

# Town of East Lyme

## APPLICATION FOR SPECIAL PERMIT

Date of Application: 6/14/2022 Zone: CA

Applicant's Name: Christopher M. Manwaring

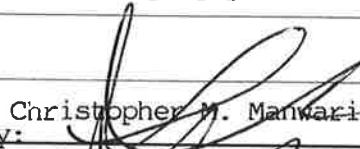
Applicant's Address: 23 Black Point Road Telephone: (860) 460-3386

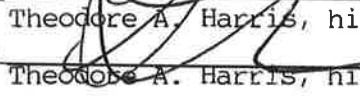
Location of Affected Premises: 25 Black Point Road Assessor's Map/Block/Lot: 11.4/172-1  
21 Black Point Road 11.4/173 (partial)

Owner of Record: Christopher M. & Ashley E. Manwaring Volume/Page: 953/91  
Melville A J Manwaring 283/465

Owner's Address: 23 Black Point Road Telephone: (860) 460-3386

**DESCRIPTION OF SPECIAL PERMIT REQUESTED** {Requires compliance with Zoning Regulations 24, 25 & 9 and all other applicable Zoning Regulations of the Town of East Lyme; also state which sections of Zoning Regulations Special Permit is subject to}:  
Landscaping Service Company per Section 8.2.17 and 25.5

Signature of Owner: By:   
Christopher M. Manwaring

Signature of Applicant:   
Theodore A. Harris, his Attorney duly authorized

**Attach a true copy of the Deed and a Site Plan {10 copies required}.** A copy of the deeds for all affected properties and a site plan demonstrating compliance with all applicable zoning code requirements must accompany this application.

**Proof of posting of Special Permit Application public notice sign (Section 25.4.3-1).** Proof of posting of the Special Permit Application for Public Notice must be submitted.

\*\*\*\*\*

### Below this line for Office Use Only:

\*\*\*\*\*

Deed Copies Attached: YES NO	PERMIT FEE: SPECIAL PERMIT FEE	\$150.00	_____
	OUTDOOR DINING RENEWAL	\$20.00	_____
Site Plan Attached: YES NO N/A	SITE PLAN FEE	\$300.00	_____
	STORM WATER	\$300.00	_____
CHECK #: _____	STATE FEE:	\$60.00	_____
	TOTAL DUE:	\$	_____

Date Approved: \_\_\_\_\_ Date Denied: \_\_\_\_\_

Approval subject to conditions below:

- \_\_\_\_\_
- \_\_\_\_\_

Approval to become effective upon publication and date of entry into the land records of the Town of East Lyme affecting the premises as described in this application.

Date: \_\_\_\_\_ Attest \_\_\_\_\_  
East Lyme Zoning Chairman

**NARRATIVE**  
**CHRISTOPHER MANWARING**  
**25 BLACK POINT ROAD**

This is an Application for a landscape services company (Special Permit CA Zone, 8.2.17). The controls are specified such in 25-5 and are as follows:

1. All landscaping materials and machinery shall be stored indoors  
(This is the intent of the Applicant, and any approval could be conditioned upon this provision).
2. Office space shall occupy not less than twenty (20%) of gross building area  
(The plans reveal that the office area is in excess of twenty (20%) percent of building area).
3. Outdoor parking shall be limited to passenger cars and pickup trucks  
(This is the intent of the Applicant, and any approval could be conditioned upon this provision).
4. Parking. In accordance with the standards and special permit, the Zoning block reveals that the parking spaces more than meet the requirements.

By way of background, the Applicant has been in business for many years, and provides landscaping and lawn services. This business operation does not include storage of landscaping materials on site; rather all landscaping materials are delivered directly to the customer locations; any excess will be temporarily stored indoors.

As revealed in the plans, in lieu of the landscape buffer, an architectural fence is provided along the southern boundary of the premises in accordance with Section 24.6E(3) "an earth berm wall or architectural fence may be substituted for any portion of the required planting with Commission approval".

Access will be provided along the southerly boundary of the premises in accordance with the required width for two way traffic (24 feet) in accordance with 24.6B.

Section 24.6 provides that sidewalks be provided along the street frontage. The only frontage that exists is the 25' driveway, and there are no other sidewalks in the vicinity, on this side of the street.

In accordance with the referenced section, we request that the requirement be waived.

**WARRANTY DEED**

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING: 2512

Know ye, that I, **JOHN CUTILLO, III**, of Niantic, Town of East Lyme, County of New London, State of Connecticut (hereinafter referred to as the "Grantors", for the consideration of One Dollar (\$1.00) and other valuable consideration received to my full satisfaction of **CHRISTOPHER M. MANWARING** and **ASHLEY E. MANWARING**, both of Niantic, Town of East Lyme, County of New London, State of Connecticut (hereinafter referred to as the "Grantees") do give, grant, bargain, sell and confirm unto the said Grantees, and unto the survivor of them, and unto the heirs and assigns of the survivor of them forever, an undivided one-half interest in

all that certain piece or parcel of land with any buildings or improvements thereon situated in the Town of East Lyme, County of New London, and State of Connecticut, having the street address 23A Black Point Road, being known and designated as Tract 2A on a map entitled "Map Showing Revised Property Line 23 Black Point Road Niantic, CT Prepared for MJR Associates Scale 1" = 30' Feb 21, 2008 David M. Coonrod LLS CT # 13298" which map is on file in the East Lyme Town Clerk's Office (hereinafter, the "Premises"), more particularly bounded and described as follows:

**SEE SCHEDULE A ATTACHED HERETO**

Said Premises are conveyed subject to:

1. Building lines, if established, all laws, ordinances and governmental regulations, including but not limited to building, inland wetlands and zoning ordinances affecting said Premises.
2. Taxes due the Town of East Lyme becoming due and payable hereafter including any assessment or pending assessment for which a lien has not yet been filed, which the Grantees, by acceptance of this deed, assume and agree to pay.
3. A sewer caveat in favor of the Town of East Lyme dated August 10, 1992 and recorded in Volume 335 at Page 510 of the East Lyme Land Records.

TO HAVE AND TO HOLD the Premises, with all the appurtenances thereto, unto the said Grantees, and unto the survivor of them, and unto such survivor's heirs and assigns forever, to them and their own proper use and behoof.

AND also, the said Grantor does for himself, and his successors and assigns forever, covenant with the said Grantees, and the survivor of them, and the heirs and assigns of the survivor of them forever, that at and until the ensembling of these presents, he is well seized of the Premises, as a good and indefeasible estate in FEE SIMPLE; and has a good right to bargain and sell the same in the manner and form as above written; and that the same is free from all encumbrances whatsoever, except as hereinbefore mentioned.

AND FURTHERMORE, the said Grantor does by these presents bind himself and his successors and assigns forever, to WARRANT AND DEFEND the above granted and bargained Premises to the said Grantees, and the survivor of them, and the heirs and assigns of the survivor of them forever, against all claims and demands whatsoever, except as hereinbefore mentioned.

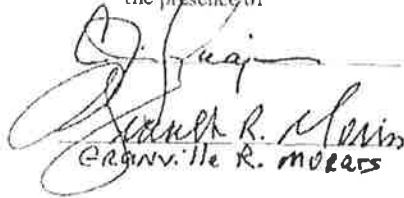
NO  
CONVEYANCE TAXES COLLECTED

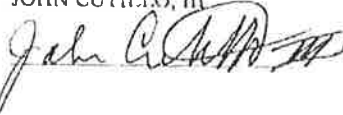
Grantees' Address:  
23 Black Point Road  
Niantic, CT 06357

*Lesley A. Blais*  
TOWN CLERK OF EAST LYME

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 9<sup>TH</sup> day of ~~SEPTEMBER~~ A.D. 2015.

Signed, Sealed, and Delivered in the presence of

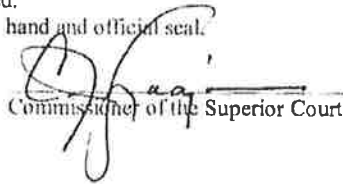
  
Granville R. Morais

JOHN CUTILLO, III  


State of Connecticut )  
County of New London ) ss. East Lyme

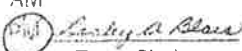
On this 9<sup>TH</sup> day of ~~SEPTEMBER~~, 2015, before me, the undersigned officer, personally appeared John Cutillo, III, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

In Witness Whereof, I have hereunto set my hand and official seal.

  
Commissioner of the Superior Court

**SCHEDULE "A"**  
23A Black Point Road, Niantic, CT

Beginning at a drill hole in the westerly boundary of Black Point Road, which marks the southeasterly corner of the herein described tract, thence proceeding along the westerly boundary of Black Point Road N 36° 27' 07" E 25.72' to a point; thence proceeding along other lands of Christopher M. Manwaring and Ashley E. Manwaring N 67° 08' 44" W 137.05' to a point; thence proceeding along other lands of Christopher M. Manwaring and Ashley E. Manwaring N 36° 27' 07" E 128.00' to a point; thence proceeding along lands now or formerly of Amy and Melville Manwaring N 52° 45' 28" W 24.85' to an iron pin; thence proceeding along lands now or formerly of Amy and Melville Manwaring N 71° 23' 03" W 107.00' to a point; thence proceeding along lands now or formerly of Amy and Melville Manwaring S 36° 27' 07" W 151.99' to a point; thence proceeding S 67° 14' 21" E 29.26' to an iron pin; thence proceeding S 67° 08' 44" E 238.16' to the point or place of beginning. Containing 23,218 square feet, more or less.

Recorded September 11, 2015  
AM  
3:21   
East Lyme Town Clerk

I WE, MARY H. CUTILLO and JOHN CUTILLO, III, both OF the Town of East Lyme, County of New London and STATE OF CONNECTICUT

for the consideration paid ONE DOLLAR (\$1.00) and other valuable consideration Grant To AMY C. MANWARING and MELVILLE A. MANWARING, both of the Town of East Lyme, County of New London and State of Connecticut,

as joint tenants, and with QUIT CLAIM COVENANTS, all that certain piece or parcel of land

That certain piece or parcel of land with all buildings and improvements thereon situated in the Town of East Lyme, County of New London and State of Connecticut shown and designated as Parcel 2 on a map or plan entitled, "Boundary Survey 19 Black Point Road, Niantic, Conn. Prepared for Mary H. & John Cutillo, III, and Amy C. & Melville A. Manwaring Scale 1" = 30' April 13, 1989, David M. Coonrod L.S.," which map is to be filed in the Office of the Town Clerk of East Lyme and being more particularly bounded and described as follows:

Beginning at a point on the northerly side of Black Point Road as shown on said plan; thence N 52° 33' 10" W 200.00 feet along Parcel 2A to a point; thence N 27° 05' 43" E 104.31 feet to a monument recovered as shown on said plan; thence N 76° 43' 55" W 166.70 feet to a monument recovered; thence N 76° 43' 32" W 148.76 feet to an iron pipe recovered as shown on said plan; thence S 14° 44' 58" W 62.78 feet to an iron pipe recovered as shown on said plan; thence N 60° 39' 53" W 237.25 feet an iron pipe at Pattagansett River as shown on said plan; thence S 31° 16' 54" W along Pattagansett River as shown on said plan 100.00 feet to a point; thence S 71° 23' 03" E 73.30 feet to an iron pipe; thence S 71° 23' 03" E 150.79 feet to an iron pipe; thence S 71° 23' 03" E 126.27 feet to an iron pipe; thence S 71° 23' 03" E 229.00 feet to an iron pipe; thence S 52° 45' 28" E 158.07 feet to a monument on the northerly line of Black Point Road; thence N 37° 26' 50" E 30.00 feet along Black Point Road to the point or place of beginning.

NO CONVEYANCE TAXES COLLECTED [Signature] TOWN CLERK OF EAST LYME

Signed this 11th day of May, 1989

Signed and delivered in the presence of:

