

# "138 POST" ELDERLY HOUSING

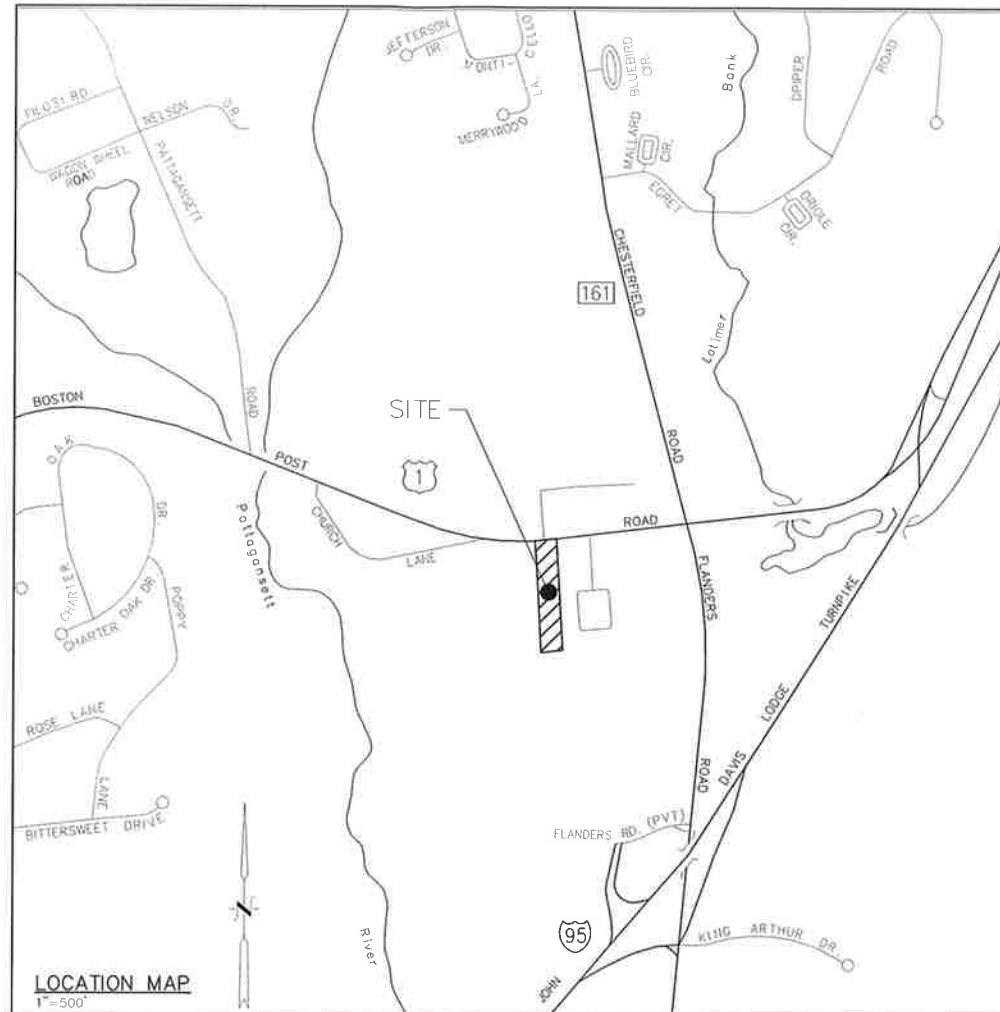
PREPARED FOR 138 BPR LLC  
138 BOSTON POST ROAD - MAP 31.1 LOT 7  
EAST LYME, CONNECTICUT

