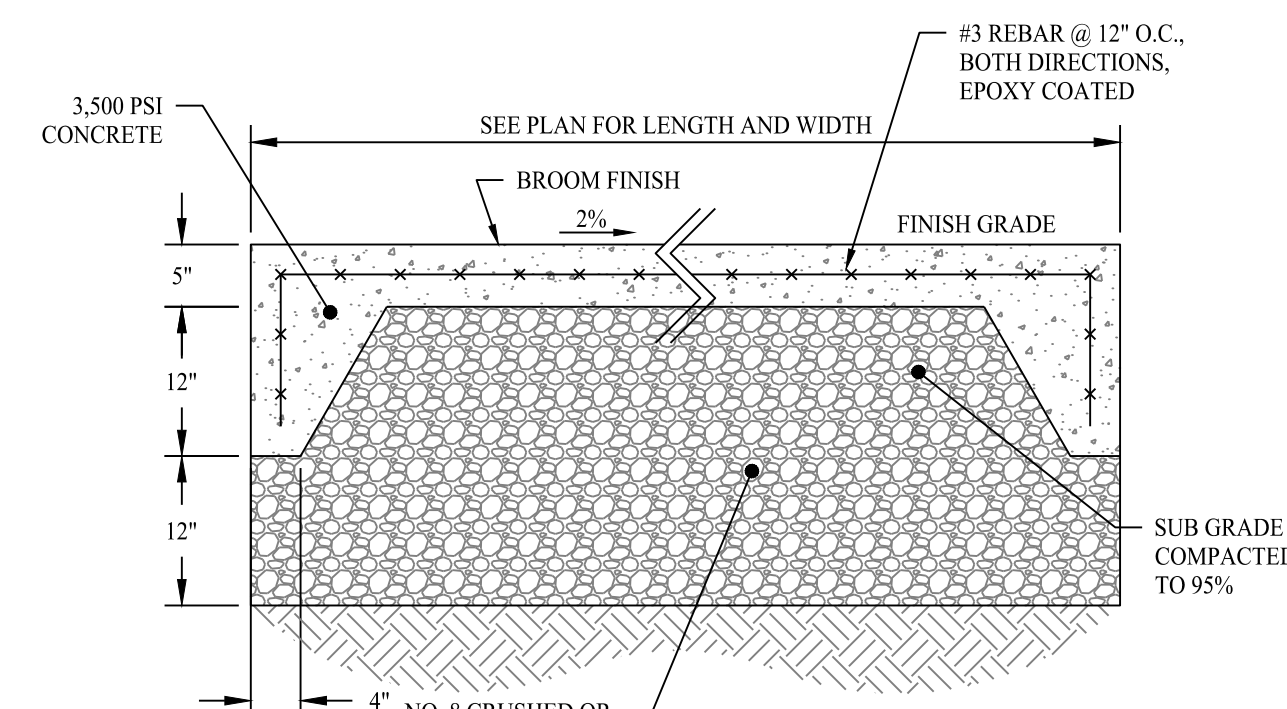
SCALE: NTS

DETAIL PROVIDED BY TOWN OF EAST LYME



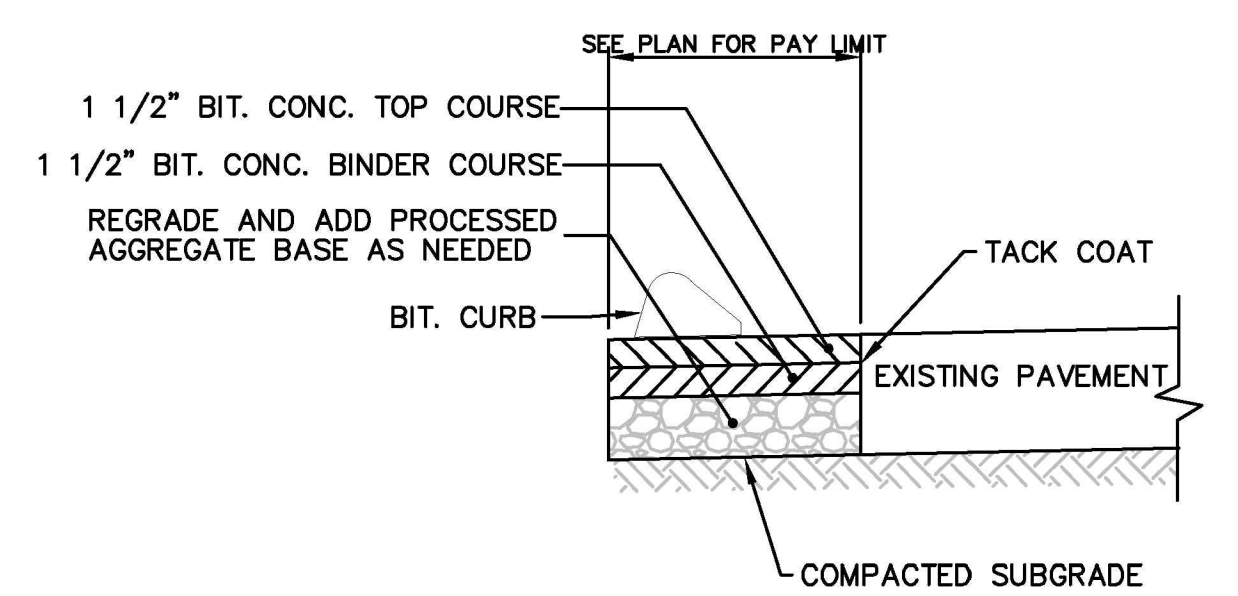
CONCRETE CURBING DETAIL

SCALE: NTS



CONCRETE PAD DETAIL

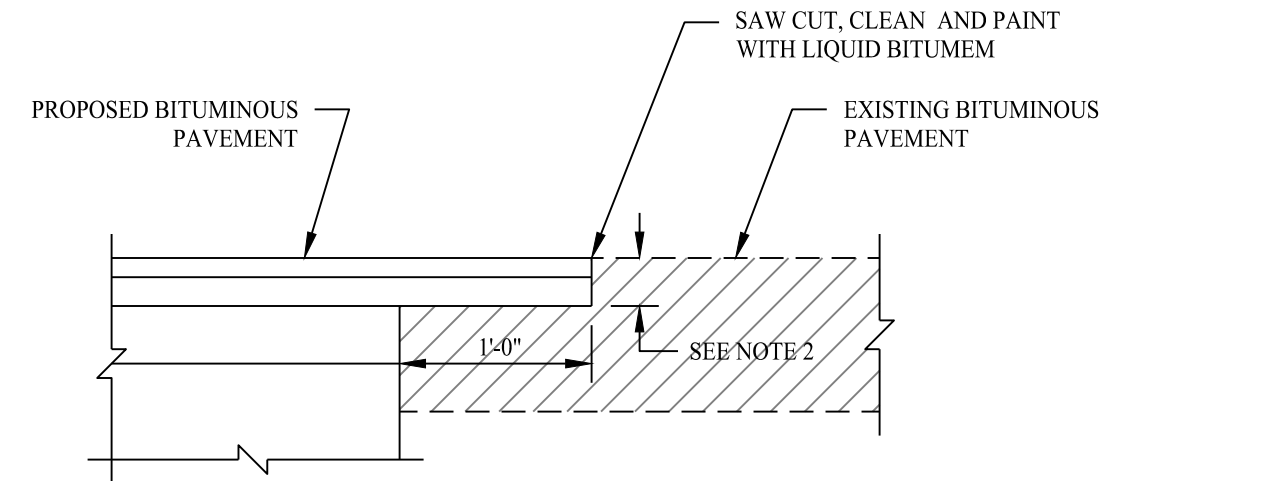
SCALE: NTS



PAVEMENT REPAIR OVER TRENCH DETAIL

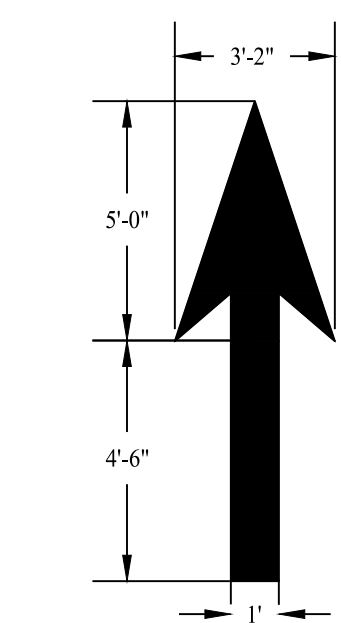
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DETAIL PROVIDED BY TOWN OF EAST LYME



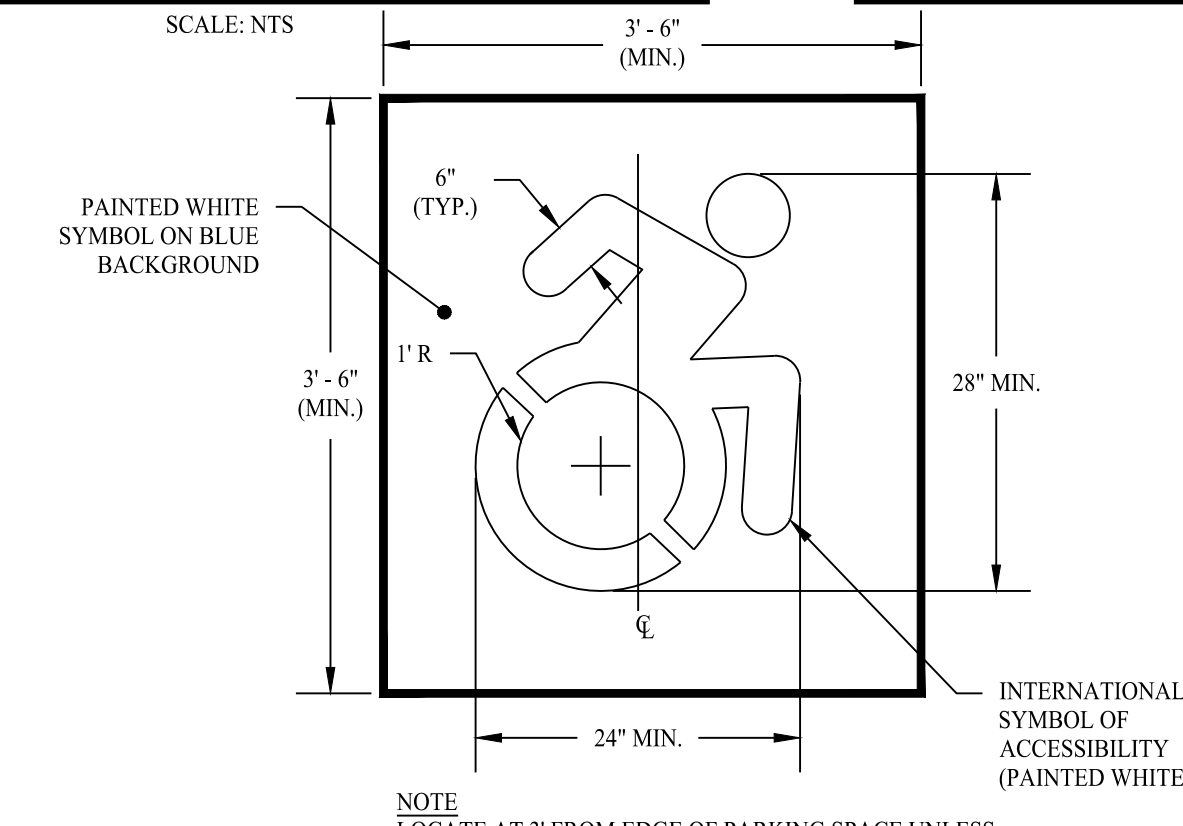
PAVEMENT MATCH TREATMENT (SAWCUT) DETAIL