[Signature] LORI A. DECOSTA

[Signature] MARY H. CUTILLO

[Signature] JUDITH R. FIGONE

[Signature] JOHN CUTILLO, III

STATE OF CONNECTICUT, } ss. East Lyme May 11, 1989 COUNTY OF NEW LONDON

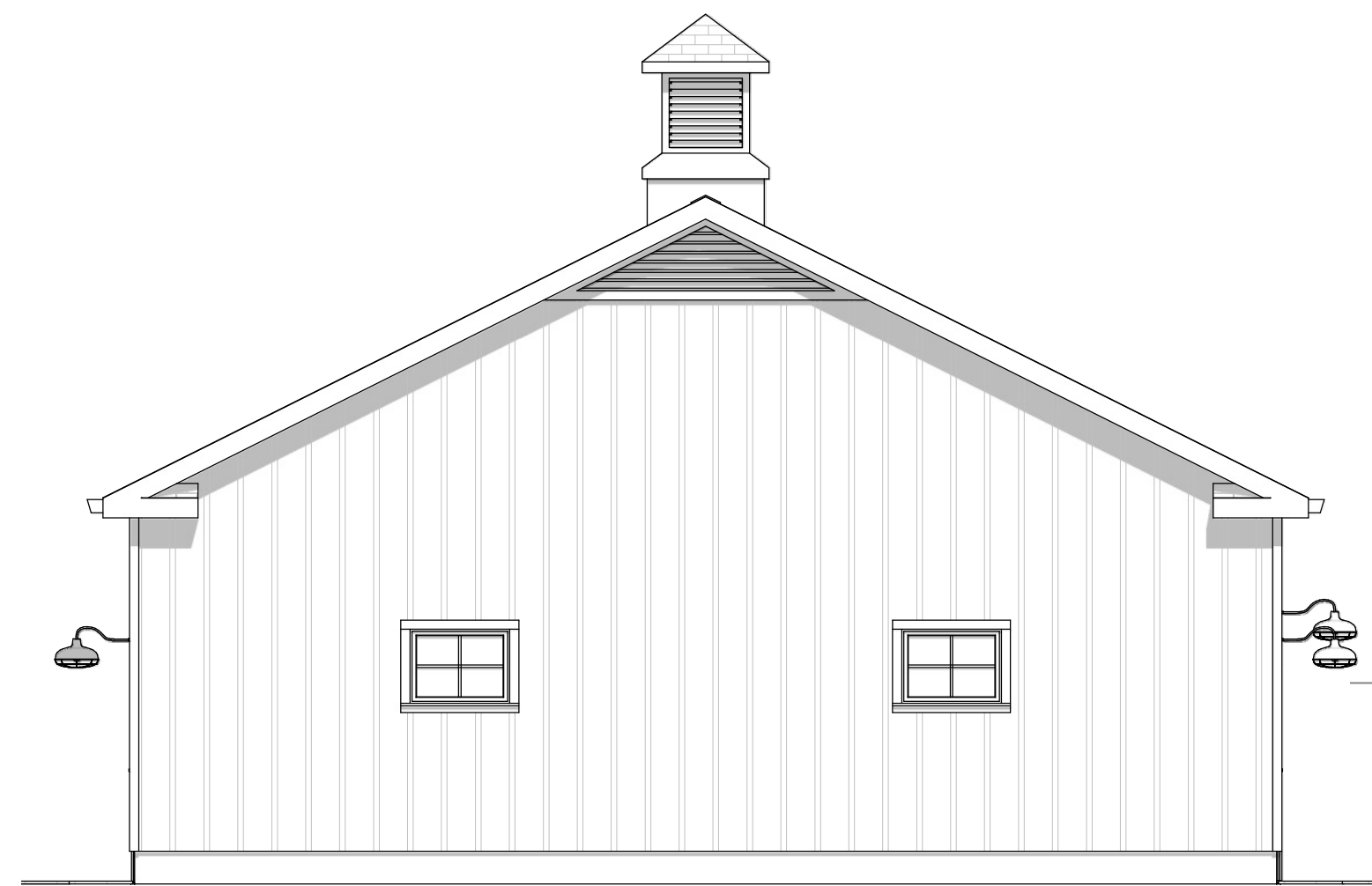
Personally Appeared MARY H. CUTILLO and JOHN CUTILLO, III Signer(s) of the foregoing Instrument, and acknowledged the same to be their free act and deed, before me.

Grantees' Mailing Address

322 Boston Post Road East Lyme, CT 06333

[Signature] Notary Public / [Signature]

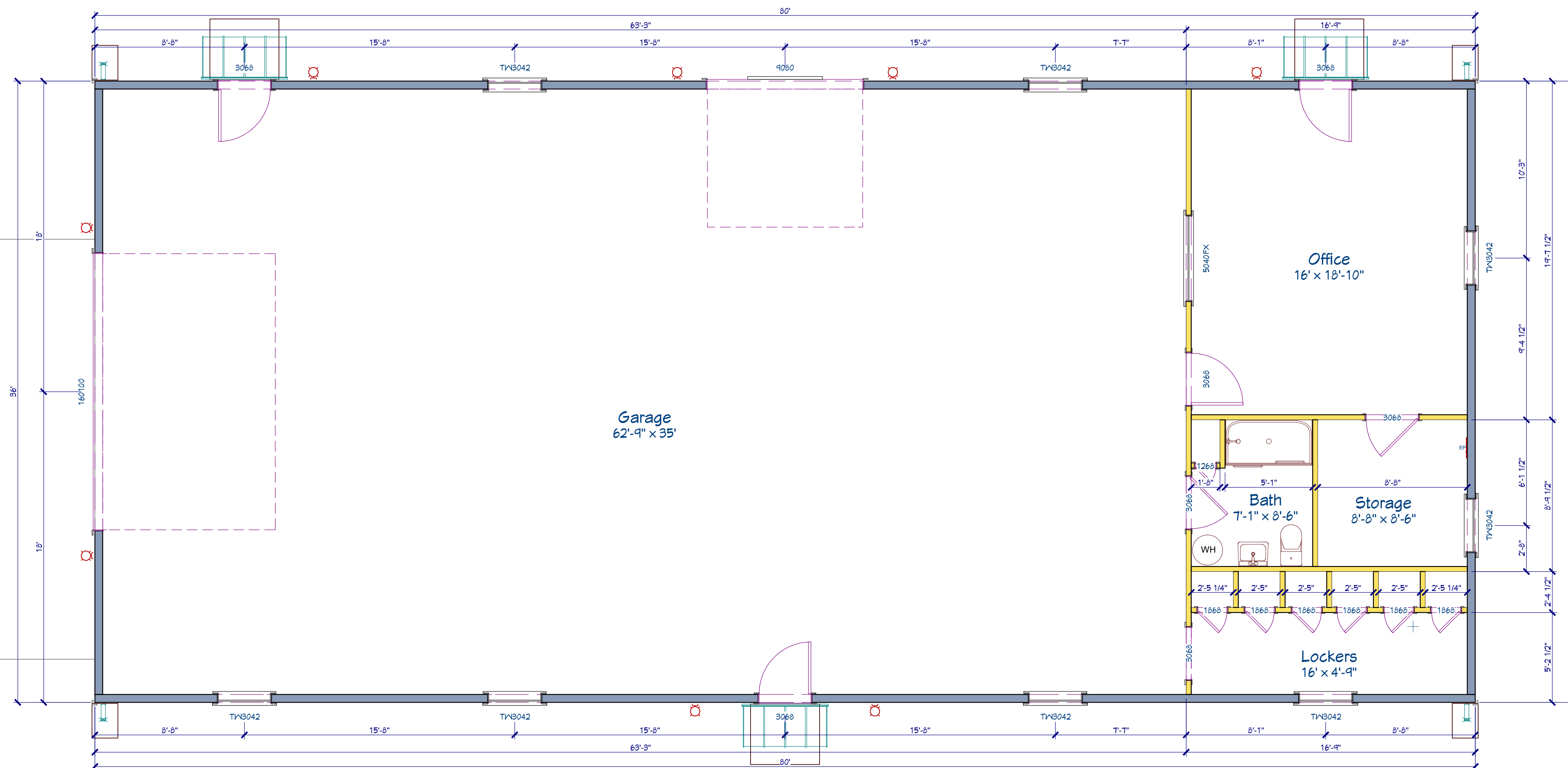
Recorded at 3:02 PM May 11, 1989 East Lyme Town Clerk



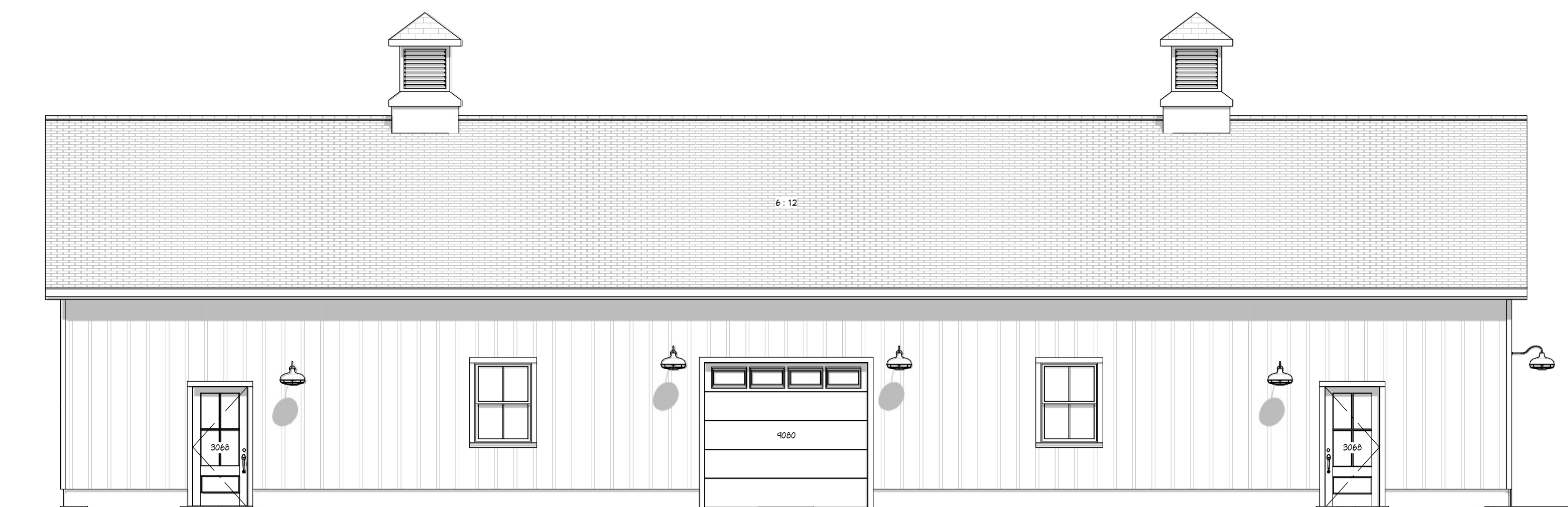
PROPOSED RIGHT ELEVATION



PROPOSED LEFT ELEVATION



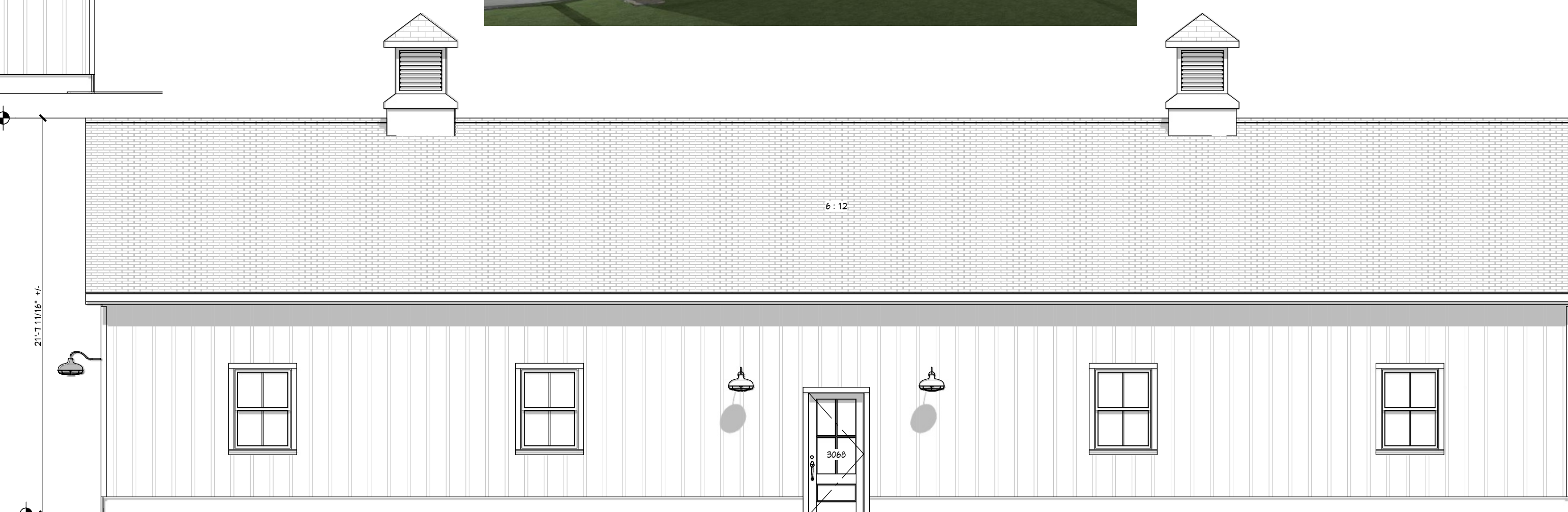
1st Floor



PROPOSED REAR ELEVATION



EXAMPLE OF PRE-MADE AWNING



PROPOSED FRONT ELEVATION

NO.	DESCRIPTION	DATE

SHEET TITLE:  
**PRELIMINARY DESIGNS**

PROJECT DESCRIPTION:  
**Manwaring Garage**  
25 Black Point Road  
Niantic, CT 06357

DRAWINGS PROVIDED BY:  
**CORNERSTONE DESIGNS LLC**

Lisa Kobar  
Cornerstone Designs  
PO Box 180  
Uncasville  
CT 06382  
860-287-1025  
Lisa@ASplans.com

DATE:  
5/9/2022

SCALE:  
N.T.S.

SHEET:  
**P-1**

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF Cornerstone Designs, Inc. DEVELOPED FOR THE EXCLUSIVE USE OF Cornerstone Designs, Inc. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF Cornerstone Designs, Inc. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM \$100,000.