### DRAWING INDEX:

TITLE	DWG. NO.	SHEET NO.
SITE PLAN	SP-1	1 OF 11
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E&S PLAN	ES-1	3 OF 11
E&S NARRATIVE AND CONSTRUCTION DETAILS	ES-2	4 OF 11
SIGHT LINE PLAN	SL-1	5 OF 11
SU-30 VEHICLE TURNING PLANS	TTP-1	6 OF 11
CONSTRUCTION DETAILS	CD-1	7 OF 11
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CONSTRUCTION DETAILS	CD-4	10 OF 11
ADS INFILTRATION SYSTEM DETAILS	ADS-1	11 OF 11

ORIGINAL PLAN SET  
DATED 5/26/2022

NOT FOR CONSTRUCTION  
FOR REVIEW ONLY



### LEGEND

	EXISTING PROPERTY/STREET LINE
	BUILDING SETBACK LINE
	EXISTING BUILDING (TO BE REMOVED)
	PROPOSED BUILDING
	EXISTING STONEWALL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SILT FENCE
	EXISTING SANITARY LINE
	PROPOSED SANITARY LINE
	PROPOSED ELECTRICAL LINE
	PROPOSED ROOF LEADER
	PROPOSED WATER LINE
	TEST PIT LOCATION
	EXISTING SANITARY SEWER MANHOLE
	UTILITY POLE
	PROPERTY CORNER/DRILL HOLE
	PROPOSED SPOT GRADE
	GRADE TO DRAIN
	PROPOSED AIR CONDENSING UNIT
	PROPOSED TRANSFORMER
	PROPOSED ELECTRIC METER
	PROPOSED GAS METER
	PROPOSED LIGHTING
	PROPOSED LANDSCAPING
	PROPOSED BUILDING LIGHTING
	PROPOSED MANHOLE
	PROPOSED WATER GATE VALVE