SCALE: NTS



PAVEMENT MARKING DETAIL

SCALE: NTS



ACCESSIBLE PARKING SYMBOL

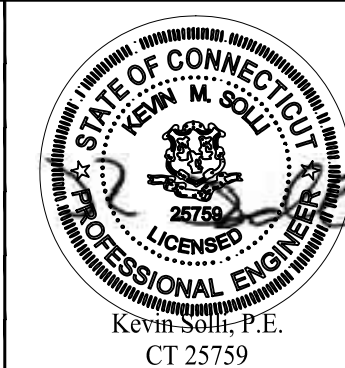
SCALE: NTS

Rev. #:	Date	Description

SOLLI ENGINEERING

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11 Vanderbilt Ave., Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By: JEP
Checked By: CJB
Approved By: KMS
Project #: 22105001
Plan Date: 11/29/22
Scale: NTS

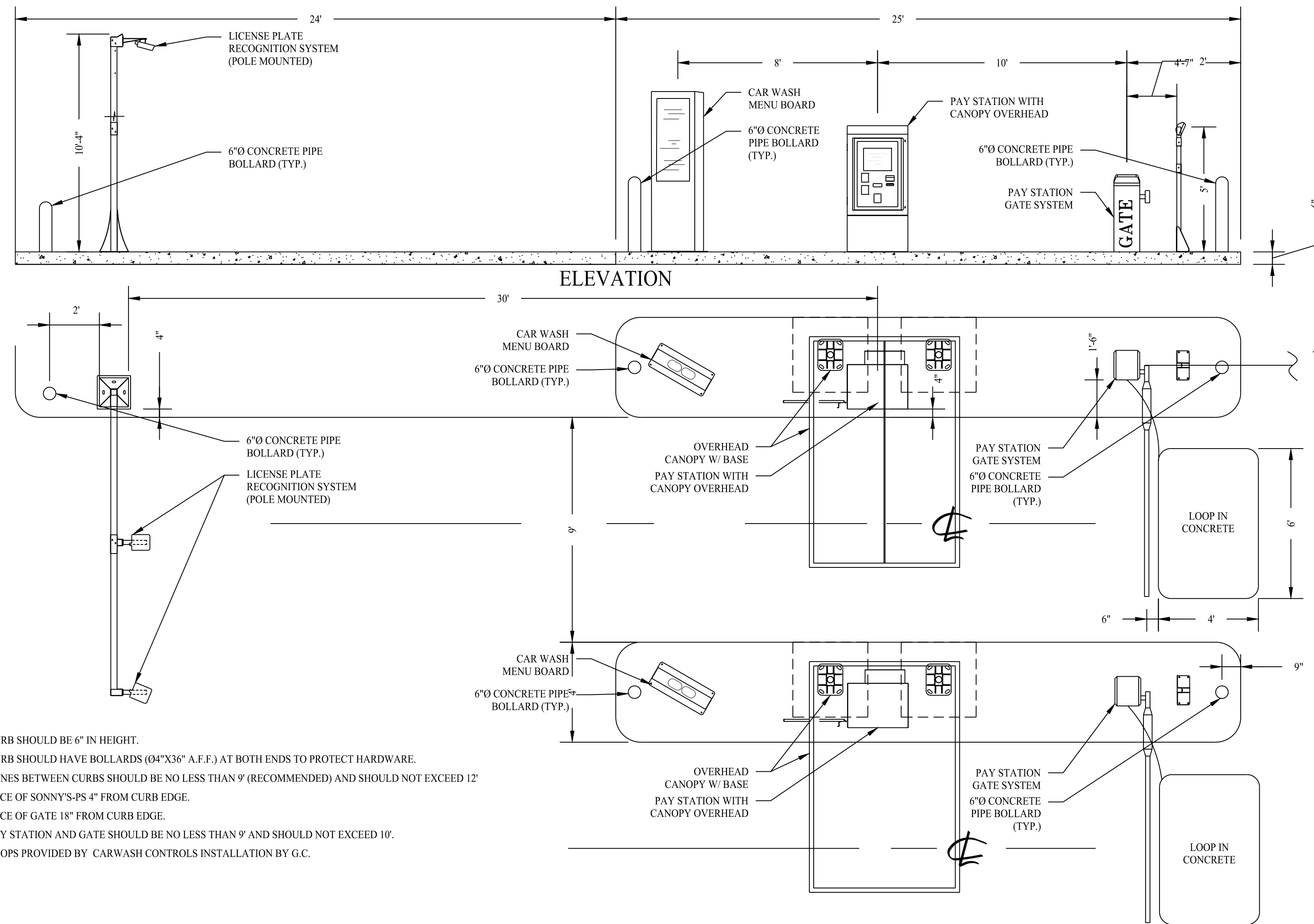


PROPOSED SOAPY NOBLE EXPRESS CAR WASH

230 FLANDERS ROAD
EAST LYME, CONNECTICUT

Sheet Title: CONSTRUCTION DETAILS Sheet #: 3.01

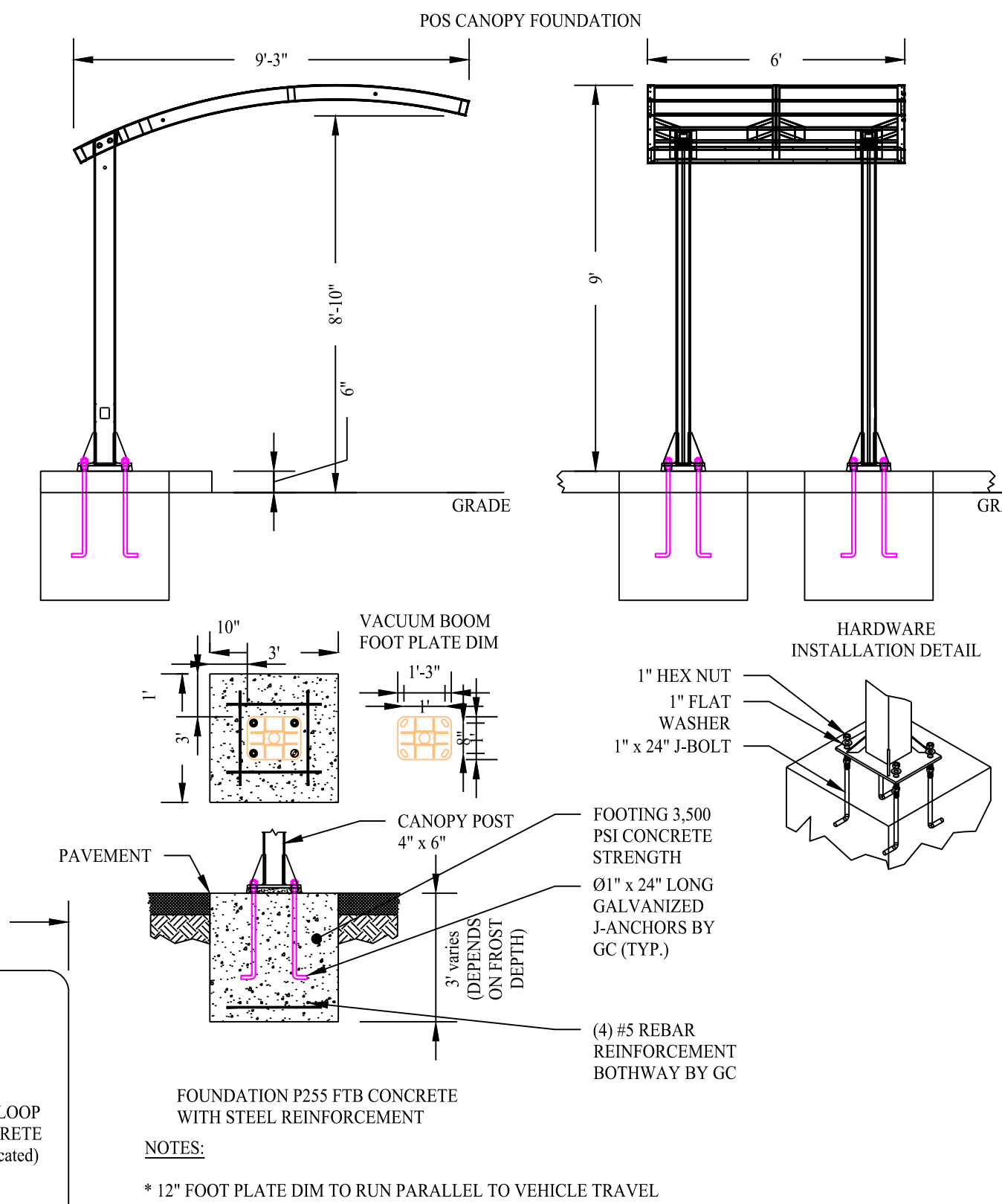
Nov 28, 2022 - 2:42pm Anthony B:\SE Files\Project Data\2022\22105001 - 230 Flanders Road - Norwic, CT\Cadd Data\22105001-3.01.dwg