TABLE R602.3(1) FASTENING SCHEDULE		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS <sup>a, b, c</sup>	SPACING AND LOCATION
<b>Roof</b>		
Blocking between ceiling joists or rafters to top plate	3"x3" x 0.131" nails	Toe nail
Ceiling joists to top plate	3"x3" x 0.131" nails	For joist, toe nail
Ceiling joist not attached to parallel rafter, laps over partitions (see Sections R602.3.1, R602.3.2 and Table C-101a) to rafter, face nail or 1 1/4" x 20 gal. edge strap to rafter	4"x3" x 0.131" nails	Face nail each rafter
Rafter or roof truss to plate	4"x3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter @ 24" o.c.
Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" edge beam	4"x3" x 0.131" nails	End nail
<b>Wall</b>		
Stud to stud (not at braced wall panels)	3" x 1/2" x 0.162"	16" o.c. each edge face nail
Stud to stud and abutting studs at intersecting wall corners	3" x 1/2" x 0.131" nails	12" o.c. each edge face nail
Build-up header (2" x 2" header with 1/2" spacer)	16d box (3/4" x 0.131")	12" o.c. each edge face nail
Continuous header to stud	4-16d box (3/4" x 0.131")	Toe nail
Top plate to top plate	3" x 1/2" x 0.131" nails	12" o.c. face nail
Double top plate splice	12-6" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap; splice length each side of end joint)
Bottom plate to joint, rim joint, band joint or blocking (local braced wall panels)	3" x 1/2" x 0.131" nails	12" o.c. face nail
Bottom plate to joint, rim joint, band joint or blocking (at braced wall panels)	4"x3" x 0.131" nails	4 each 16d o.c. face nail
Top or bottom plate to stud	4"x3" x 0.131" nails	Toe nail
Top plates, laps at corners and intersections	3"x3" x 0.131" nails	End nail
1" brace to stud and plate	2-6d common (2 1/2" x 0.131")	Face nail
1 1/2" x 8" sheathing to each bearing	2-6d common (2 1/2" x 0.131")	
1 1/2" x 8" and under sheathing to each bearing	3-6d box (2 1/2" x 0.131") or	
<b>Floor</b>		
Joist to sill, top plate or girder	3"x3" x 0.131" nails	Toe nail
Rim joist, band joint or blocking to sill or top plate (local applications also)	3" x 1/2" x 0.131" nails	6" o.c. toe nail
1" x 6" subfloor or less to each joist	2-6d common (2 1/2" x 0.131")	Face nail
2" subfloor to joist or girder	3-16d box (3/4" x 0.131")	Blind and face nail
2" particle sheath & beam-floor & roof	3-16d box (3/4" x 0.131")	At each bearing, face nail
Band or rim joist to joist	4"x3" x 0.131" nails	End nail
Build-up girders and beams, 2-inch lumber layers, each layer	3" x 0.131" nails	Face nail at ends and at each splice
Lagging atop supporting joists or rafters	4"x3" x 0.131" nails	At each joist or rafter, face nail
Bracing or blocking to joist	2"x3" x 0.131" nails	Each end, toe nail

### FOUNDATION NOTES

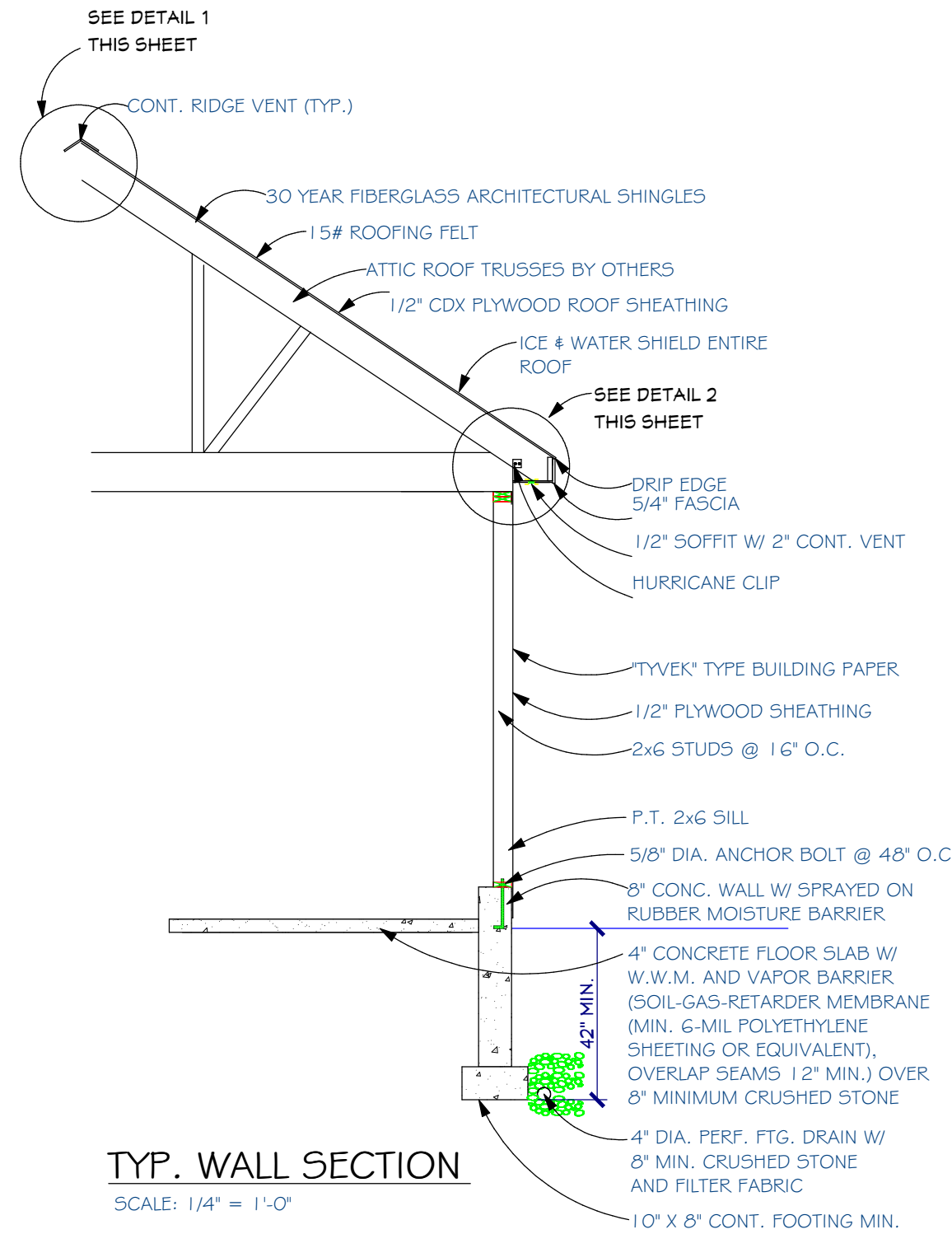
- ALL FOUNDATION WALLS SHALL BE 8" THICK W/16"x 8" CONTINUOUS FOOTINGS. WALLS <8' TALL SHALL HAVE ONE #4 BAR WITHIN 12 INCHES OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY. WALLS > 8' TALL SHALL HAVE ONE #4 BAR WITHIN 12 INCHES OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR THIRD POINTS IN THE WALL STORY.
- PROVIDE ADEQUATE DRAIN TILING, CRUSHED STONE AND FILTER FABRIC AROUND PERIMETER OF FOUNDATION WALLS.
- R403.1.6 FOUNDATION ANCHORAGE. WOOD SOLE PLATES AT ALL EXTERIOR WALLS, WOOD SOLES OF BRACED WALL PANELS AND ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM OF 4 FEET ON CENTER PER R606.12.2.3.1. BOLTS SHALL BE AT LEAST 1/2 INCH IN DIAMETER AND SHALL EXTEND A MINIMUM OF 1 INCHES INTO CONCRETE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES FROM EACH END OF THE PLATE SECTION.  
EXCEPTION: FOUNDATION ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH DIAMETER ANCHOR BOLTS.

### DESIGN CRITERIA

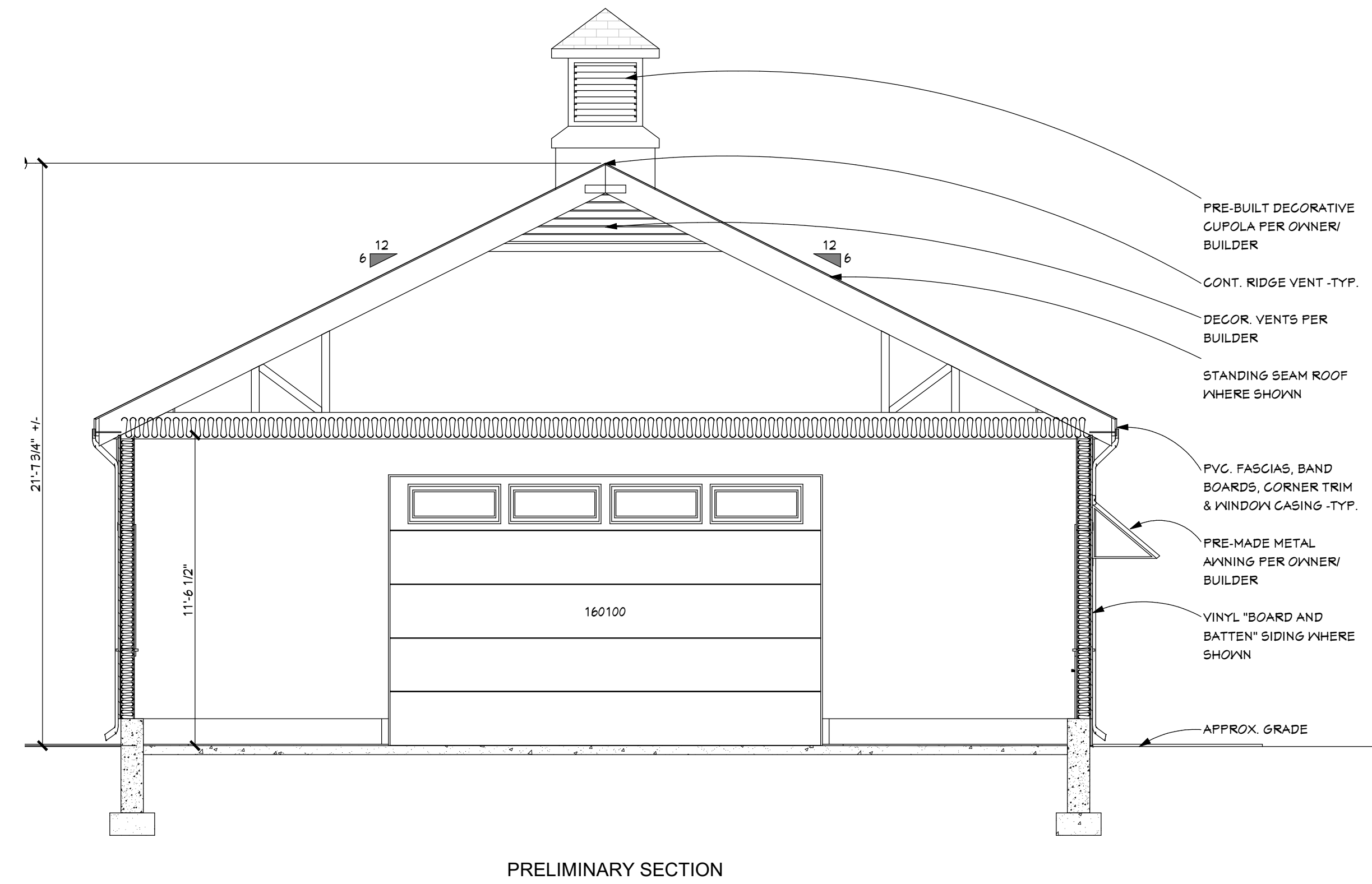
- DESIGN LOADS  
SNOW: 35#/S.F.  
WIND: 135 MPH Ultimate Wind Speed  
1ST FL. L.L.: 40#/S.F.  
2ND FL. L.L.: 40#/S.F.  
ATTIC L.L.: 20#/S.F.
- EMERGENCY EGRESS OPENING  
SLEEPING ROOMS: SILL HEIGHT ≤ 44" NET GLASS OPENING ≥ 5.7  
5 FT. NET GLASS OPENING HEIGHT ≥ 24" NET GLASS OPENING WIDTH ≥ 20"
- STAIRS  
TREADS: 10" MIN.  
RISERS: 8-1/4" MAX.  
CLOSE RISER: 1-3/4" PROJECTION OF TREAD  
CEILING HEIGHT ABOVE STAIRS: 6'-8" MIN.  
WIDTH OF STAIRS: 3'-0" MINIMUM

### IMPORTANT NOTE:

ALL DESIGNS, NOTES AND DETAILS BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 CONNECTICUT STATE BUILDING CODE.