Approved by the East Lyme Zoning Commission

Title \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

### LAND SURVEYOR

GESICK & ASSOCIATES, LLC  
DONALD GESICK, R.L.S.  
19 CEDAR ISLAND AVE.  
CLINTON, CONNECTICUT 06413

### CIVIL ENGINEER

INDIGO LAND DESIGN, LLC  
JOE WREN, P.E.  
40 ELM STREET, 2ND FLOOR  
OLD SAYBROOK, CONNECTICUT 06475

### ARCHITECT

PETER J. SPRINGSTEEL ARCHITECT, LLC  
105 STARR STREET  
MYSTIC, CONNECTICUT 06355

### PROPERTY OWNER/PROJECT APPLICANT

138 BPR LLC  
6 MANSEWOOD ROAD  
OLD LYME, CONNECTICUT 06371

**GENERAL NOTES:**

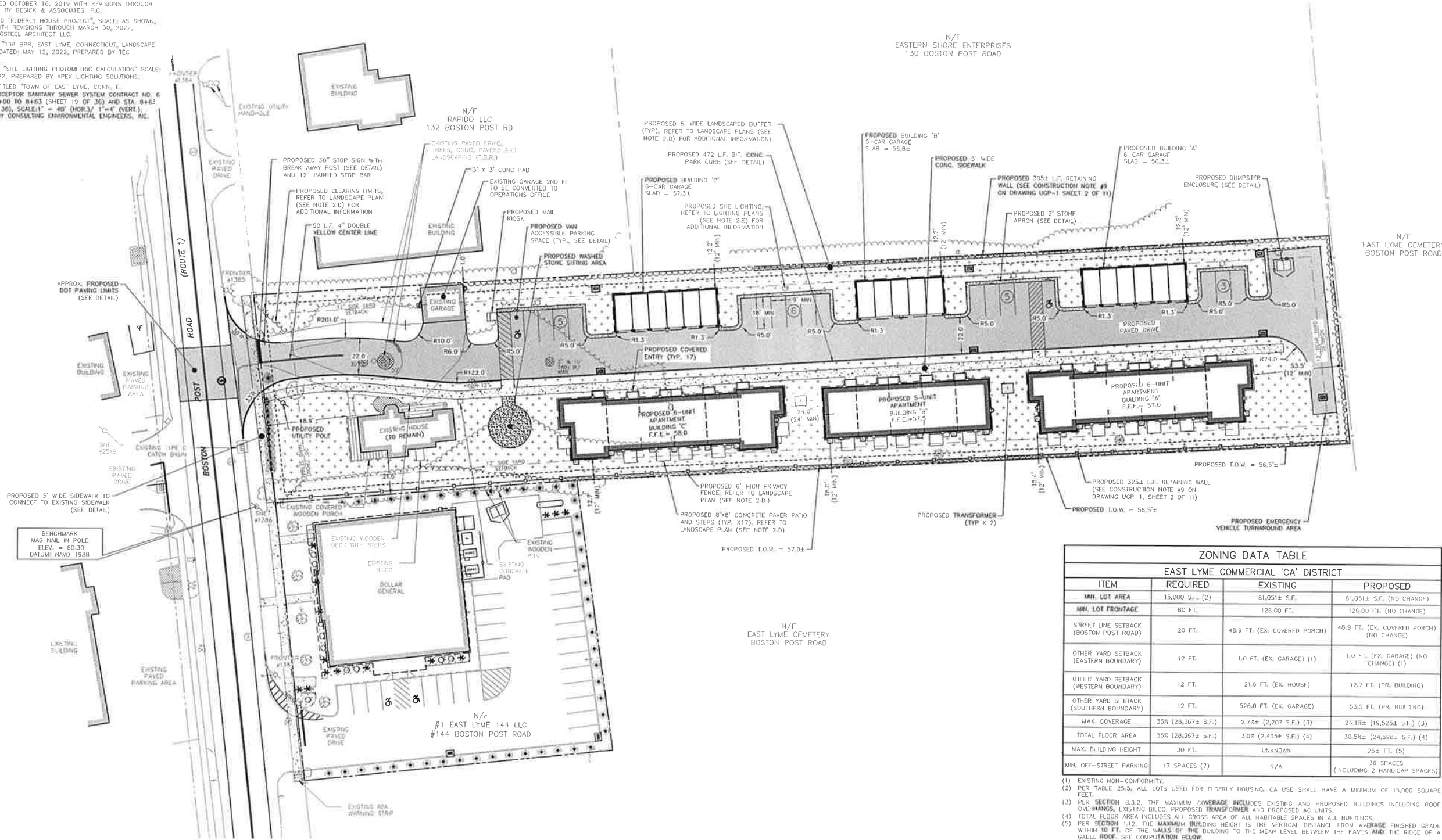
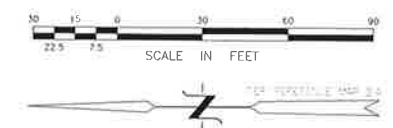
- REFER TO THE FOLLOWING DRAWINGS AND REPORTS FOR ADDITIONAL INFORMATION.
  - SP-1: SITE PLAN
  - UGP-1: GRADING AND UTILITY PLAN
  - SL-1: SIGN LIGHT PLAN
  - TP-1: SU-30 VEHICLE TURNING PLANS
  - ES-1: EKS PLAN
  - ES-2: EKS NARRATIVE AND CONSTRUCTION DETAILS
  - CD-1: CONSTRUCTION DETAILS
  - CD-2: CONSTRUCTION DETAILS
  - CD-3: CONSTRUCTION DETAILS
  - CD-4: CONSTRUCTION DETAILS
  - ADS-1: ADS INFILTRATION SYSTEM DETAILS
  - ARCHITECTURAL BUILDING PLAN SET PREPARED BY PETER J. SPRINGSTEEL ARCHITECT LLC (REFERENCE MAP 2.C)
  - LANDSCAPE PLANS PREPARED BY TEC LANDSCAPE DESIGN (REFERENCE MAP 2.D)
  - SITE LIGHTING PLANS PREPARED BY APEX LIGHTING SOLUTIONS (REFERENCE MAP 2.E)
  - ALL MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PREPARED BY PROJECT MEP ENGINEER.
- THIS PLAN WAS COMPILED USING THE FOLLOWING INFORMATION:
  - A CLASS A-2 SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF 138 BOSTON POST ROAD (AKA ROUTE 1), EAST LYME, CONNECTICUT, PREPARED FOR 138 BPR LLC," SCALE: 1"=20', DATED: MAY 13, 2021, PREPARED BY GESICK & ASSOCIATES, P.C.
  - A CLASS A-2 SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF 144 BOSTON POST ROAD (AKA ROUTE 1), EAST LYME, CONNECTICUT, PREPARED FOR ART LYNARES," SCALE: 1"=20', DATED: OCTOBER 16, 2019 WITH REVISIONS THROUGH JANUARY 28, 2020, PREPARED BY GESICK & ASSOCIATES, P.C.
  - ARCHITECTURAL PLANS ENTITLED "ELDERLY HOUSE PROJECT," SCALE: AS SHOWN, DATED: DECEMBER 13, 2021, WITH REVISIONS THROUGH MARCH 30, 2022, PREPARED BY PETER J. SPRINGSTEEL ARCHITECT LLC.
  - LANDSCAPING PLANS ENTITLED "138 BPR, EAST LYME, CONNECTICUT, LANDSCAPE PLAN LP-1," SCALE: 1"=20', DATED: MAY 12, 2022, PREPARED BY TEC LANDSCAPE DESIGN, INC.
  - SITE LIGHTING PLANS ENTITLED "SITE LIGHTING PHOTOMETRIC CALCULATION" SCALE: 1"=20', DATED: MAY 20, 2022, PREPARED BY APEX LIGHTING SOLUTIONS.
  - SANITARY SEWER ASBUILTS ENTITLED "TOWN OF EAST LYME, CONN. C. PATRANGALIS/FLANDERS INTERCEPTOR SANITARY SEWER SYSTEM CONTRACT NO. 6 - BOSTON POST ROAD STA 0+00 TO +4+63 (SHEET 19 OF 36) AND STA 0+463 TO STA 13+40 (SHEET 20 OF 36), SCALE: 1"=40' (HOR.) / 1"=4' (VERT.), DATED: NO DATE, PREPARED BY CONSULTING ENVIRONMENTAL ENGINEERS, INC.