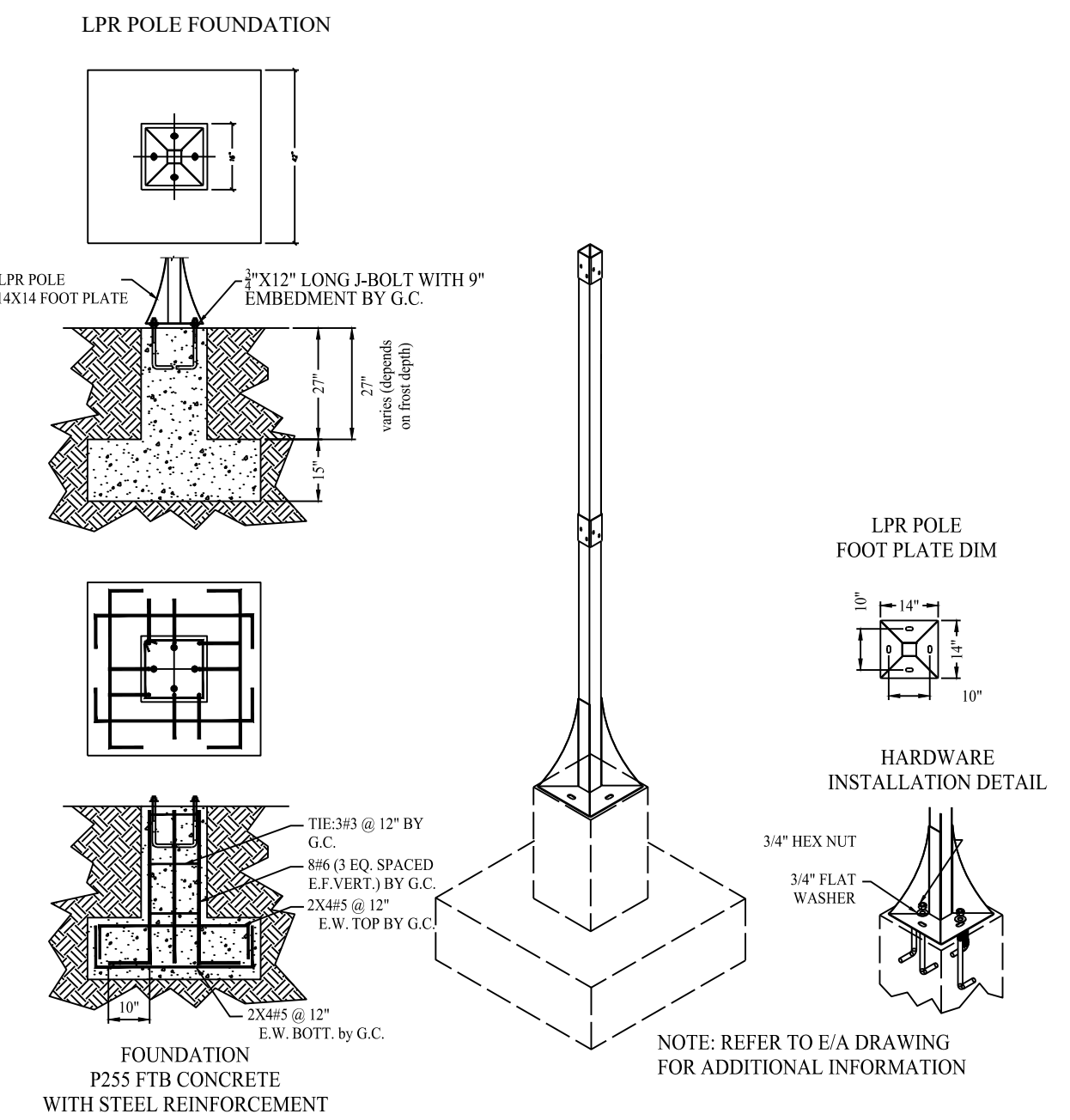
- NOTES**
1. CURB SHOULD BE 6" IN HEIGHT.
 2. CURB SHOULD HAVE BOLLARDS (04"x36" A.F.F.) AT BOTH ENDS TO PROTECT HARDWARE.
 3. LANES BETWEEN CURBS SHOULD BE NO LESS THAN 9' (RECOMMENDED) AND SHOULD NOT EXCEED 12'
 4. FACE OF SONNY'S-PS 4" FROM CURB EDGE.
 5. FACE OF GATE 18" FROM CURB EDGE.
 6. PAY STATION AND GATE SHOULD BE NO LESS THAN 9' AND SHOULD NOT EXCEED 10'.
 7. LOOPS PROVIDED BY CARWASH CONTROLS INSTALLATION BY G.C.

TYPICAL PAY STATION LAYOUT DETAIL

SCALE: NTS



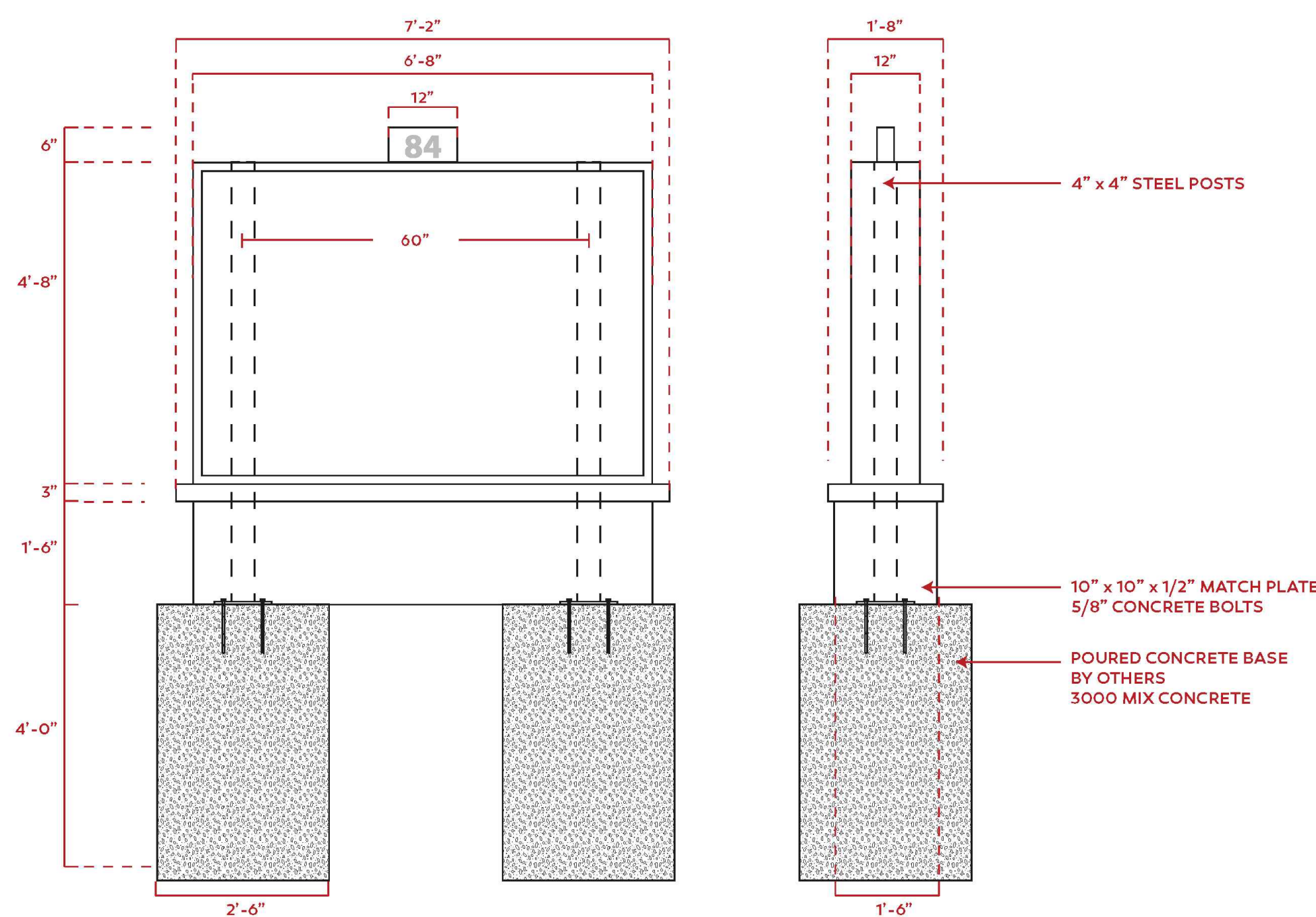
- NOTES**
- * 12" FOOT PLATE DIM TO RUN PARALLEL TO VEHICLE TRAVEL