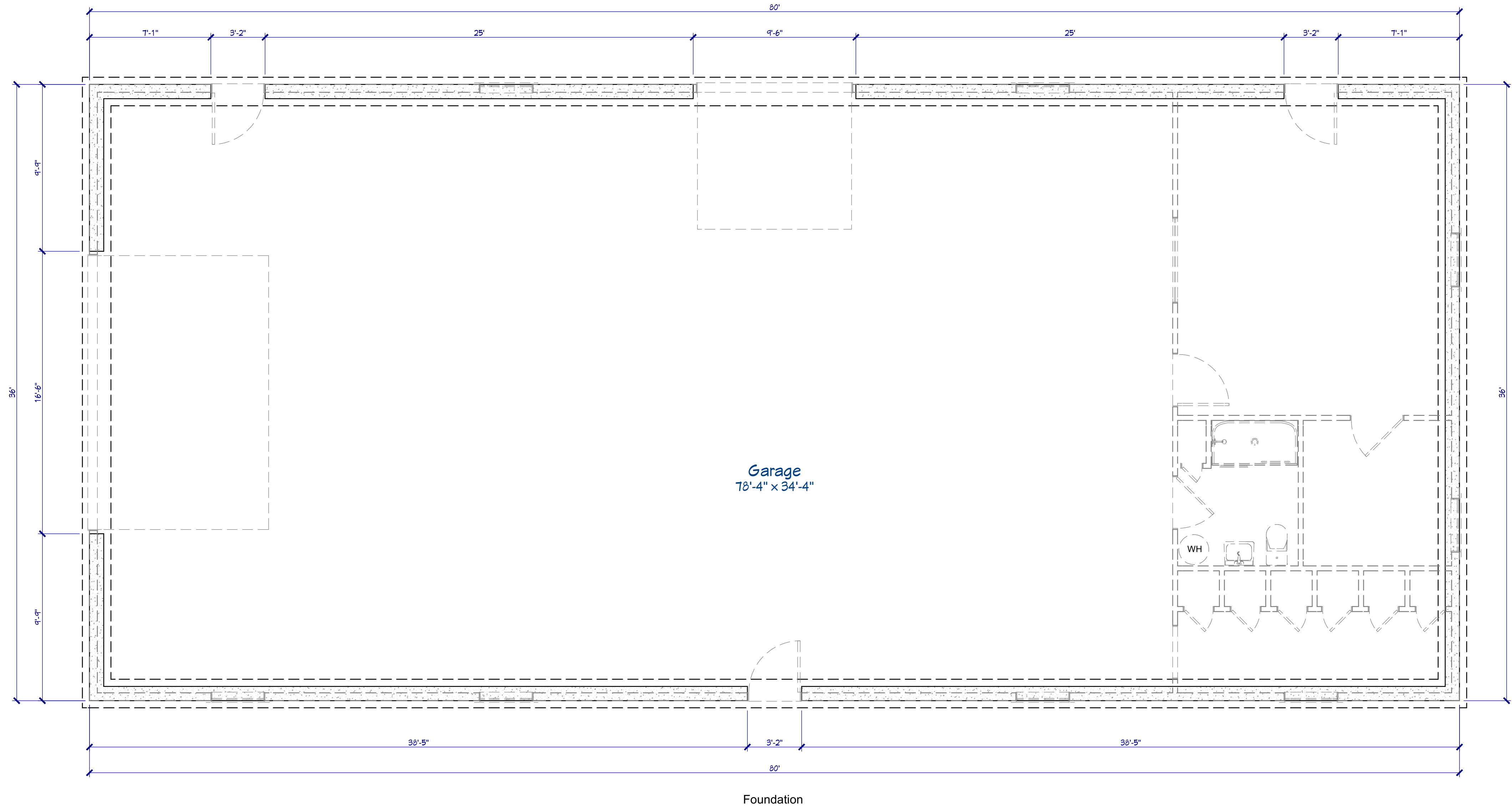


TYP. WALL SECTION  
SCALE: 1/4" = 1'-0"



PRELIMINARY SECTION

TABLE R602.3(1) FASTENING SCHEDULE - cont.		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS <sup>a, b, c</sup>	SPACING AND LOCATION
<b>Sheathing</b>		
Wood structural panels, subfloor, roof and interior wall sheathing to framing and partitioned wall sheathing to framing (see Table R602.3(1) for wood structural panel exterior wall sheathing to wall framing)		
<b>Other Wall Sheathing</b>		
Board sheathing	1 1/2" galvanized roofing nail, 3/4" head diameter	3
1/2" structural	1 3/4" galvanized roofing nail, 3/4" head diameter	3
1/2" gypsum sheathing	1 1/2" galvanized roofing nail	7
1/2" gypsum sheathing	1 3/4" galvanized roofing nail	7
<b>Wood structural panels, combination subfloor underlayment to framing</b>		
3/4" and less	6d common (2 1/2" x 0.131") nail	6
3/4" - 1"	6d common (2 1/2" x 0.131") nail	6
1 1/4" - 1 1/2"	6d deckhead (2 1/2" x 0.131") nail	6



Foundation

NO.	DESCRIPTION	DATE

SHEET TITLE:  
**PRELIMINARY DESIGNS**

PROJECT DESCRIPTION:  
**Manwaring Garage**  
25 Black Point Road  
Niantic, CT 06357

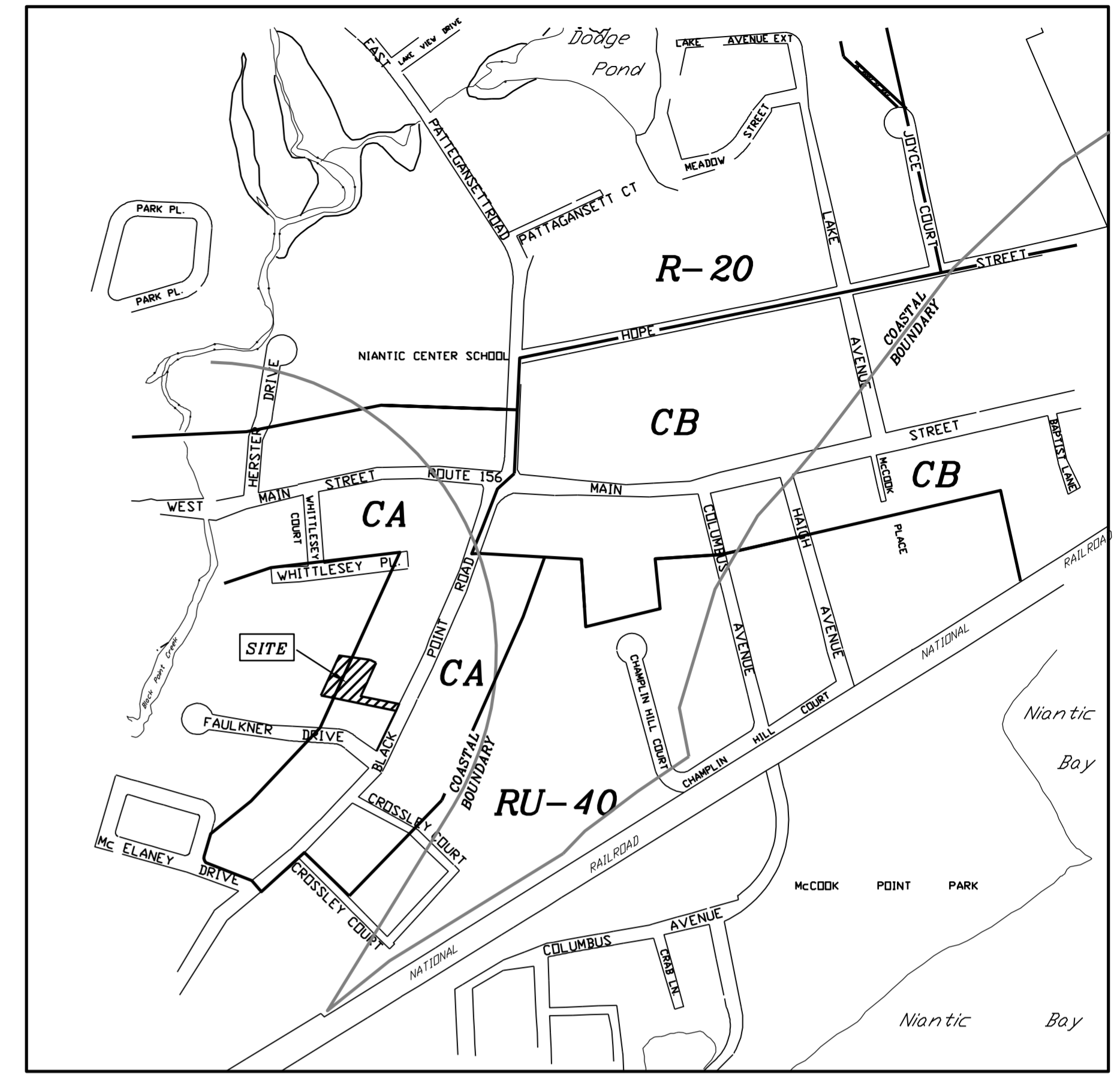
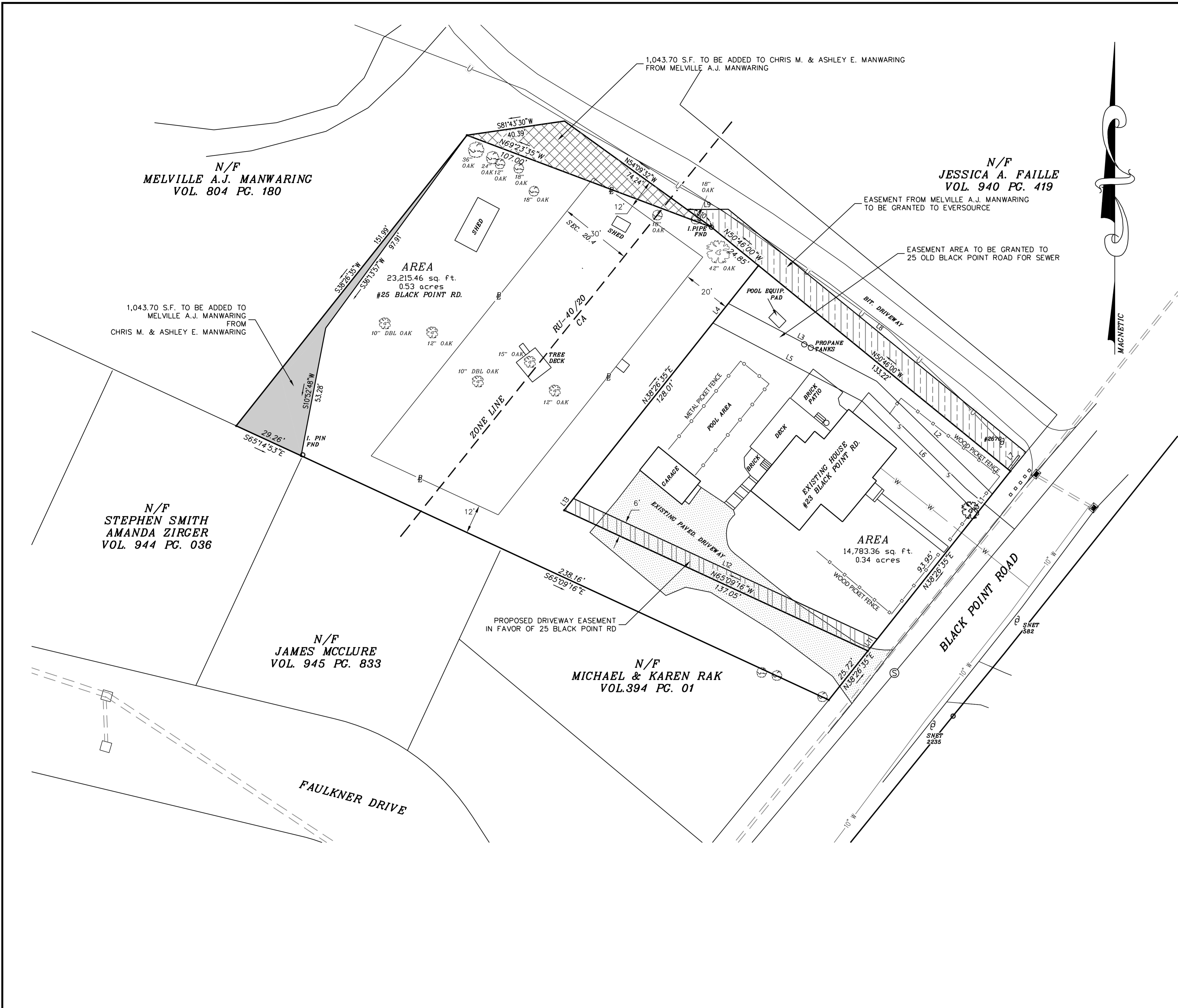
DRAWINGS PROVIDED BY:  
**CORNERSTONE DESIGNS LLC**

Lisa Kobar  
Cornerstone  
Designs  
PO Box 180  
Uncasville  
CT 06382  
860-287-1025  
Lisa@ASplans.com

DATE:  
5/9/2022

SCALE:  
N.T.S.

SHEET:  
**P-2**



LOCATION MAP - N.T.S.

**NOTES**

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998. IT IS AN IMPROVEMENT LOCATION SURVEY - ZONING BASED PARTIALLY ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO SHOW THE PROPERTY BOUNDARIES, EXISTING STRUCTURES AND IMPROVEMENTS.
- REFERENCE IS MADE TO THE FOLLOWING DEEDS ON FILE IN THE TOWN OF EAST LYME LAND RECORDS:
  - WARRANTEE DEED FROM JOHN CUTILLO III TO CHRISTOPHER AND ASHLEY MANWARING DATED: SEPT. 09, 2015 AND RECORDED IN VOLUME 953 PAGE 091.
  - WARRANTEE DEED FROM MJR ASSOCIATES TO CHRISTOPHER AND ASHLEY MANWARING DATED: SEPT. 08, 2008 AND RECORDED IN VOLUME 809 PAGE 352.
- REFERENCE IS MADE TO THE FOLLOWING SURVEY MAPS ON FILE IN THE EAST LYME LAND RECORDS:
  - MAP SHOWING REVISED PROPERTY LINE 23 BLACK POINT ROAD NIANTIC, CT PREPARED FOR MJR ASSOCIATES SCALE 1"= 30' DATED FEB. 21, 2008 BY DAVID COONROD L.S.
- NORTH ARROW, BEARINGS AND COORDINATES BASED ON MAGNETIC NORTH- ELEVATIONS BASED ON NGVD 1929
- OWNERS OF 23 & 25 BLACK POINT ROAD ARE CHRIS M. & ASHLEY E. MANWARING

**LEGEND**

- 1/2" IRON PIPE RECOVERED
- 1/4" IRON PIN RECOVERED
- IRON PIN TO BE SET
- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ▬ BUILDING LINE
- ▬ WATER LINE
- ▬ UTILITIES (PHONE, ELEC., CABLE TV, ETC.)
- ▬ SEWER LINE
- UTILITY POLE
- STONE WALL
- WIRE FENCE
- TREE LINE / LIMITS OF CLEARING

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.05	N38°26'35"E
L2	66.18	S45°45'39"E
L3	68.58	S62°19'52"E
L4	10.18	S38°26'35"W
L5	69.03	S62°19'52"E
L6	65.74	S45°45'39"E
L7	10.00	S39°26'18"W
L8	157.43	N50°46'00"W
L9	16.88	S89°45'20"W
L10	12.38	S54°09'32"E
L11	6.17	N38°26'35"E
L12	137.05	N65°09'16"W
L13	6.17	S38°26'35"W

THESE PLANS ARE THE SOLE PROPERTY OF J. ROBERT PFANNER & ASSOCIATES, P.C. AND HAVE BEEN PREPARED SOLELY FOR THIS OWNER ON THIS SITE. ANY REPRODUCTION OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM J. ROBERT PFANNER & ASSOCIATES, P.C. MAY BE AN INFRINGEMENT OF THE FEDERAL COPYRIGHT ACT.