**GENERAL NOTES (CONTINUED):**

- THE APPLICANT IS 138 BPR LLC OF 138 BOSTON POST RD., EAST LYME, CT 06333.
- THE SUBJECT PARCEL IS IDENTIFIED AS LOT 7 ON TAX ASSESSOR'S MAP 31.1. THE DEED REFERENCE OF THE PROPERTY IS VOLUME 1053 PAGE 129. THE AREA OF THE PARCEL IS 81,051± S.F. OR 1.86 ACRES. THE PARCEL IS NOT LOCATED WITHIN THE COASTAL AREA MANAGEMENT ZONE.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE COMMERCIAL "CA" ZONING DISTRICT.
- THE APPLICANT IS PROPOSING TO CONSTRUCT 3 ELDERLY APARTMENT BUILDINGS (17 UNITS), 3 PROPOSED GARAGE BUILDINGS, A PAVED DRIVE, AND OTHER ASSOCIATED IMPROVEMENTS.
- THE PURPOSE OF THIS PLAN IS FOR REVIEW BY THE TOWN OF EAST LYME ZONING COMMISSION (SPECIAL PERMIT SECTION 8.2.B - ELDERLY HOUSING), TOWN STAFF AND CONNECTICUT DOT.
- THIS PROPERTY IS SERVED BY PUBLIC WATER AND A PUBLIC SANITARY SEWER.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL PROPOSED BUILDING INFORMATION (REF. 2.C).
- ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD-88 DATUM PER REF. MAP 2.A.
- NO SIGNS ARE PROPOSED AT THIS TIME. THE APPLICANT WILL SUBMIT A SEPARATE FUTURE APPLICATION FOR ALL PROPOSED SIGNS AND WILL BE RESPONSIBLE FOR THEIR PERMITTING AND INSTALLATION.