LICENSE PLATE RECOGNITION POLE DETAIL

SCALE: NTS

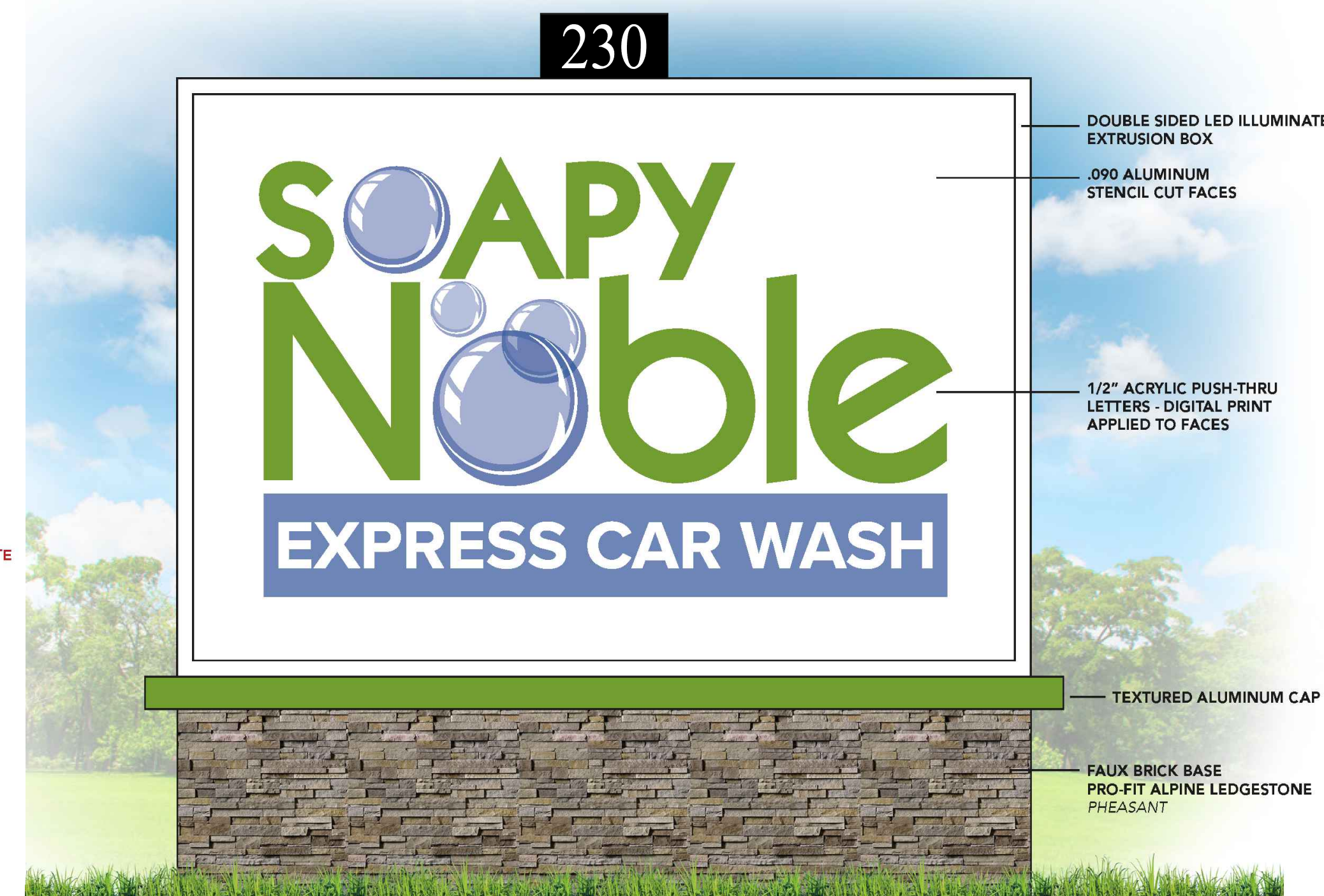
DETAIL PROVIDED BY SOAPY NOBLE CAR WASH



TYPICAL SOAPY NOBLE MONUMENT SIGN DETAIL

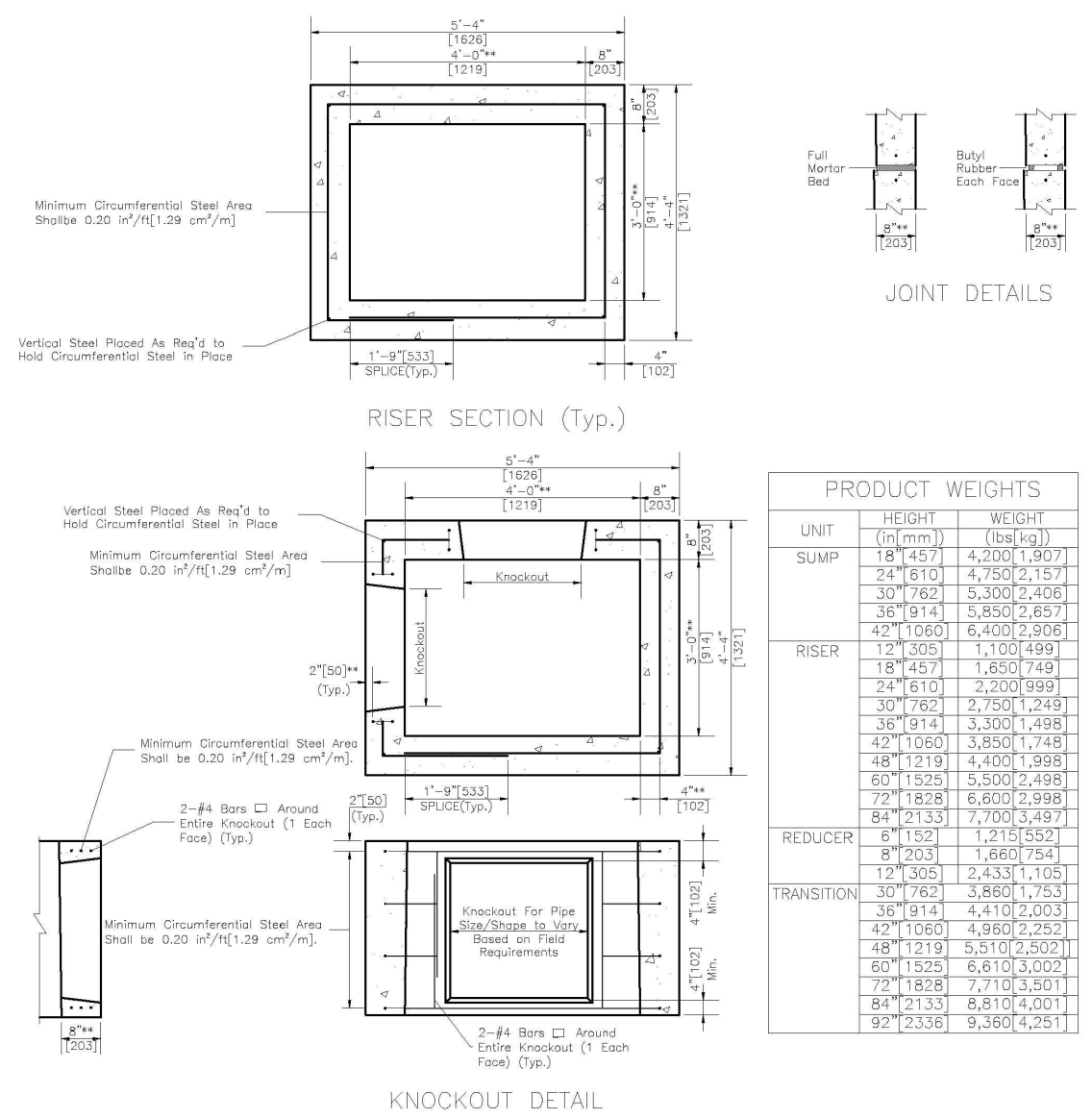
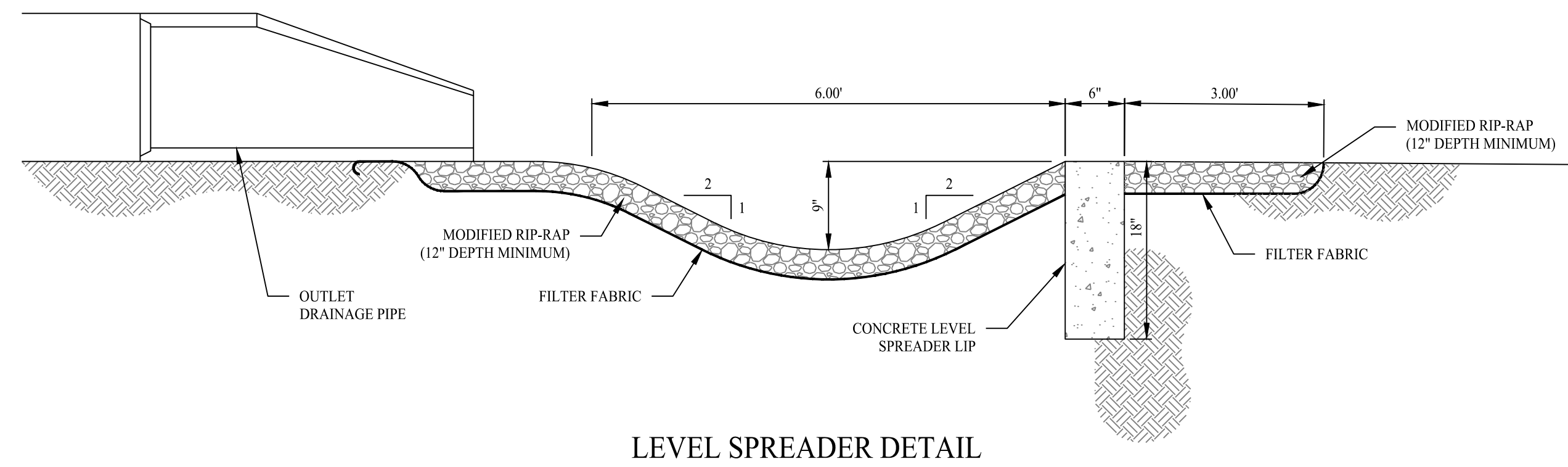
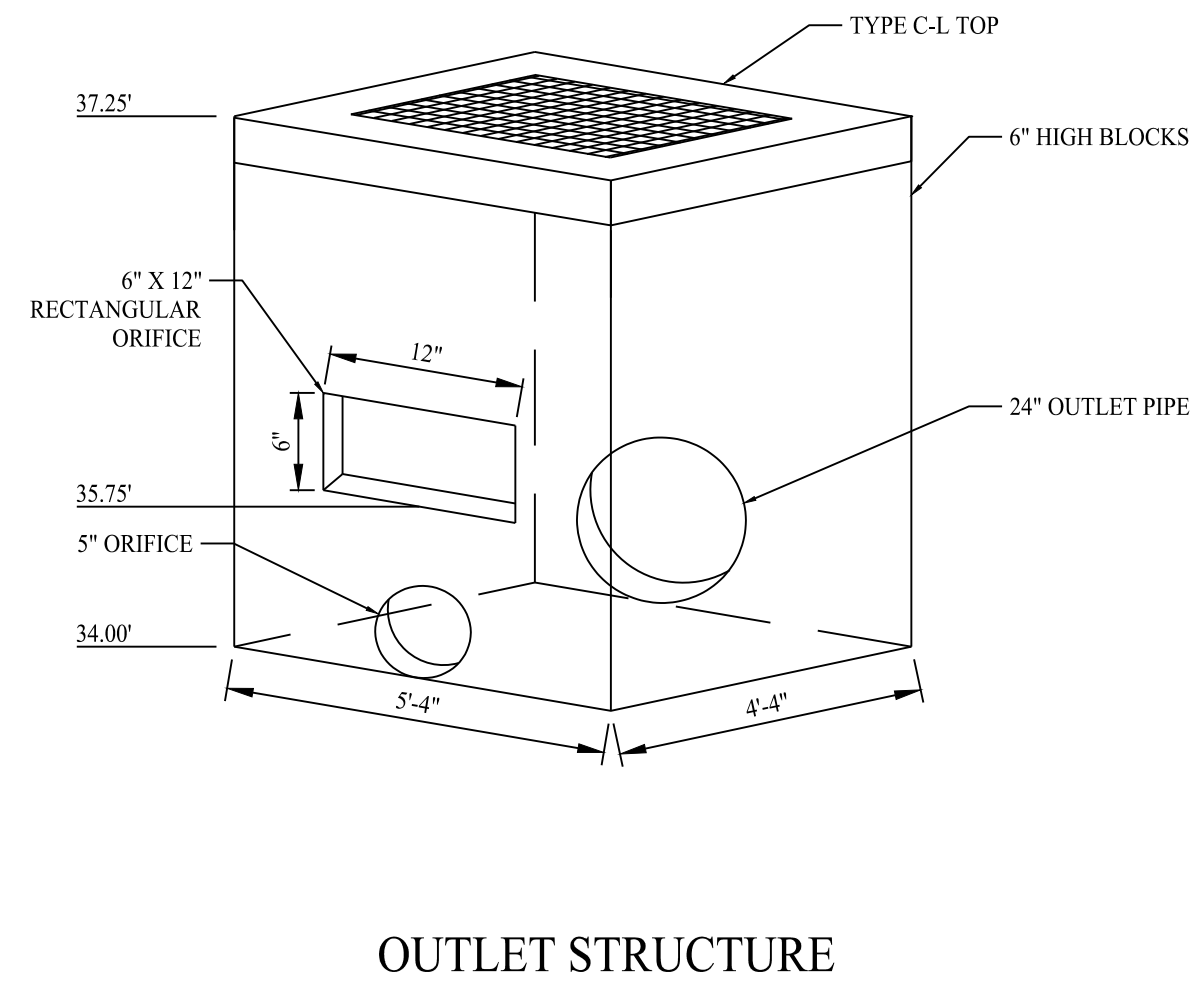
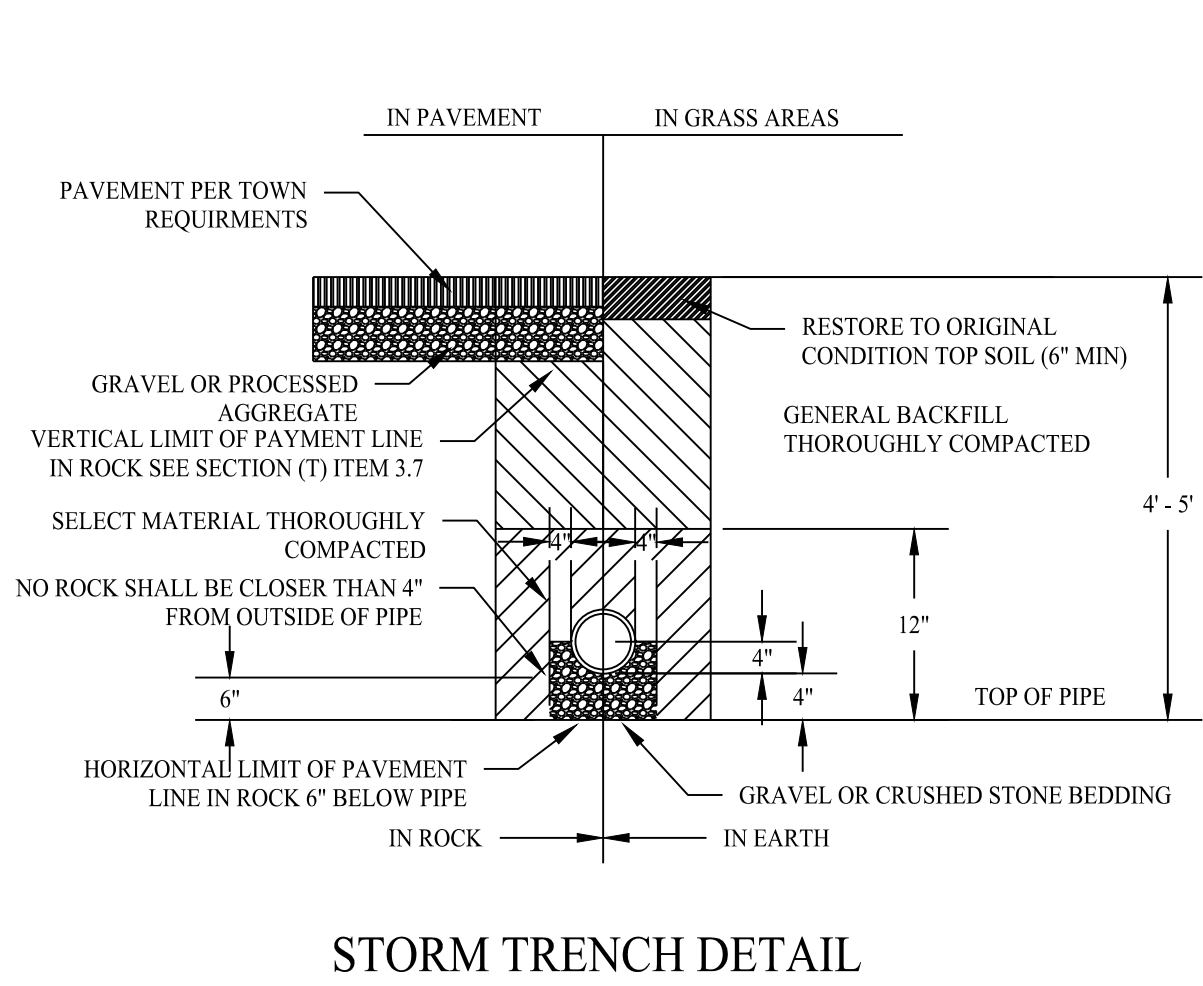
SCALE: NTS