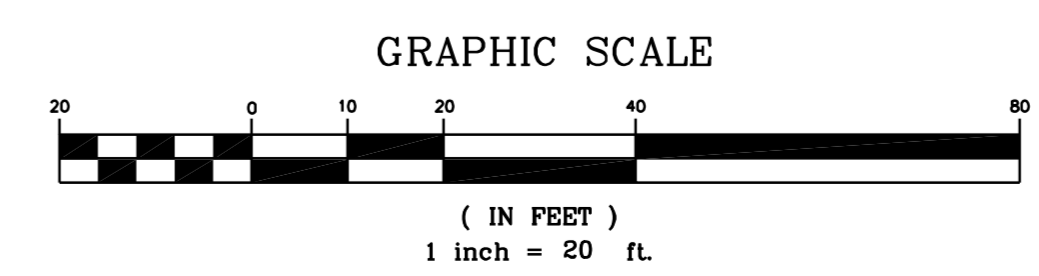
DRAWN BY: RDP		DATE: MAY 9, 2022	
NO.	DATE	DESCRIPTION	BY
REVISIONS			

**J. ROBERT PFANNER & ASSOCIATES, P.C.**  
**CIVIL ENGINEERS & LAND SURVEYORS**

37 GRAND STREET NIANTIC, CONNECTICUT 06357  
 TEL. 860-739-6216 FAX 860-739-0693

THIS SURVEY CONFORMS TO A CLASS A-2 SURVEY AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS SUBSTANTIALLY CORRECT AS NOTED HEREON (SEE NOTE 1).

J. ROBERT PFANNER, CONNECTICUT P.E. LS No. 9442



TITLE:  
**IMPROVEMENT LOCATION SURVEY-ZONING**  
 PREPARED FOR  
**CHRIS MANWARING**

LOCATION: 23-25 BLACK POINT ROAD, NIANTIC, CONNECTICUT

SHEET NUMBER  
**1**  
 OF  
**4**

21052-1



N/F  
MELVILLE A.J. MANWARING  
VOL. 804 PG. 180

N/F  
STEPHEN SMITH  
AMANDA ZIRGER  
VOL. 944 PG. 036

N/F  
JAMES MCCLURE  
VOL. 945 PG. 833

N/F  
MICHAEL & KAREN RAK  
VOL.394 PG. 01

N/F  
JESSICA A. FAILLE  
VOL. 940 PG. 419

**ZONING COMPLIANCE CHART**

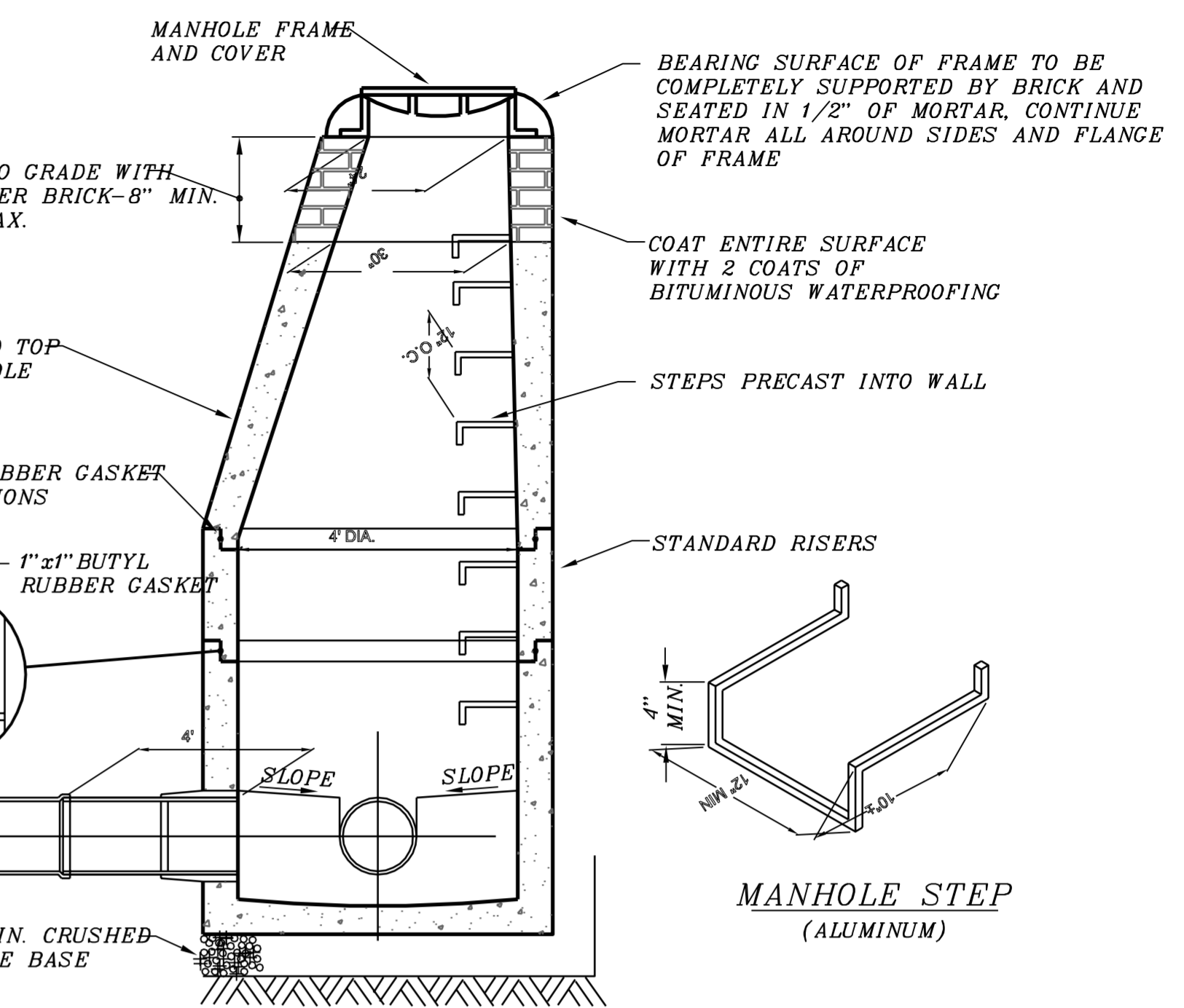
ZONE = CA	REQUIRED	PROVIDED
MINIMUM LOT SIZE	7,500 S.F.	23,215.46
MINIMUM FRONTAGE	80 FT.	25 FT.*
MINIMUM FRONT YARD	20 FT.	20 FT.
MINIMUM SIDE YARD	12 FT.	25.6 FT.
MINIMUM REAR YARD	51.3 FT.	67.8 FT.
MAXIMUM BUILDING COVERAGE	35%	0 %
MAXIMUM BUILDING HEIGHT	30 FT.	17 FT.
MINIMUM PARKING SPACES	8 SPOTS	10 SPOTS

\* REAR LOT MIN 25 FT

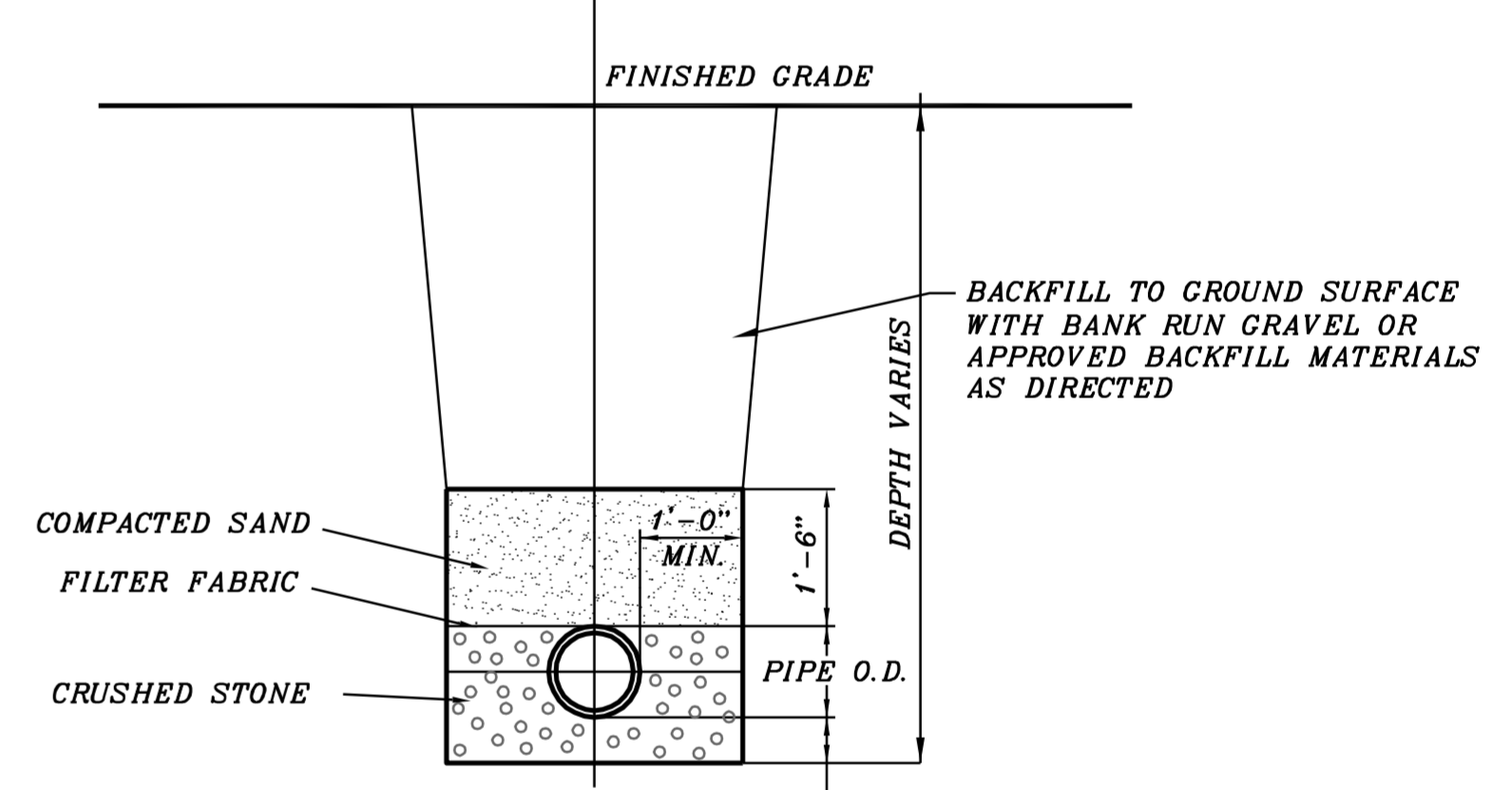
PARKING CALCULATION:  
1 SPACE PER 250 S.F. OFFICE  
1 SPACE PER 400 S.F. STORAGE/MACHINERY SPACE  
  
BUILDING SIZE 36x80=2880 S.F.  
20% OFFICE SPACE=329 S.F.  
  
OFFICE SPACE=329/250=1.3 SPACES  
STORAGE SPACE=2551/400=6.4 SPACES  
1.3+6.4=7.8 ROUNDED UP TO 8

**LEGEND**

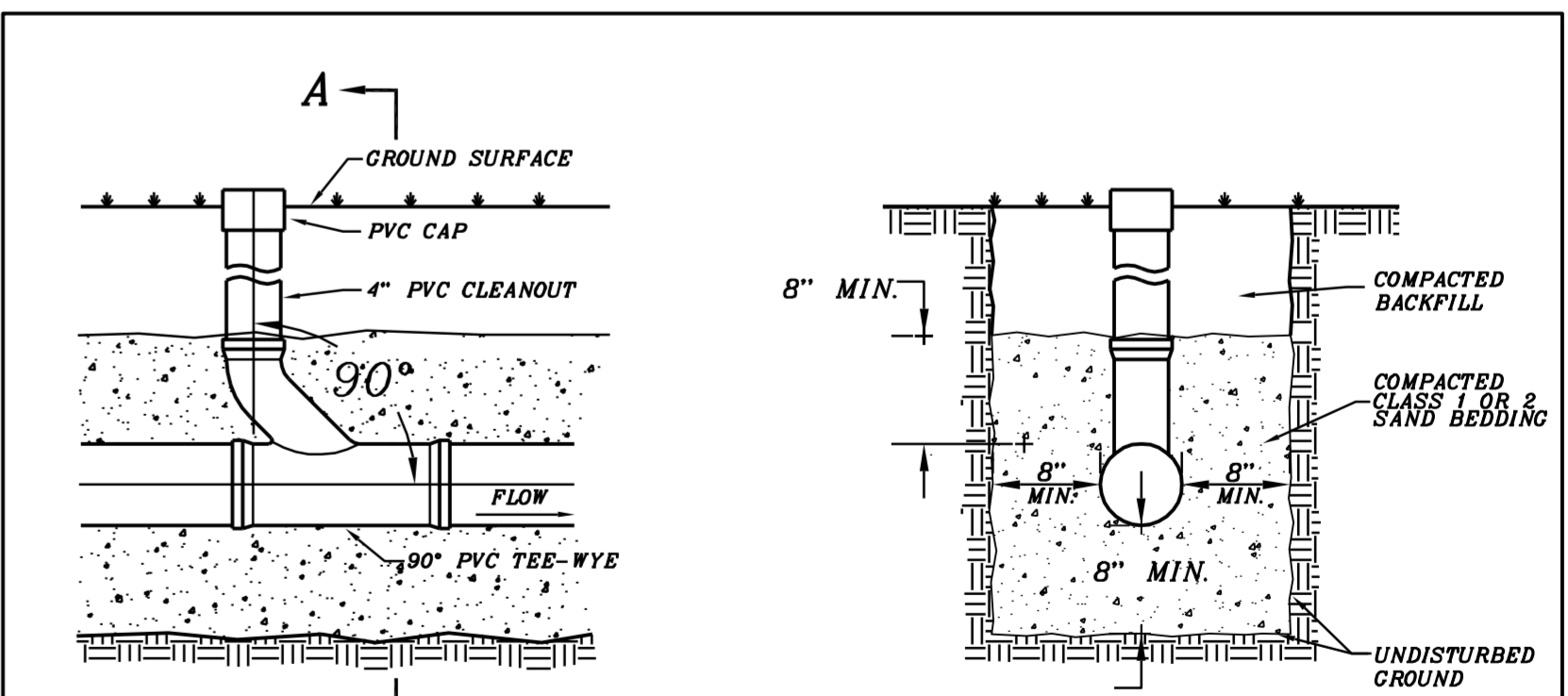
- IRON PIN RECOVERED
- MERESTONE RECOVERED
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- BUILDING LINE
- WATER LINE
- UTILITIES (PHONE, ELEC., CABLE TV, ETC.)
- SEWER LINE
- UTILITY POLE
- 98x0 EXISTING SPOT ELEV.
- 98x0 PROPOSED SPOT ELEV.
- TREE LINE / LIMITS OF CLEARING
- F.F. FINISH FIRST FLOOR
- F.B.F. FINISH BASEMENT FLOOR
- C.F. FINISH GARAGE FLOOR
- SILTFENCE
- WATERVALVE