**LANDSCAPING NOTES:**

- REFER TO LANDSCAPING PLAN BY TEC LANDSCAPE DESIGN, LLC DATED 5/12/2022 FOR ALL PLANT LOCATIONS AND INFORMATION.
- ALL PLANTING LOCATIONS ARE APPROXIMATE AND MAY BE ADJUSTED DUE TO ACTUAL FIELD CONDITIONS.
- ALL PLANTINGS MUST BE IN HEALTHY, GROWING CONDITION WHEN INSTALLED. ALL PLANTINGS SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE INSTALLATION DATE.
- ALL TREES SHALL BE PLANTED IN ACCORDANCE WITH STANDARD LANDSCAPING PRACTICES. PLANTINGS SHOULD BE INSTALLED BETWEEN MARCH 1 AND JUNE 30 OR BETWEEN SEPTEMBER 1 AND NOVEMBER 1, WEATHER PERMITTING.
- ALL UTILITY LOCATIONS SHALL BE MARKED PRIOR TO INSTALLATION OF TREES AND SHRUBS. CONTACT CALL BEFORE YOU DIG 800-922-4455. THE LANDSCAPING CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE VERIFIED AND MARKED IN THE FIELD.
- PROPOSED GROUND COVER AROUND ALL NEW TREES AND SHRUBS SHALL BE CEDAR BARK MULCH OR EQUIVALENT (SEE DETAILS).
- ALL LAWN AREAS SHALL BE PREPARED WITH 6" (MIN.) TOPSOIL.
- LANDSCAPING AND SITE WORK SHALL BE FREE OF DEBRIS AND IN LIKE NEW CONDITION.



ZONING DATA TABLE			
EAST LYME COMMERCIAL 'CA' DISTRICT			
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	15,000 S.F. (2)	81,051± S.F.	81,051± S.F. (NO CHANGE)
MIN. LOT FRONTAGE	80 FT.	126.00 FT.	126.00 FT. (NO CHANGE)
STREET LINE SETBACK (BOSTON POST ROAD)	20 FT.	48.9 FT. (EX. COVERED PORCH)	48.9 FT. (EX. COVERED PORCH) (NO CHANGE)
OTHER YARD SETBACK (EASTERN BOUNDARY)	12 FT.	1.0 FT. (EX. GARAGE) (1)	1.0 FT. (EX. GARAGE) (NO CHANGE) (1)
OTHER YARD SETBACK (WESTERN BOUNDARY)	12 FT.	21.6 FT. (EX. HOUSE)	12.7 FT. (FR. BUILDING)
OTHER YARD SETBACK (SOUTHERN BOUNDARY)	12 FT.	526.0 FT. (EX. GARAGE)	53.5 FT. (FR. BUILDING)
MAX. COVERAGE	35% (28,367± S.F.)	2.78% (2,207 S.F.) (3)	24.18% (19,525± S.F.) (3)
TOTAL FLOOR AREA	35% (28,367± S.F.)	3.0% (2,405± S.F.) (4)	30.5% (24,698± S.F.) (4)
MAX. BUILDING HEIGHT	30 FT.	UNKNOWN	26± FT. (5)
MIN. OFF-STREET PARKING	17 SPACES (7)	N/A	36 SPACES (INCLUDING 2 HANDICAP SPACES)