DETAIL PROVIDED BY SOAPY NOBLE CAR WASH



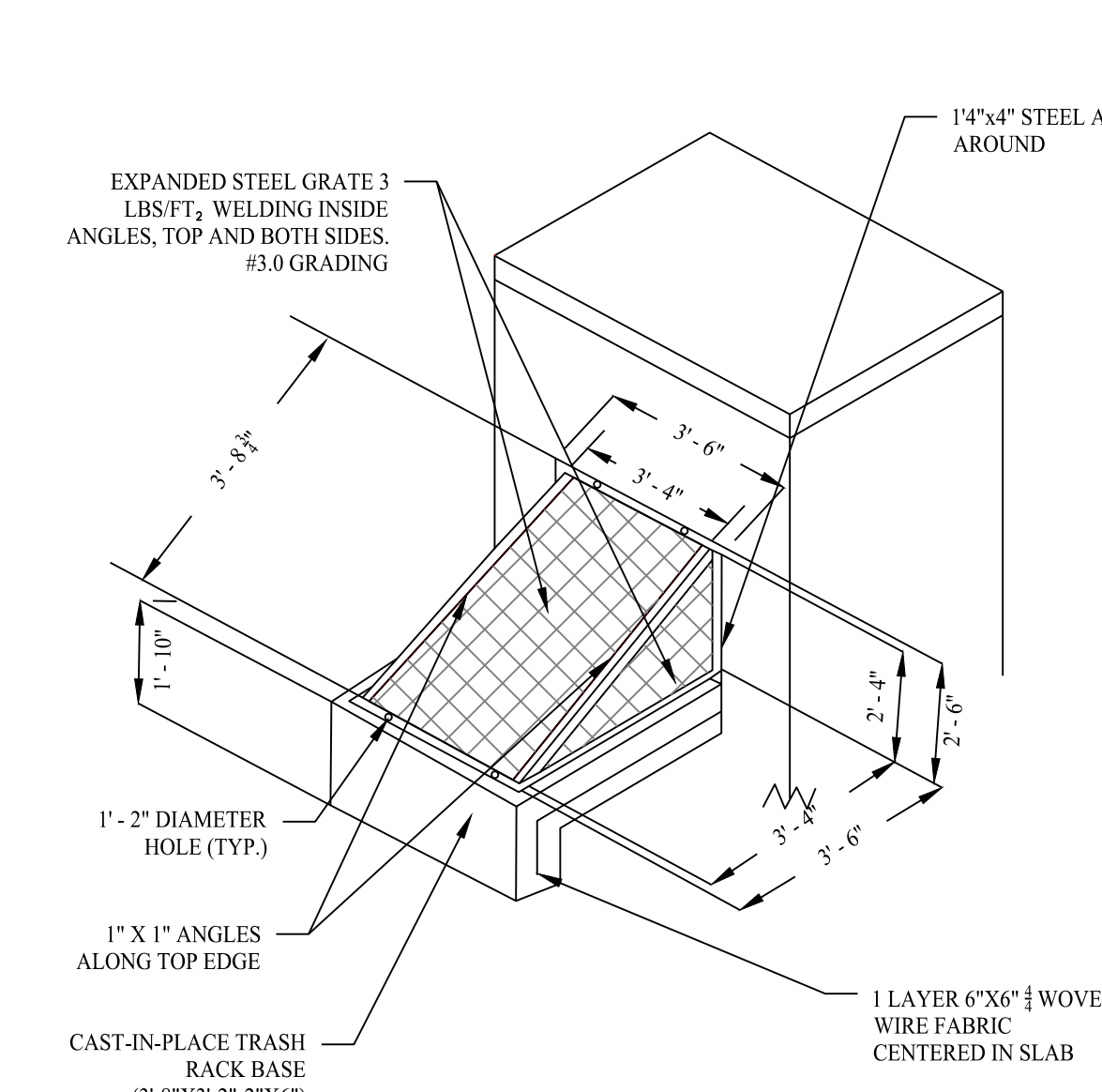
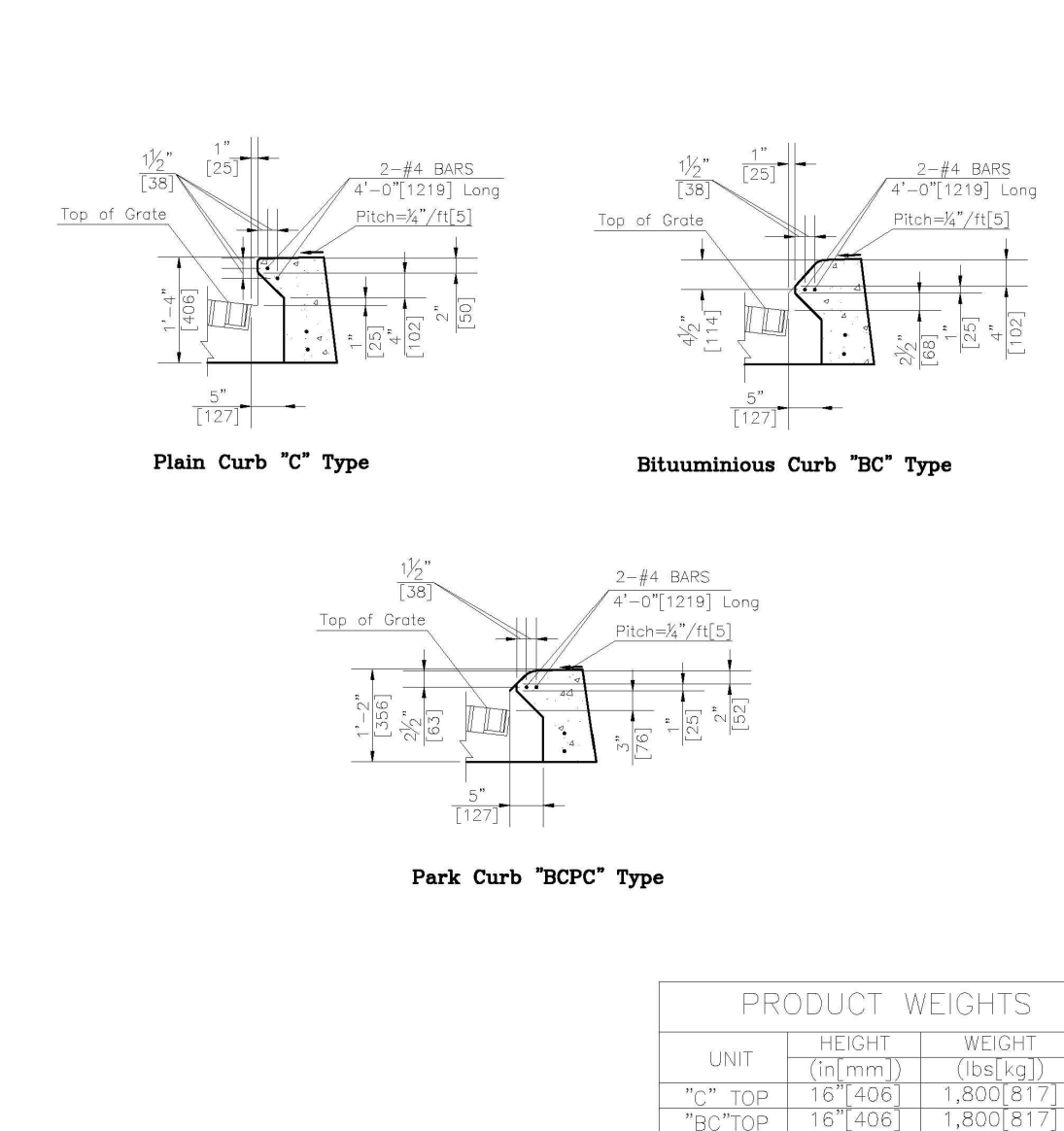
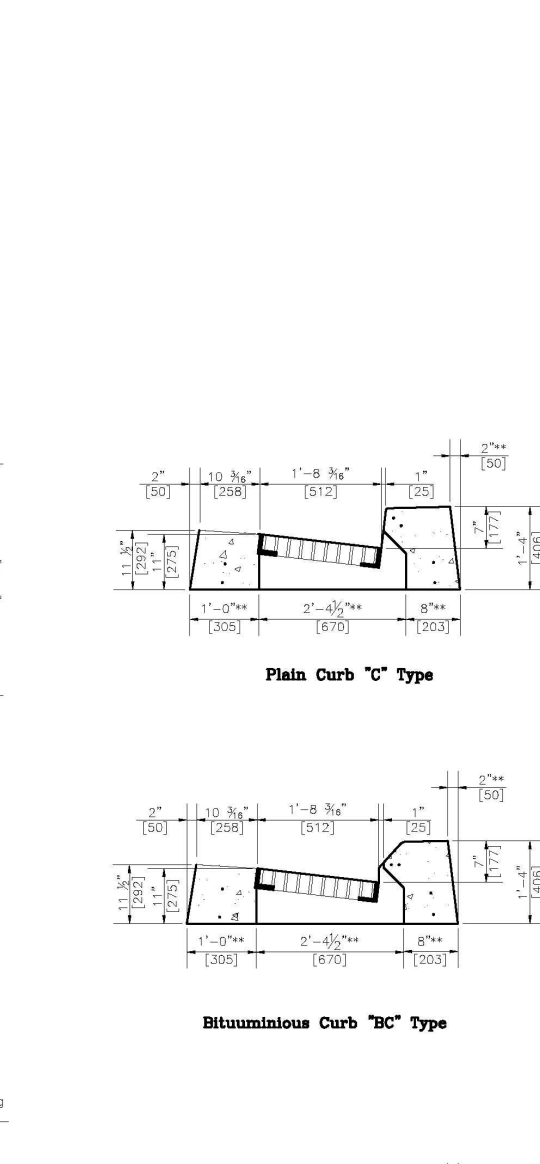
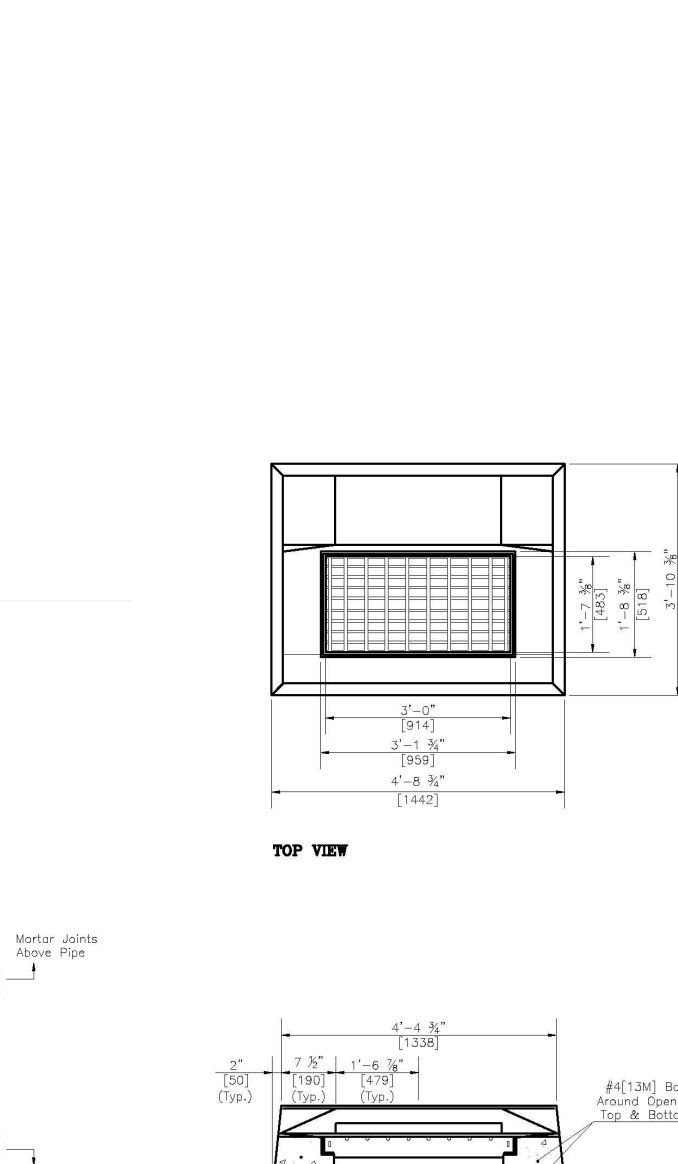
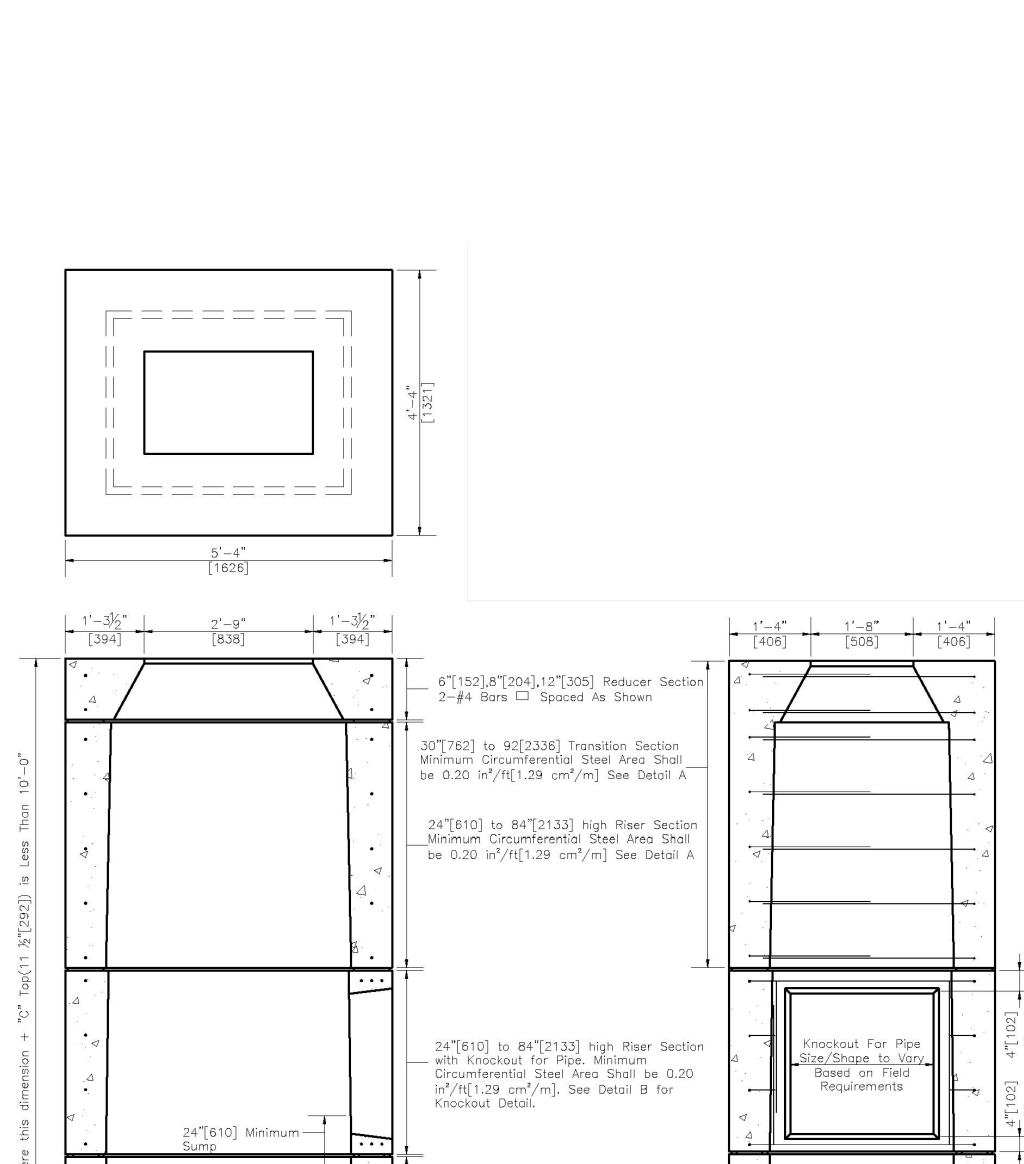
Rev. #:			Date			Description		
501 Main Street, Monroeville, CT 06468 T: (203) 880-5455 F: (203) 880-9695 11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695								
Drawn By:	JEP		Checked By:	CJB		Approved By:	KMS	
Project #:	22105001		Plan Date:	11/29/22		Scale:	NTS	
PROPOSED SOAPY NOBLE EXPRESS CAR WASH 230 FLANDERS ROAD EAST LYME, CONNECTICUT								
Sheet Title:	CONSTRUCTION DETAILS				Sheet #:	3.02		