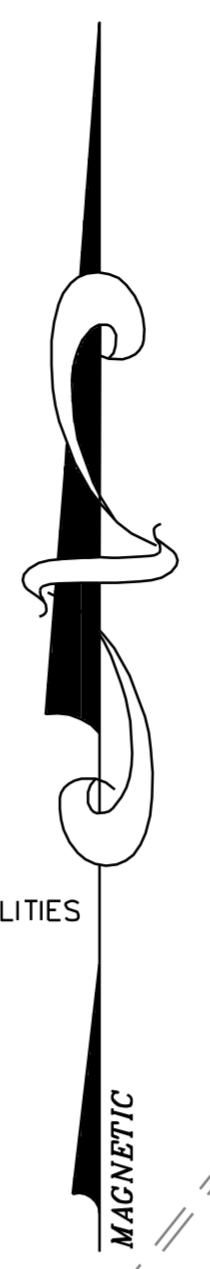
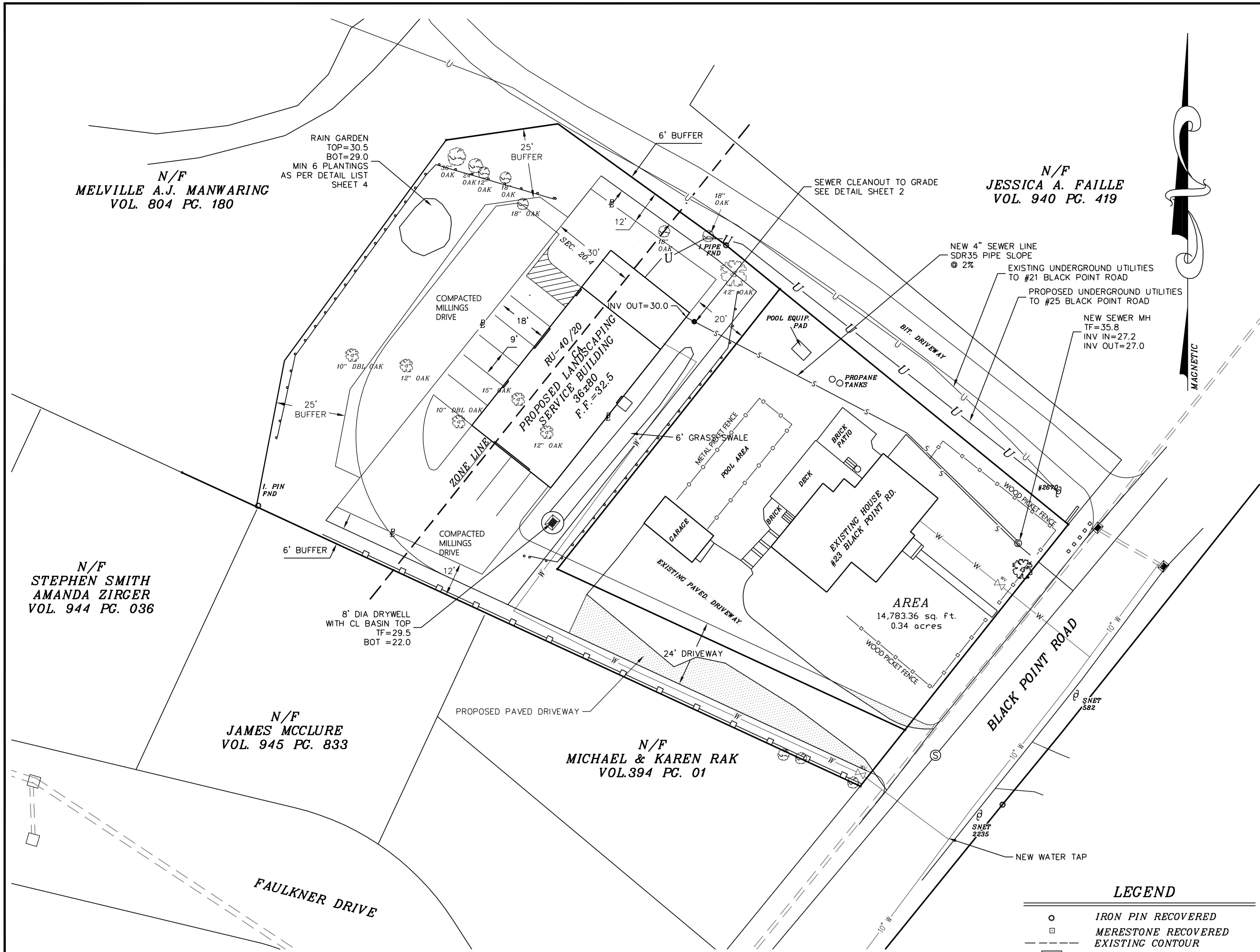
**TYPICAL MANHOLE SECTION**  
NOT TO SCALE



**SEWER TRENCH BACKFILL DETAIL**  
NOT TO SCALE



**TYPICAL CLEAN-OUT & PIPE TRENCH**  
NOT TO SCALE



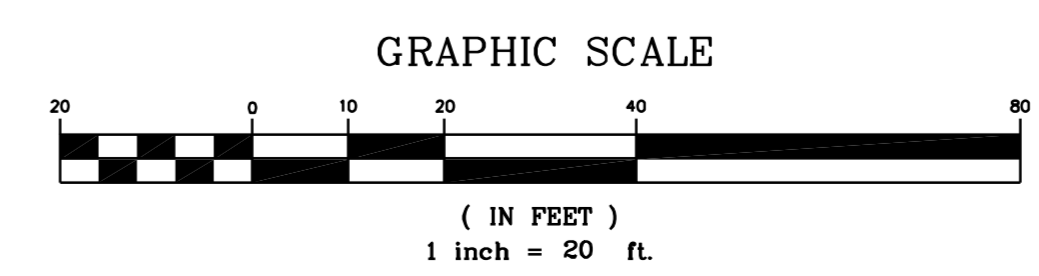
THESE PLANS ARE THE SOLE PROPERTY OF J. ROBERT PFANNER & ASSOCIATES P.C. AND HAVE BEEN PREPARED SOLELY FOR THIS OWNER ON THIS SITE. ANY REPRODUCTION OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM J. ROBERT PFANNER & ASSOCIATES P.C. MAY BE AN INFRINGEMENT OF THE FEDERAL COPYRIGHT ACT.

NO.	DATE	DESCRIPTION	BY

**J. ROBERT PFANNER & ASSOCIATES, P.C.**  
CIVIL ENGINEERS & LAND SURVEYORS

37 GRAND STREET NIANTIC, CONNECTICUT 06357  
TEL. 860-739-6216 FAX 860-739-0693

SITE PLAN



TITLE:  
IMPROVEMENT LOCATION SURVEY-ZONING  
PREPARED FOR  
CHRIS MANWARING

LOCATION: 23-25 BLACK POINT ROAD, NIANTIC, CONNECTICUT

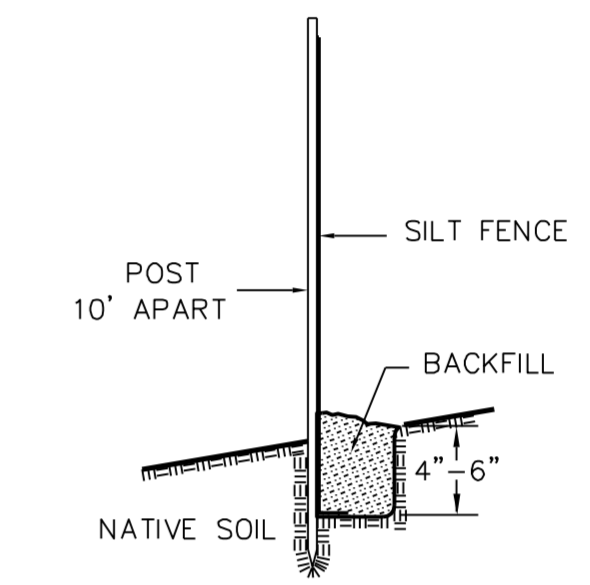
SHEET NUMBER  
2  
OF  
4  
21052-4

**SOIL AND EROSION CONTROL**

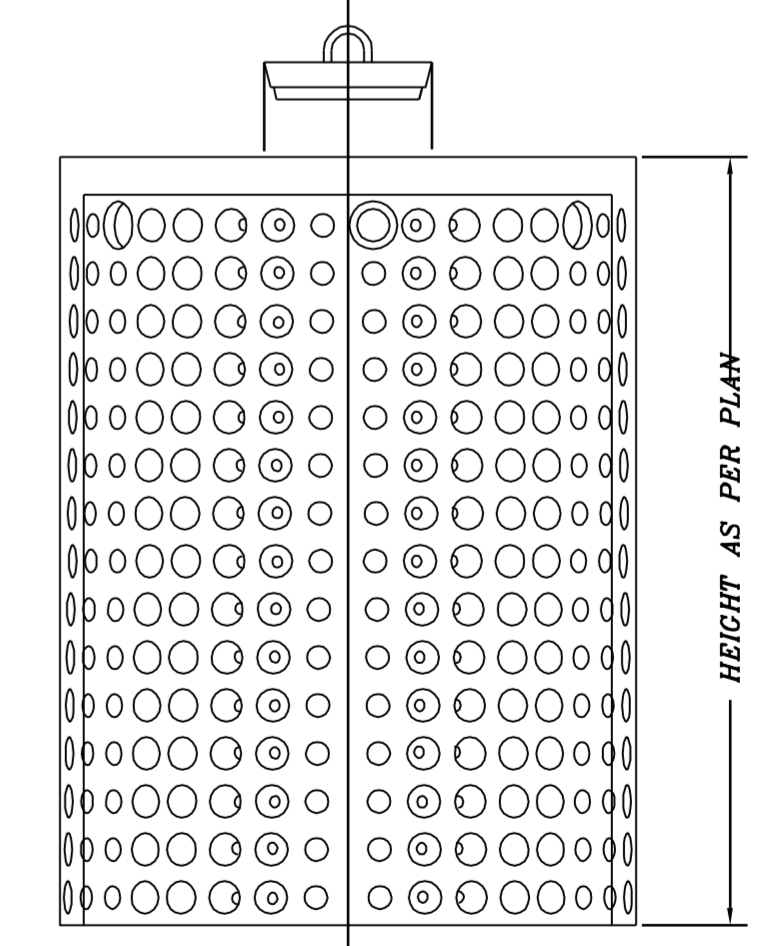
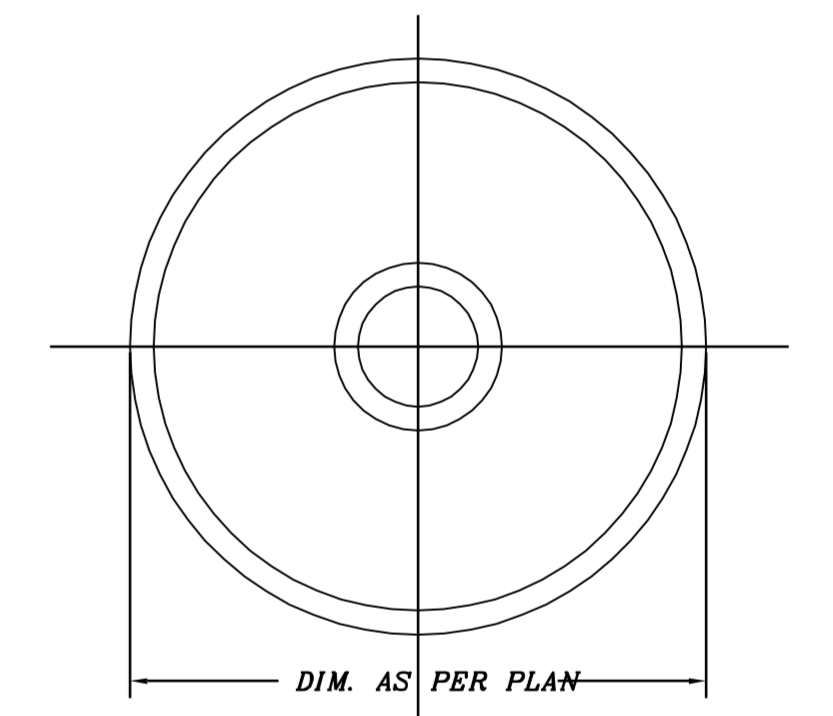
- HAY BALES / SILT FENCE ARE TO BE INSTALLED PRIOR TO CONSTRUCTION.
- ONLY REMOVE TREES AND VEGETATION NECESSARY FOR CONSTRUCTION.
- PERMANENT SEEDING SHOULD BE DONE AS SOON AS POSSIBLE AFTER CONSTRUCTION FINISHES. LIME AND FERTILIZE. RECOMMENDED SEEDING DATES ARE APRIL 1 TO JUNE 15 & AUG. 15 TO OCT. 15.
- RECOMMENDED SEED (PER CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL) SEED MIX #21 CREEPING RED FESCUE @ 60 LBS/ACRE OR #29 TURF TYPE TALL FESCUE @ 175-250 LBS/ACRE
- HAY BALES AND SILT FENCE TO REMAIN WHERE PLACED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- NO ERODED SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE OR WASH INTO THE DRAINAGE SYSTEM.
- IF SEEDING CANNOT MEET RECOMMENDED DATES, TEMPORARY MULCH IS TO BE APPLIED IN ACCORDANCE WITH THE TABLE BELOW.