- EXISTING NON-COMFORMITY.
- PER TABLE 25.5, ALL LOTS USED FOR ELDERLY HOUSING, CA USE SHALL HAVE A MINIMUM OF 15,000 SQUARE FEET.
- PER SECTION 8.3.2, THE MAXIMUM COVERAGE INCLUDES EXISTING AND PROPOSED BUILDINGS INCLUDING ROOF OVERHANGS, EXISTING BILCO, PROPOSED TRANSFORMER AND PROPOSED AC UNITS.
- TOTAL FLOOR AREA INCLUDES ALL GROSS AREA OF ALL HABITABLE SPACES IN ALL BUILDINGS.
- PER SECTION 11.2, THE MAXIMUM BUILDING HEIGHT IS THE VERTICAL DISTANCE FROM AVERAGE FINISHED GRADE WITHIN 10 FT. OF THE WALLS OF THE BUILDING TO THE MEAN LEVEL BETWEEN THE EAVES AND THE RIDGE OF A GABLE ROOF. SEE COMPUTATION BELOW.  
MAX. BUILDING HEIGHT = 82.125 (MEAN ROOF ELEV.) - 56.5± (AVERAGE FINISHED GRADE ELEV.) = 25.625±
- PER SECTION 25.5, REQUIRED FLOOR AREA IN UNITS SHALL CONTAIN NOT LESS THAN 650 S.F. FOR ONE BEDROOM AND 800 S.F. FOR EACH TWO BEDROOM UNIT.
- PER SECTION 22.1.4, ELDERLY HOUSING - ONE SPACE FOR EACH DWELLING UNIT.  
MINIMUM OFF-STREET PARKING = 1 SPACES PER UNIT + 17 UNITS = 17 SPACES

PLAN PREPARED BY:  
**INDIGO** LANDSCAPE DESIGN, LLC  
 JOSEPH WARE, P.E.  
 CT REG. NO. 21090  
 40 ELM STREET, 2ND FLOOR  
 OLD SAYBROOK, CT 06475  
 PHONE: (860) 388-8943  
 FAX: (860) 391-8854

THE UNCHANGED SEAL OF THE ENGINEER MUST BE APPLIED TO THIS MAP TO BE VALID.

NO.	DATE	DESCRIPTION

**SITE PLAN**  
 PREPARED FOR 138 BPR LLC.  
 138 BOSTON POST ROAD, MAP 31.1 LOT 7  
 EAST LYME, CONNECTICUT

DATE: MAY 26, 2022  
 SCALE: 1"=30'  
 DRAWN BY: ST  
 CHECKED BY: JW  
 DWG. NO.: SP-1  
 SHEET NO.: 1 of 11  
 JOB. NO.: 2021-777

**CONSTRUCTION NOTES:**

- REFER TO THE FOLLOWING DRAWINGS AND REPORTS FOR ADDITIONAL INFORMATION:
  - SP-1) SITE PLAN
  - UGP-1) GRADING AND UTILITY PLAN
  - SL-1) SIGHT LINE PLAN
  - TP-1) 50-30 VEHICLE TURNING PLANS
  - ES-1) E&S PLAN
  - ES-2) E&S NARRATIVE AND CONSTRUCTION DETAILS
  - CD-1) CONSTRUCTION DETAILS
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**CONSTRUCTION NOTES (CONTINUED):**