Nov 28, 2022 - 2:42pm Anthony
 B:\SE Files\Project Data\2022\22105001 - 230 Flanders Road - Nobile, CT\Code Data\22105001-3.02.dwg



PRODUCT WEIGHTS

UNIT	HEIGHT (in)	WEIGHT (lbs)
SUMP	18" (457)	4,200 (1,907)
	24" (610)	4,200 (1,907)
	30" (762)	5,200 (2,363)
	36" (914)	5,800 (2,632)
RISER	18" (457)	1,100 (499)
	24" (610)	1,200 (544)
	30" (762)	1,300 (590)
	36" (914)	1,400 (635)
REDUCER	18" (457)	1,100 (499)
	24" (610)	1,200 (544)
	30" (762)	1,300 (590)
	36" (914)	1,400 (635)
TRANSITION	18" (457)	1,100 (499)
	24" (610)	1,200 (544)
	30" (762)	1,300 (590)
	36" (914)	1,400 (635)



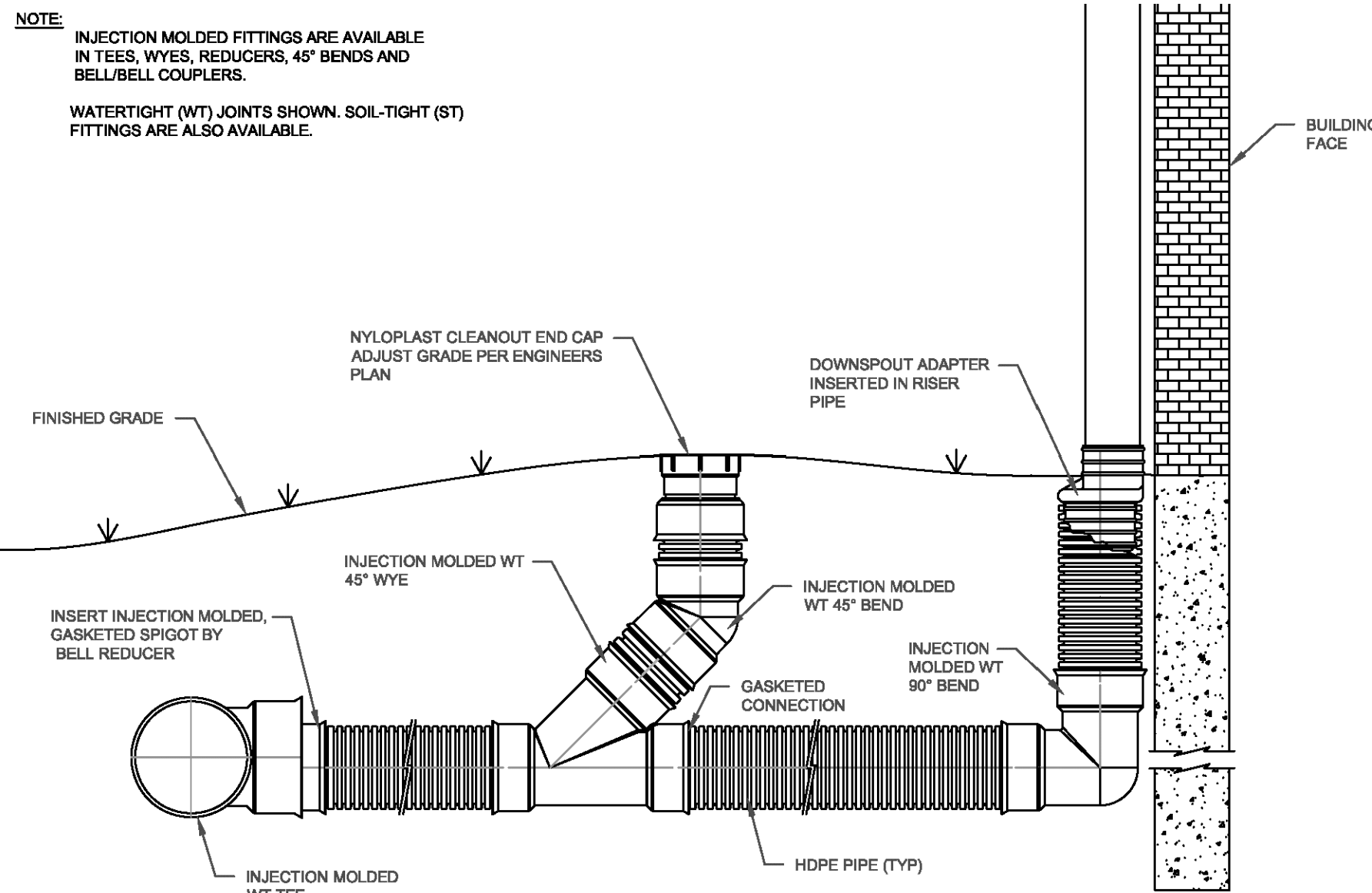
36"x48" STANDARD PRECAST CT DOT TYPE "C" CATCH BASIN