MULCHES	RATES PER 1000 FT	NOTES
STRAW OR HAY 1/2 - 2 TONS PER ACRE	70-90lbs.	FREE FROM WEEDS & COARSE MATTER. MUST BE ANCHORED SPREAD WITH MULCH BLOWER OR BY HAND

- ANY HAY BALES OR SILT FENCE REMOVED DURING CONSTRUCTION SHOULD BE REPLACED EACH NIGHT.



TYPICAL SILT FENCE INSTALLATION

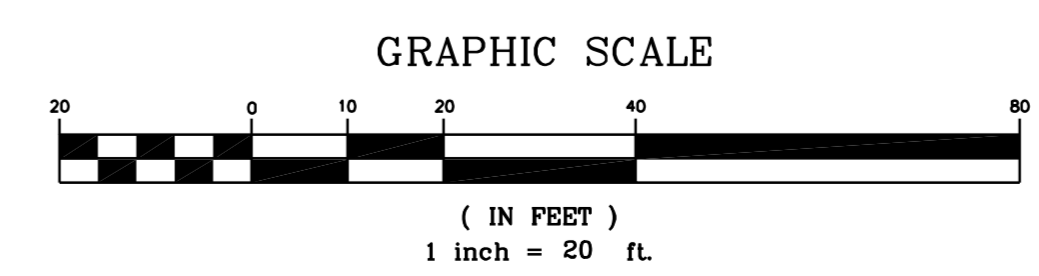
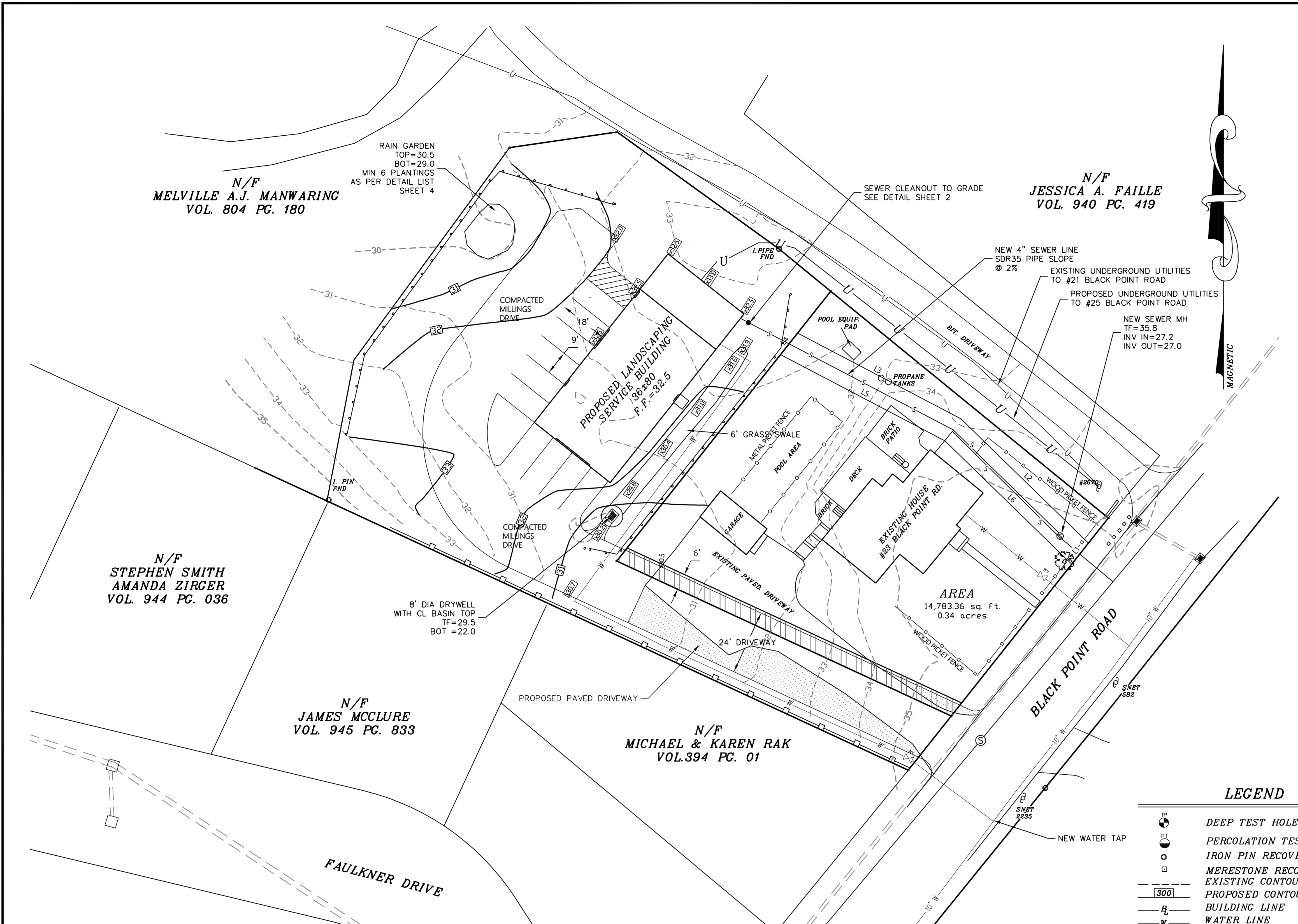


PRECAST DRYWELL

N.T.S.

**LEGEND**

- ⊕ DEEP TEST HOLE
- ⊙ PERCOLATION TEST
- IRON PIN RECOVERED
- ⊠ MERESTONE RECOVERED
- - - EXISTING CONTOUR
- [300] PROPOSED CONTOUR
- ▭ BUILDING LINE
- WATER LINE
- - - UTILITIES (PHONE, ELEC., CABLE TV, ETC.)
- - - FOUNDATION DRAIN
- ⊕ UTILITY POLE
- 98±0 EXISTING SPOT ELEV.
- 98±0 PROPOSED SPOT ELEV.
- ~ TREE LINE / LIMITS OF CLEARING
- F.F. FINISH FIRST FLOOR
- F.B.F. FINISH BASEMENT FLOOR
- C.F. FINISH GARAGE FLOOR
- ##B WETLANDS FLAG



TITLE: IMPROVEMENT LOCATION SURVEY-ZONING  
 PREPARED FOR: CHRIS MANWARING  
 LOCATION: 23-25 BLACK POINT ROAD, NIAN TIC, CONNECTICUT

SHEET NUMBER: 3 OF 4  
 21052-4

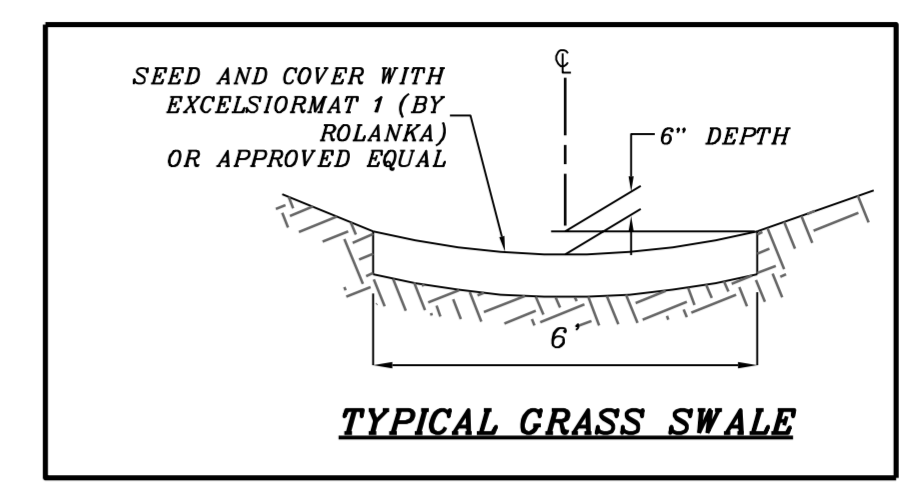
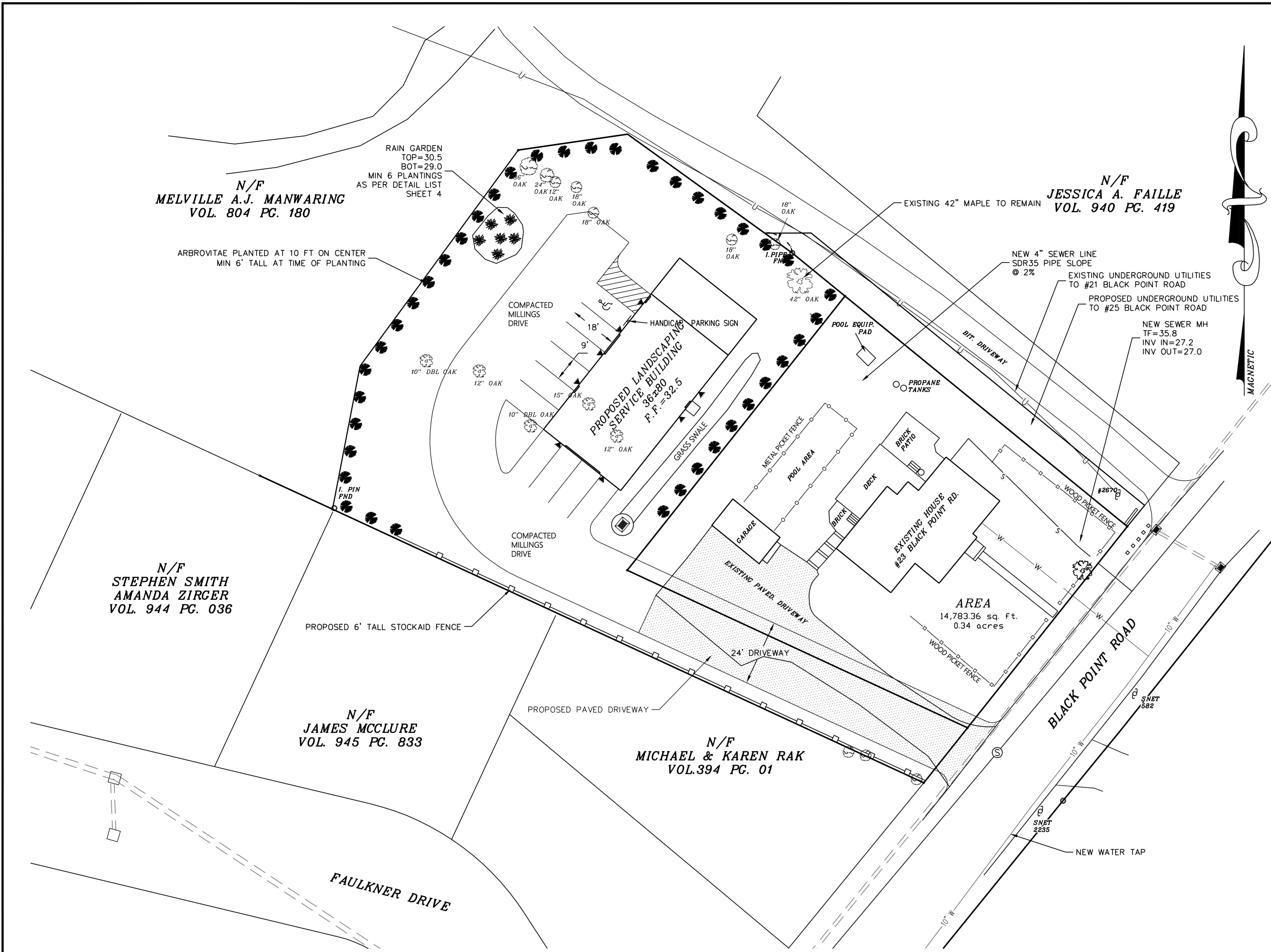
DRAWN BY: RDP		DATE: MAY 9, 2022	
NO.	DATE	DESCRIPTION	BY