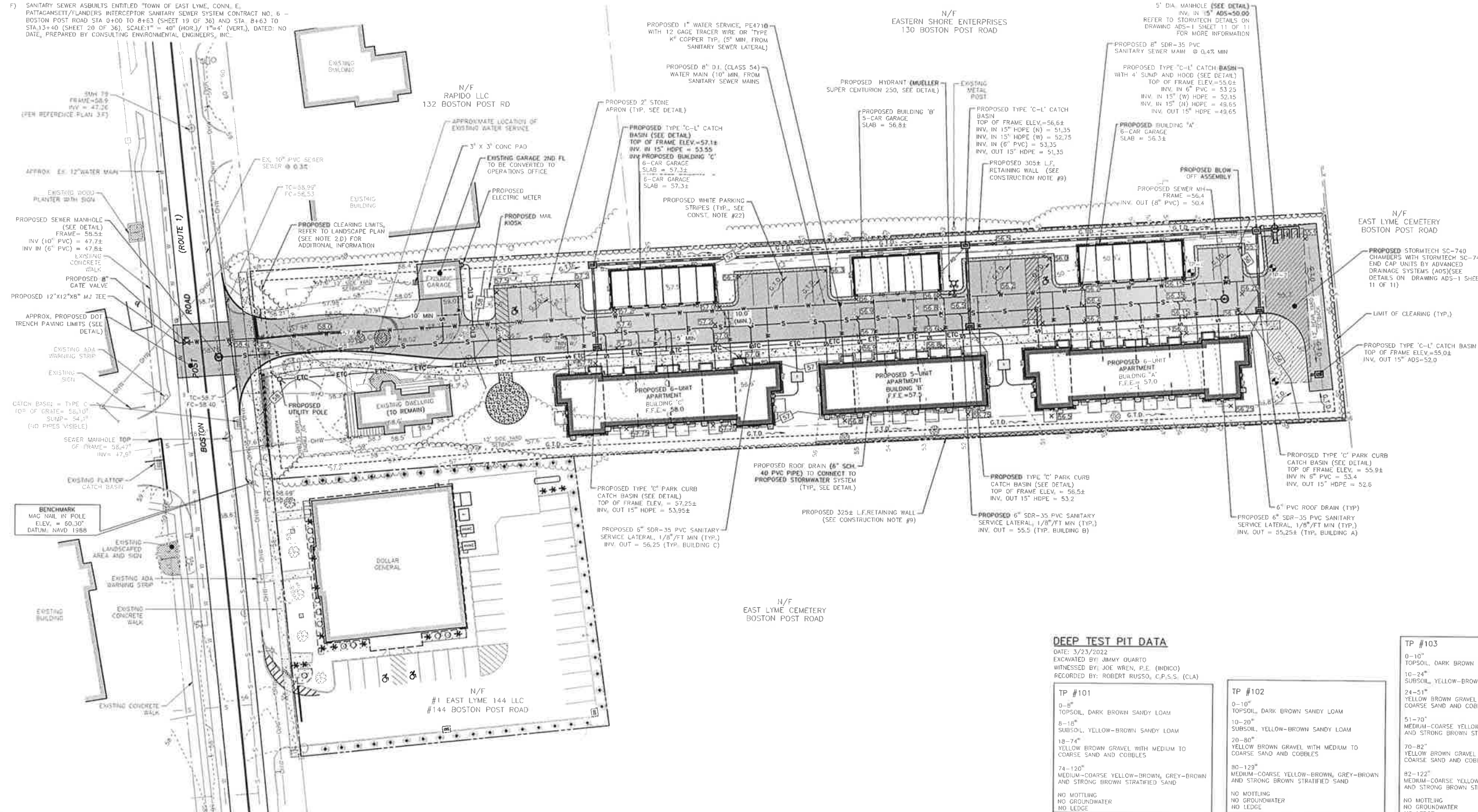
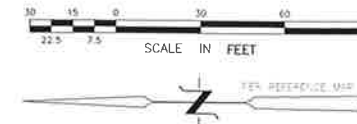
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATIONS AND INFORMATION PROVIDED BY OTHERS. THEIR ACTUAL LOCATION MAY VARY FROM THOSE INDICATED AND ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO MARK OUT ALL UNDERGROUND UTILITIES A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE TOWN OF EAST LYME STANDARDS AND REGULATIONS.
- ALL PROPERTY LINES SHALL BE VERIFIED IN THE FIELD. NO PRIVATE PROPERTY SHALL BE DISTURBED UNLESS PROPER RIGHTS ARE OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND CONFORMING TO ALL PERMITS, CONNECTICUT D.O.T. ENCROACHMENT PERMIT, AND ALL BONDING AND INSURANCE REQUIRED BY THE TOWN OF EAST LYME, CONNECTICUT D.O.T. AND CUSTODIAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL OBTAIN, REVIEW AND ADHERE TO ALL REQUIREMENTS AND ANY CONDITIONS OF APPROVAL OF THE TOWN OF EAST LYME AND CONNECTICUT D.O.T.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND STREETS FROM ANY EROSION AND/OR SEDIMENTATION.
- ALL PROPOSED RETAINING WALLS SHALL BE DESIGNED BY OTHERS AS NECESSARY AND SHALL CONFORM TO ALL BUILDING CODE REQUIREMENTS INCLUDING ANY NECESSARY FALL PROTECTION PROVISIONS.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL JOINTS BETWEEN EXISTING AND NEW PAVEMENT SHALL BE PROPERLY SAWCUT, TACK COATED AND SEALED AS APPLICABLE. ALL PROPOSED JOINTS SHALL BE FLUSH AND MATCH EXISTING GRADES.
- ALL PROPOSED IMPROVEMENTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION.
- ALL EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED. THE CONTRACTOR SHALL GRADE THE PROPERTY IN SUCH A MANNER TO MAINTAIN EXISTING LOCAL DRAINAGE PATTERNS AND TO PREVENT EXCESS RUNOFF AND/OR PONDING ON ADJACENT PROPERTIES, BOTH DURING AND AFTER CONSTRUCTION.
- ROOF LEADERS SHALL BE 6" (MIN.) SCHEDULE 40 PVC ASTM D1785 - LOCATIONS AND SIZES OF ROOF DRAINS PROVIDED BY THE PROJECT ARCHITECT OR MEP ENGINEER SHALL SUPERSEDE THESE PLANS. ALL ROOF LEADERS SHALL BE DIRECTED TO THE PROPOSED STORMWATER SYSTEM AND SUBSURFACE STORMWATER CHAMBERS AS SHOWN.
- ALL UTILITY DEMANDS AND SIZES AND OPTIMAL BUILDING ENTRY LOCATIONS, SITE LIGHTING WIRING, UNDER SLAB UTILITY CONNECTIONS, AND ALL OTHER UTILITY RELATED INFORMATION SHALL BE DETERMINED BY THE PROJECT MEP ENGINEER OR ARCHITECT. REFER TO PROJECT BUILDING PLANS FOR DETAILED INFORMATION.