CTDOT STANDARD PRECAST CONCRETE CATCH BASIN TYPE "C" TOP

SCALE: NTS
DETAIL PROVIDED BY CONNECTICUT PRECAST CORPORATION

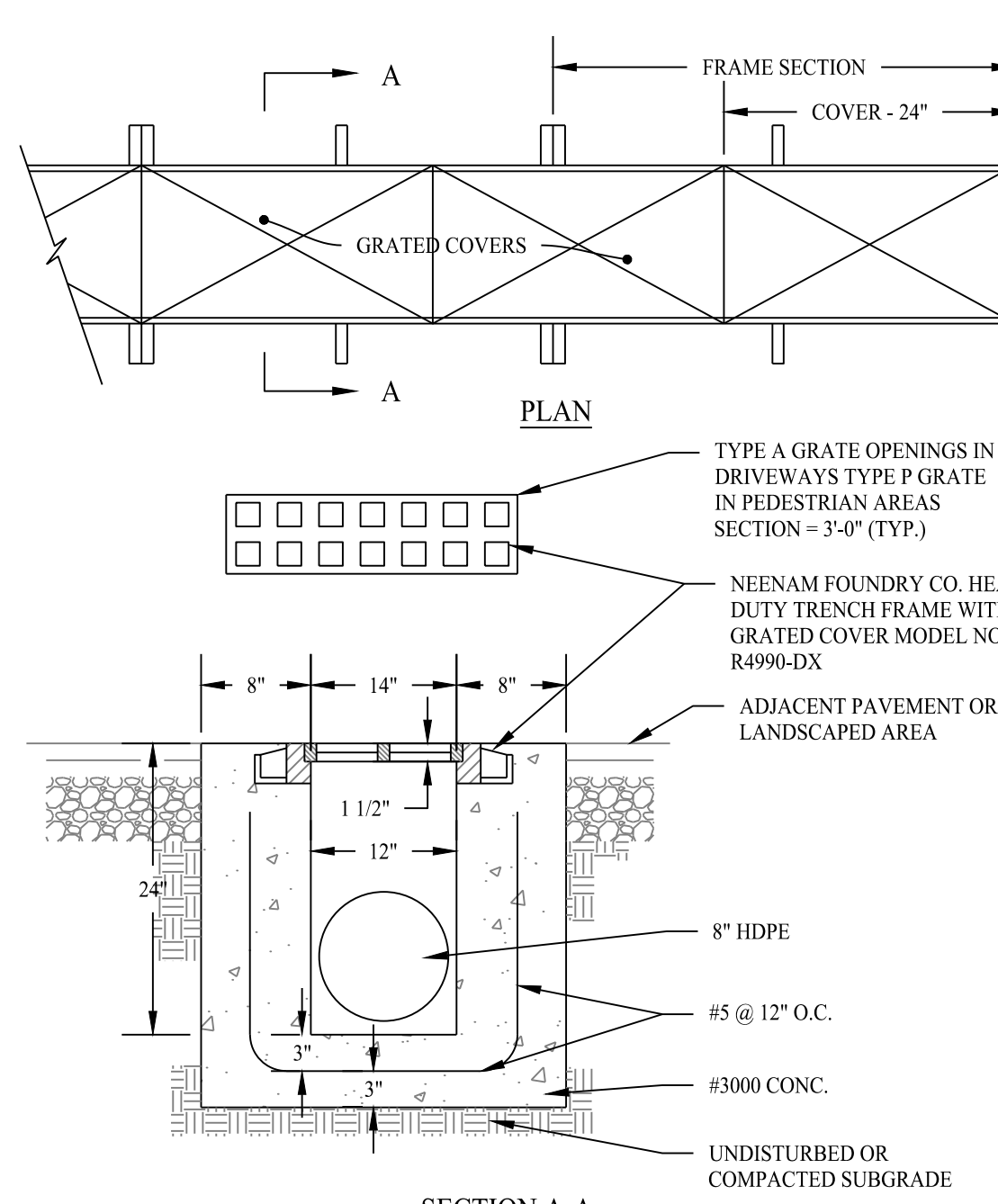
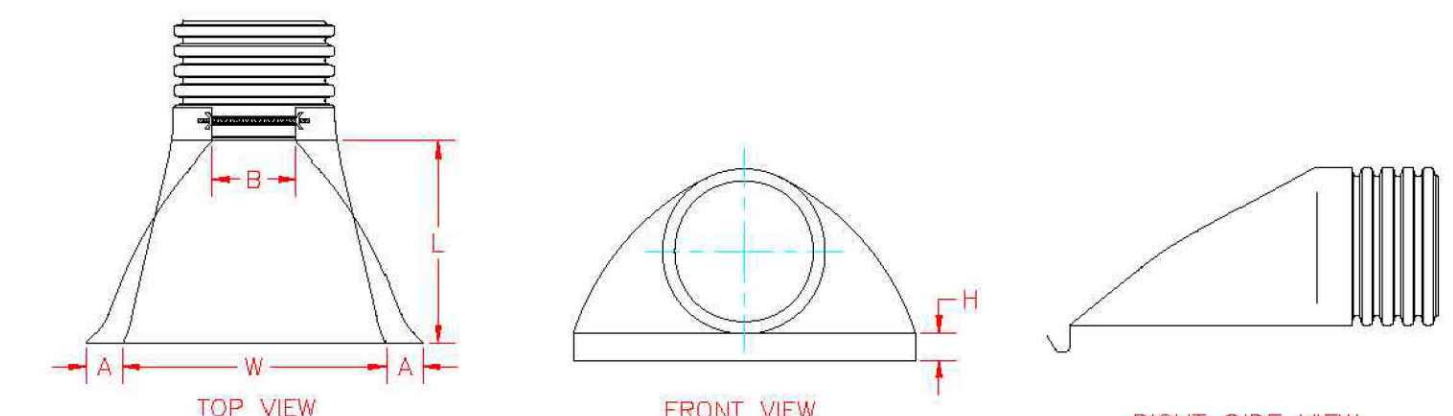
SCALE: NTS
DETAIL PROVIDED BY CONNECTICUT PRECAST CORPORATION

NOTE: INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS. WATER TIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.



PIPE DIAMETER, in (mm)

	12 (300)	15 (375)	18 (450)	24 (600)	30 (750)	36 (900)
A	6.5 (165)	6.5 (165)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)
B (max)	10.0 (254)	10.0 (254)	15.0 (381)	18.0 (475)	22.0 (559)	25.0 (635)
H	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	8.6 (218)	8.6 (218)
L	25.0 (635)	25.0 (635)	32.0 (813)	36.0 (914)	58.0 (1473)	58.0 (1473)
W	29.0 (737)	29.0 (737)	35.0 (889)	45.0 (1143)	63.0 (1600)	63.0 (1600)

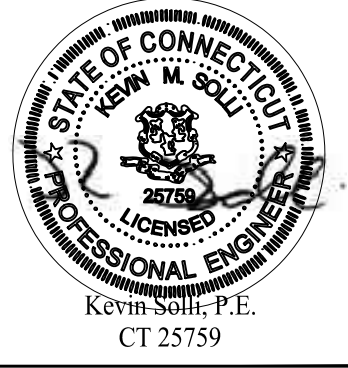


Rev. #: _____ Date _____ Description _____

SOLLI ENGINEERING
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F: (203) 880-9695

Drawn By: JEP
Checked By: CJB
Approved By: KMS
Project #: 22105001
Plan Date: 11/29/22
Scale: NTS




Project: **PROPOSED SOAPY NOBLE EXPRESS CAR WASH**
230 FLANDERS ROAD
EAST LYME, CONNECTICUT

Sheet Title: **CONSTRUCTION DETAILS**
Sheet #: **3.03**

PROJECT NO : 1508

SEAL : 
 DATE :

CONSULTANT :

CLIENT :


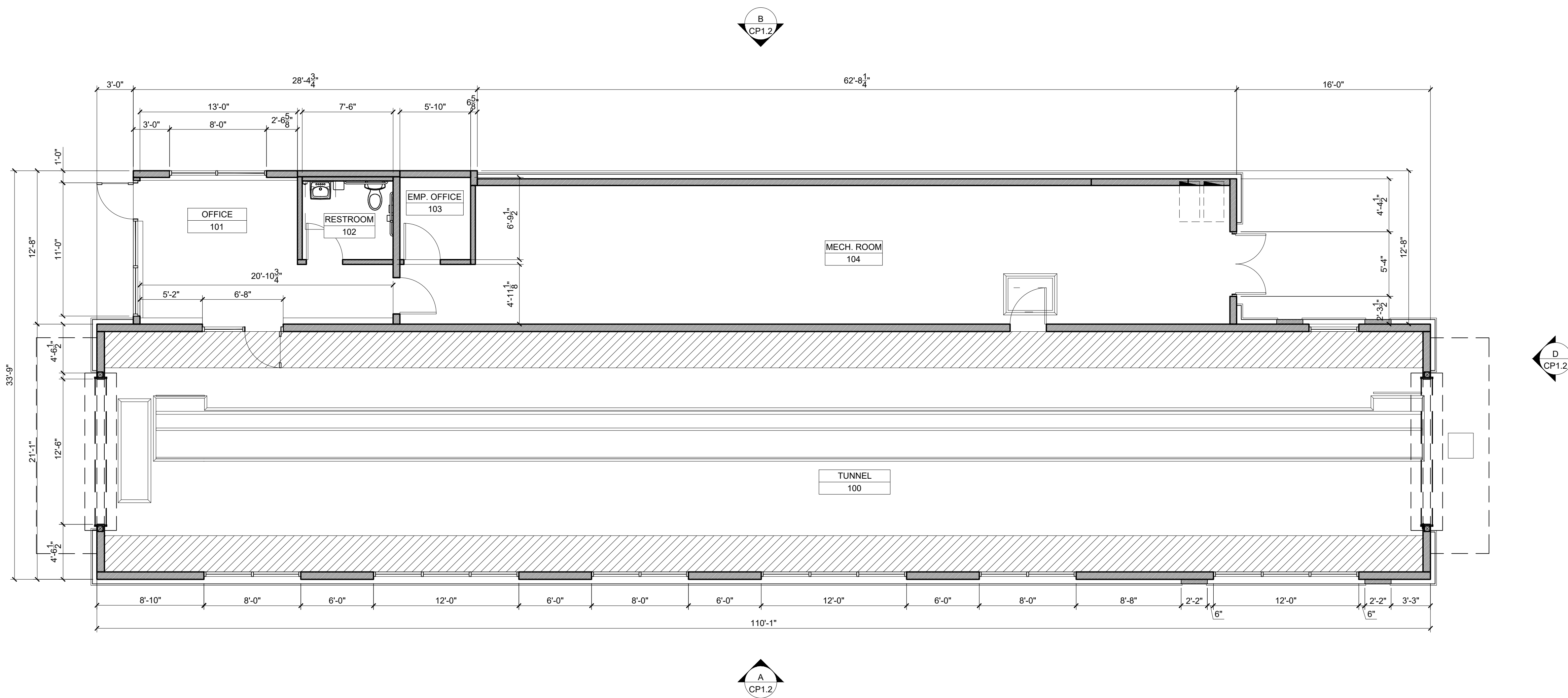
KEY PLAN :