**J. ROBERT PFANNER & ASSOCIATES, P.C.**  
 CIVIL ENGINEERS & LAND SURVEYORS

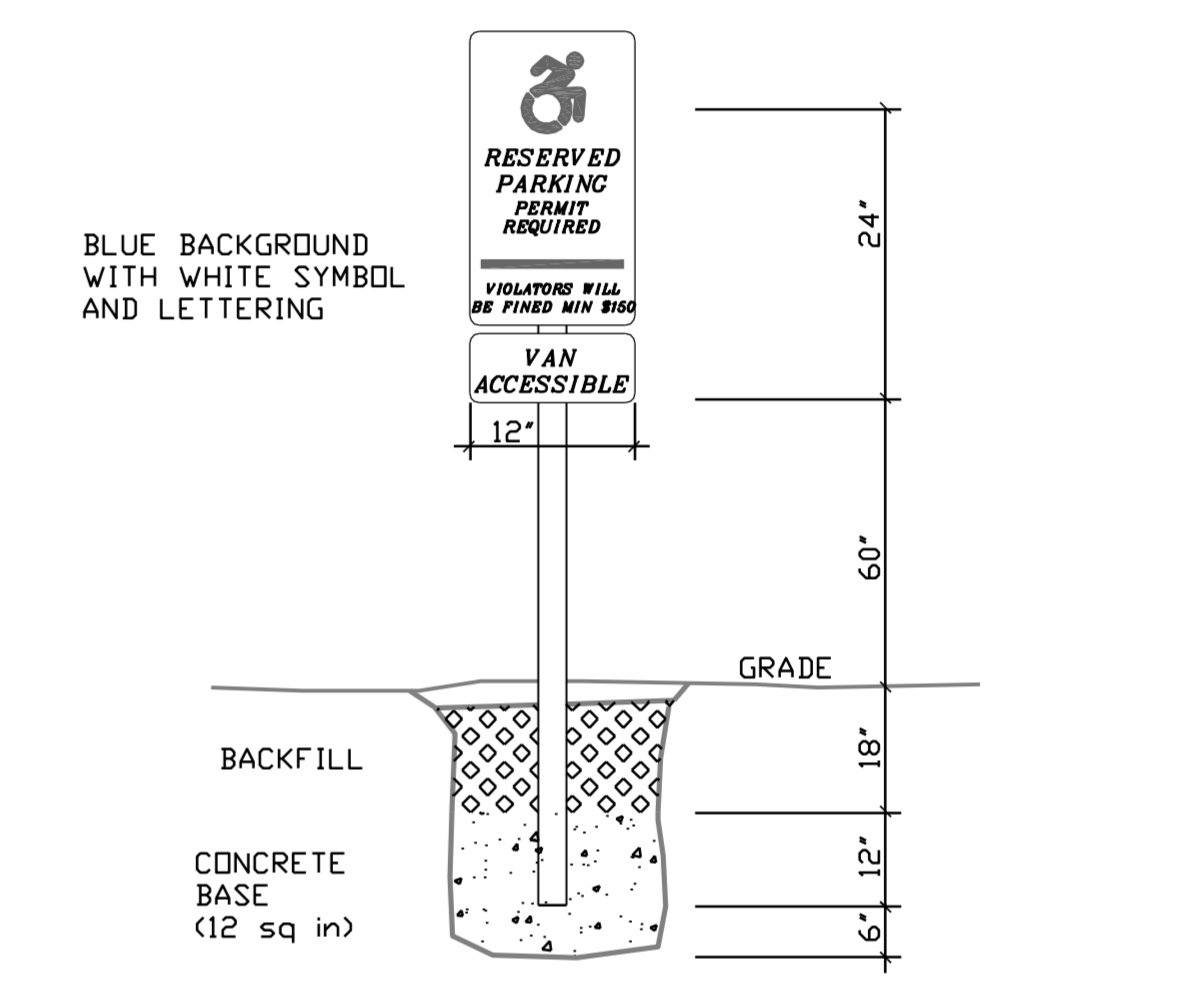
37 GRAND STREET NIAN TIC, CONNECTICUT 06357  
 TEL. 860-739-6216 FAX 860-739-0693

GRADING PLAN

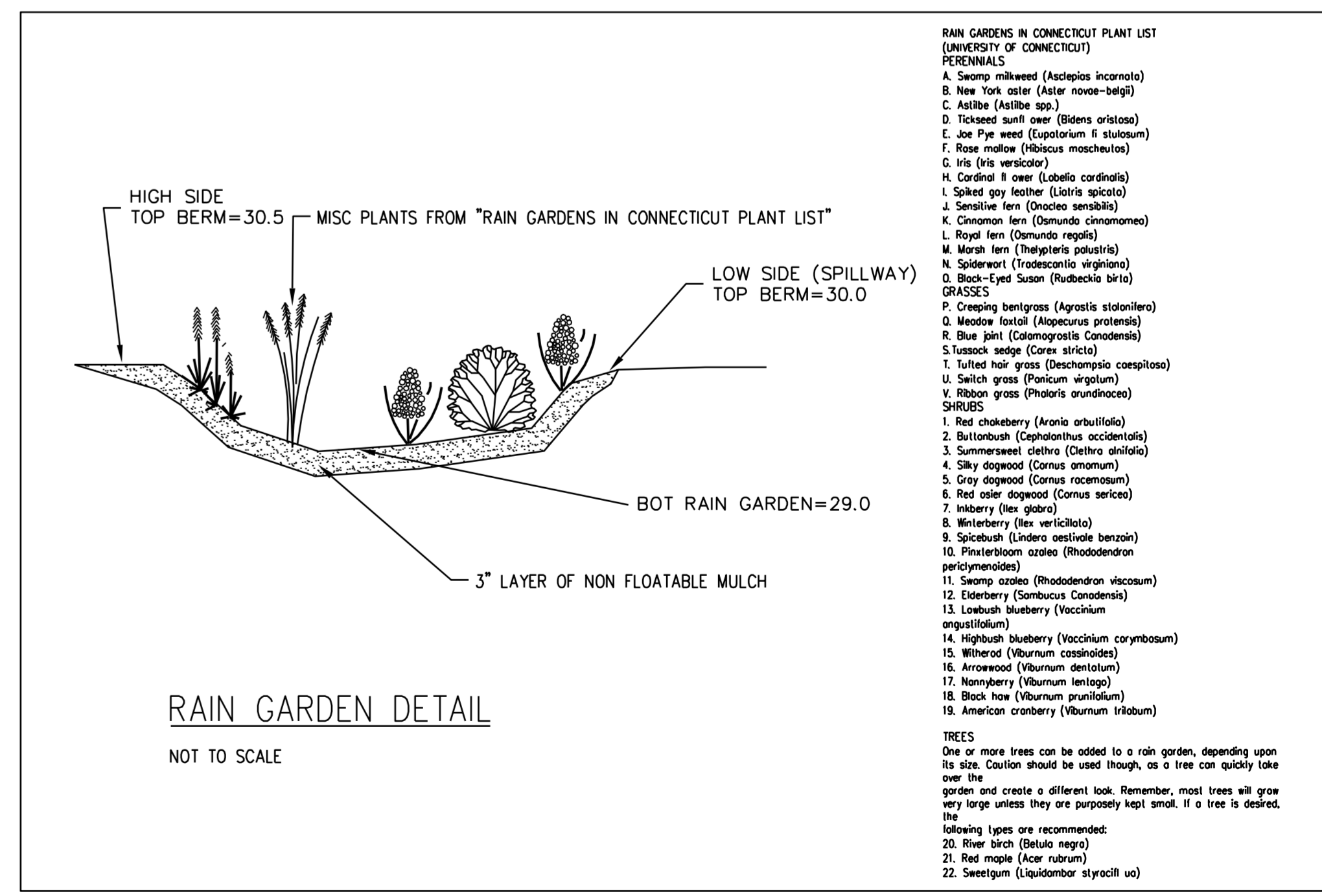
THESE PLANS ARE THE SOLE PROPERTY OF J. ROBERT PFANNER & ASSOCIATES, P.C. AND HAVE BEEN PREPARED SOLELY FOR THIS OWNER ON THIS SITE. ANY REPRODUCTION OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM J. ROBERT PFANNER & ASSOCIATES, P.C. MAY BE AN INFRINGEMENT OF THE FEDERAL COPYRIGHT ACT.



NOTES:  
 1. ALL DISTURBED AREAS SHALL BE PLANTED WITH GRASS  
 2. THE LANDSCAPE BUFFER PLANTINGS SHALL BE MULCHED 4 FT WIDE.



HANDICAPPED PARKING SIGN (VAN)  
NOT TO SCALE



- LEGEND**
- PROPOSED 6' TALL ARBROVITAE
  - PROPOSED RAIN GARDEN PLANTING
  - WALL MOUNT LIGHT

- RAIN GARDENS IN CONNECTICUT PLANT LIST**  
 (UNIVERSITY OF CONNECTICUT)
- PERENNIALS**
- A. Swamp milkweed (*Asclepias incarnata*)
  - B. New York aster (*Aster novae-angliae*)
  - C. Astilbe (*Astilbe spp.*)
  - D. Tickseed sunflower (*Dielsia ciliolata*)
  - E. Joe Pye weed (*Eupatorium sp. altissimum*)
  - F. Rose mallow (*Hibiscus moscheutos*)
  - G. Iris (*Iris versicolor*)
  - H. Cardinal flower (*Loebelia cardinalis*)
  - I. Spiked sp. hostler (*Hostia spicata*)
  - J. Sensitive fern (*Onoclea sensibilis*)
  - K. Cinnamon fern (*Osmunda cinnamomea*)
  - L. Royal fern (*Osmunda regalis*)
  - M. Marsh fern (*Thelypteris palustris*)
  - N. Spiderwort (*Tradescantia virginiana*)
  - O. Black-eyed Susan (*Rudbeckia hirta*)
- GRASSES**
- P. Creeping bentgrass (*Agrostis stolonifera*)
  - Q. Meadow fescue (*Meibomia pratensis*)
  - R. Blue joint (*Calamagrostis Canadensis*)
  - S. Tussock sedge (*Carex stricta*)
  - T. Tufted hair grass (*Deschampsia cespitosa*)
  - U. Switch grass (*Panicum virgatum*)
  - V. Ribbon grass (*Phalaris arundinacea*)
- SHRUBS**
1. Red chokeberry (*Aronia arbutifolia*)
  2. Buttonbush (*Cephalanthus occidentalis*)
  3. Summerweet oelma (*Osirea oelma*)
  4. Sky dogwood (*Cornus amomum*)
  5. Gray dogwood (*Cornus rostrata*)
  6. Red side dogwood (*Cornus sericea*)
  7. Highberry (*Ilex glabra*)
  8. Winterberry (*Ilex verticillata*)
  9. Spicebush (*Lindera spicata*)
  10. Finlayson azalea (*Rhododendron perfoliatum*)
  11. Swamp azalea (*Rhododendron viscosum*)
  12. Elderberry (*Sambucus Canadensis*)
  13. Umbrella blueberry (*Vaccinium angustifolium*)
  14. Highbush blueberry (*Vaccinium corymbosum*)
  15. Bluetop (*Viburnum cassinoides*)
  16. Arrowwood (*Viburnum dentatum*)
  17. Highberry (*Viburnum lentago*)
  18. Black haw (*Viburnum prunifolium*)
  19. American cranberry (*Viburnum trilobum*)
- TREES**
- One or more trees can be added to a rain garden, depending upon its size. Caution should be used though, as a tree can quickly take over the garden and create a different look. Remember, most trees all grow very large unless they are purposely kept small. If a tree is desired, the following types are recommended:
20. Tree birch (*Betula nigra*)
  21. Red maple (*Acer rubrum*)
  22. Sweetgum (*Liquidambar styraciflua*)

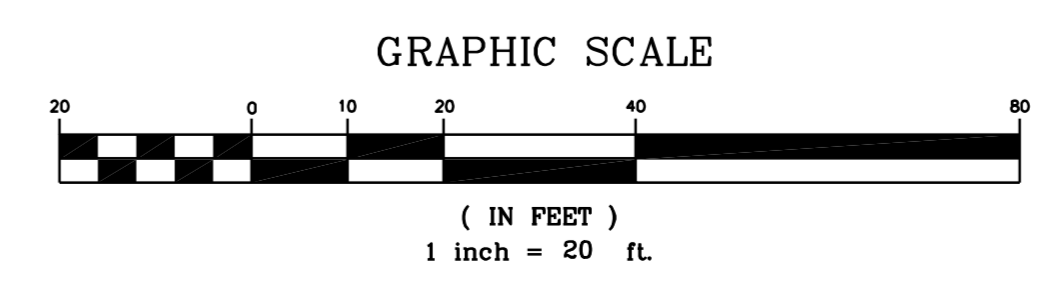
THESE PLANS ARE THE SOLE PROPERTY OF J. ROBERT PFANNER & ASSOCIATES, P.C. AND HAVE BEEN PREPARED SOLELY FOR THIS OWNER ON THIS SITE. ANY REPRODUCTION OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM J. ROBERT PFANNER & ASSOCIATES, P.C. MAY BE AN INFRINGEMENT OF THE FEDERAL COPYRIGHT ACT.

DRAWN BY: RDP		DATE: MAY 9, 2022	
NO.	DATE	DESCRIPTION	BY

**J. ROBERT PFANNER & ASSOCIATES, P.C.**  
 CIVIL ENGINEERS & LAND SURVEYORS

37 GRAND STREET NIANTIC, CONNECTICUT 06357  
 TEL. 860-739-6216 FAX 860-739-0693

**LIGHTING/LANDSCAPE PLAN**



TITLE:  
**IMPROVEMENT LOCATION SURVEY-ZONING**  
 PREPARED FOR  
**CHRIS MANWARING**

LOCATION: 23-25 BLACK POINT ROAD, NIANTIC, CONNECTICUT

SHEET NUMBER  
**4**  
 OF  
**4**  
 21052-4