PROJECT LOCATION :
THE SOAPY NOBLE
 230 FLANDERS ROAD
 E. LYME, CT 06357
 (NIANTIC)

ORIGINAL ISSUE	DATE
SITE PLAN REVIEW	10.24.22
REVISIONS & SUBMISSIONS	DATE
1	
2	
3	
4	
5	
6	
7	
8	

DRAWING NAME :
CONCEPT PLAN - CAR WASH

DRAWING NO :
CP1.1



CONCEPTUAL FLOOR PLAN 3/16" = 1'-0" **A**

BUILDING CODE REFERENCED - 2018 CONNECTICUT STATE BUILDING CODE, COMPRISED OF THE FOLLOWING MODEL BUILDING CODES WITH STATE SUPPLEMENT AND AMENDMENTS:

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- ICC/ANSI A117.1-2009 ACCESSIBLE & USABLE BUILDINGS & FACILITIES
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70)

309.1 USE GROUP CLASSIFICATION
 PROPOSED: B - BUSINESS

504.3 (TABLE) ALLOWABLE HEIGHT
 ALLOWED / PROPOSED: 40' > 24'

504.4 (TABLE) ALLOWABLE STORIES ABOVE GRADE
 ALLOWED / PROPOSED: 2 STORY / 1 STORY

506.2 (TABLE) ALLOWABLE BUILDING AREA
 ALLOWED: B: 9,000
 PROPOSED: 3197

602.1 CONSTRUCTION CLASSIFICATION
 PROPOSED: VB (COMBUSTIBLE/UNPROTECTED)

903.2 FIRE PROTECTION SYSTEMS (SPRINKLER SYSTEM)
 REQUIRED: NO - B USE / BUILDING SIZE

907.2.7 MANUAL FIRE ALARM SYSTEMS - GROUP B
 REQUIRED: NO - < 500 PERSONS, 1 STORY AT GRADE

1004.1.2 DESIGN OCCUPANT LOAD (TABLE)

USE	AREA IN S.F.	S.F. PER PERSON	OCCUPANT LOAD
B TUNNEL	2183	100 GROSS	22
B OFFICE / SUPPORT	329	100 GROSS	3
MECHANICAL ROOM	685	300 GROSS	2
TOTAL	3197	TOTAL	27

2902.1 (TABLE) MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

FIXTURE	REQUIRED		PROVIDED	
	MEN	WOMEN	MEN	WOMEN
TOILET	1 : 25			1
LAVATORY	1 : 40			1
UTILITY SINK	NO		N/A - < 15 OCCUPANTS	
WATER FOUNTAIN	NO		N/A - < 15 OCC (EMPLOYEES)	

2902.2 SEPARATE FACILITIES
 REQUIRED: NO - < 15 OCCUPANTS
 PROPOSED: NO - SHARED ACCESSIBLE RESTROOM

CODE ANALYSIS



LOOKING NORTHEAST



LOOKING SOUTHWEST

CONCEPTUAL PERSPECTIVE RENDERINGS

PROJECT NO: 1508



CONSULTANT:

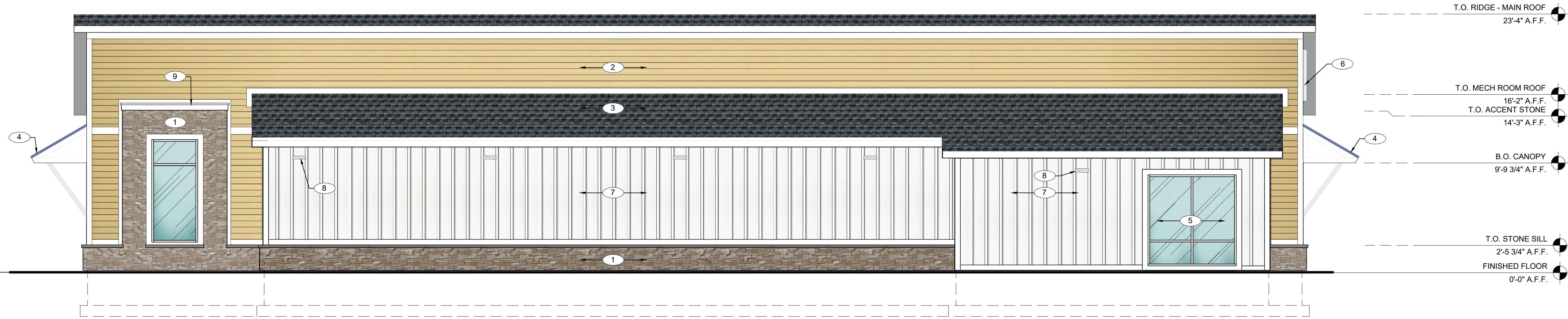


KEY PLAN:

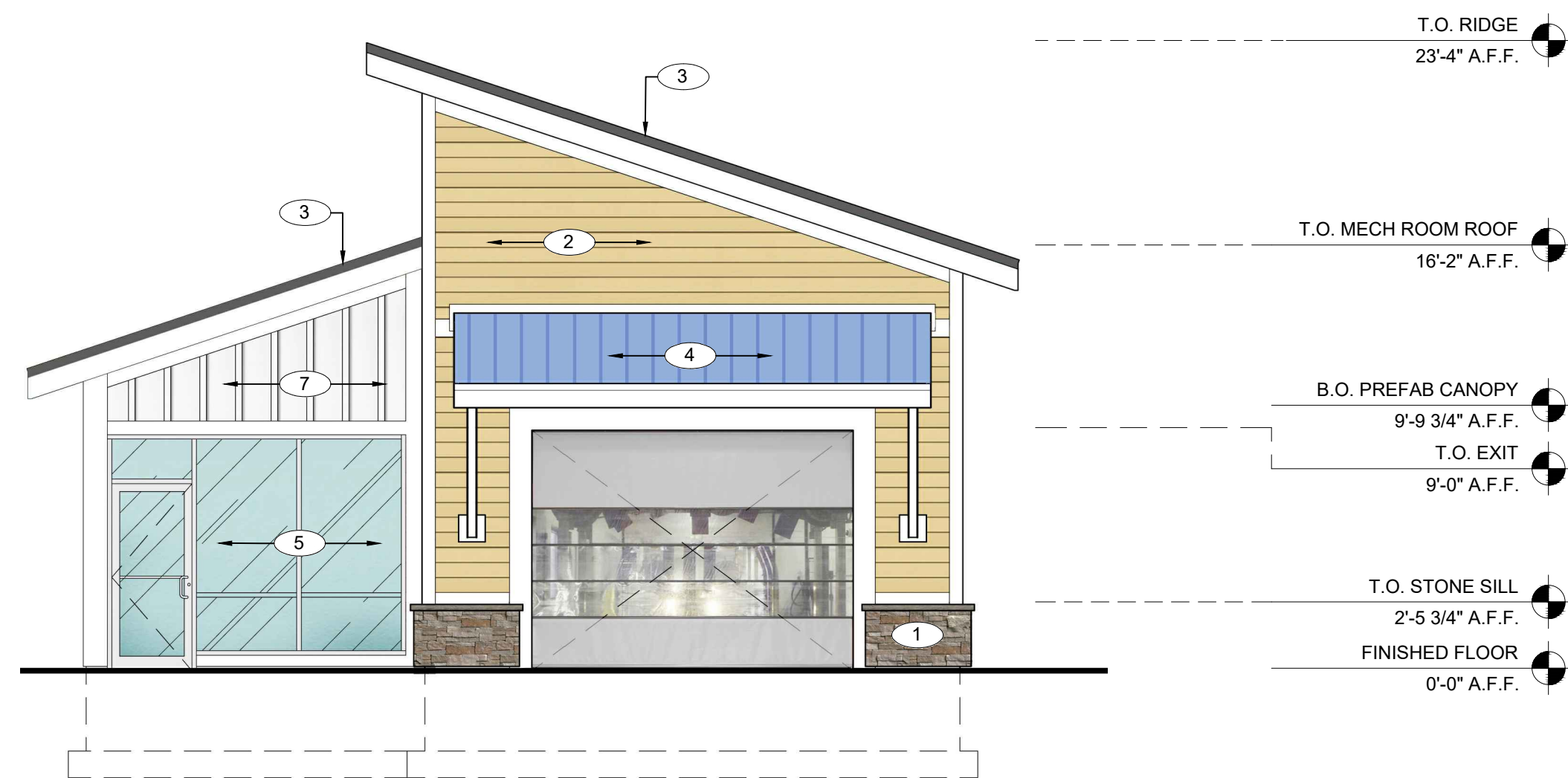
PROJECT LOCATION:
 THE SOAPY NOBLE
 230 FLANDERS ROAD
 E. LYME, CT 06357
 (NIANTIC)



SOUTH ELEVATION NTS **A**



NORTH ELEVATION NTS **B**



WEST ELEVATION NTS **C**



EAST ELEVATION NTS **D**

KEY NOTE NUMBERS ON ABOVE EXTERIOR ELEVATIONS DENOTED WITH THIS SYMBOL (#) CORRESPOND TO THE FOLLOWING ITEMS:

1. PRO-FIT CULTURED STONE VENEER AND CAST-FIT SILL. STONE VENEER COLOR 'PHEASANT' AND SILL COLOR 'INFACLO'.
2. PRE-FINISHED JAMES HARDIE CLAPBOARD SIDING. COLOR - EMBELLISHED CREAM.
3. 30 YR ASPHALT SHINGLES - TIMBERLINE HD BY GAF. COLOR - 'CHARCOAL'.
4. PREFABRICATED STEEL CANOPY WITH STANDING SEAM METAL ROOFING: MFGR: DREXMET, MODEL: DMC 175S (OR APPROVED EQUAL), 24 GAUGE GALVALUME IN 16" WIDTH WITH SNOW GUARD SYSTEM - NO OFFSETS. FINISH: KYNAR. COLOR SHALL MATCH THE BLUE IN NOBLE LOGO (BLUE PMS #27889C)
5. STOREFRONT WINDOWS AND DOORS. COLOR 'DARK BRONZE'.
6. INTERNALLY ILLUMINATED WALL SIGN. SIZED PER APPLICABLE LOCAL ZONING REGULATIONS AND UNDER SEPARATE PERMIT BY OTHERS.
7. PRE-FINISHED JAMES HARDIE BOARD AND BATTEN SIDING - COLOR WHITE.
8. EXTERIOR WALL SCONCE: MFGR: WAC LIGHTING, MODEL: WS-W2509-AL 16W/80SLUM/WT.
9. PVC TOP CAP WITH FLASHING ABOVE STONE VENEER.
10. 1 X PVC TRIM SCREWED AND PLUGGED.
11. JAMES HARDIE SMOOTH 3/4"x4"x8" PANEL (WHITE) FOR CT CAB/METER MOUNT.

SOAPY NOBLE - 42 SF
 MAX SIGNAGE SF PER APPLICABLE ZONING REGS - 42 SF (2 SF PER LINEAR FRONT)

ORIGINAL ISSUE	DATE
SITE PLAN REVIEW	10.24.22
REVISIONS & SUBMISSIONS	DATE
1	
2	
3	
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5	
6	
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8	

DRAWING NAME:
CONCEPT ELEVATIONS - CAR WASH COLORED

DRAWING NO:
CP1.2

ELEVATION KEY NOTES