**CONSTRUCTION NOTES (CONTINUED):**

- GENERAL LOT GRADING AND THE FINISHED FLOOR ELEVATION OF THE PROPOSED BUILDING ARE BASED ON AVAILABLE INFORMATION. THESE ELEVATIONS MAY BE ADJUSTED BY THE CONTRACTOR TO CONFORM TO ACTUAL FIELD CONDITIONS UPON REVIEW AND APPROVAL OF THE DESIGN ENGINEER.
- FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS WHERE FEASIBLE.
- NO SIGNS ARE PROPOSED AT THIS TIME. THE APPLICANT WILL SUBMIT A SEPARATE FUTURE APPLICATION FOR ALL PROPOSED SIGNS AND WILL BE RESPONSIBLE FOR THEIR PERMITTING AND INSTALLATION.
- THE PROPOSED BUILDINGS AND IMPROVEMENTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE BUILDING AND IMPROVEMENTS IN THE EXACT LOCATION SHOWN AND SHALL BE CONSTRUCTED TO THE EXACT DIMENSIONS SHOWN ON THE LATEST SITE AND ARCHITECTURAL PLANS IN ACCORDANCE WITH TOWN APPROVALS. ALL DIMENSIONS SHALL ACCOUNT FOR ANY SIDING OR CLADDING.
- THE PROPOSED SITE GRADING SHALL CONFORM TO THE GRADING SHOWN ON THIS PLAN WITH MINOR ADJUSTMENTS DUE TO ACTUAL FIELD CONDITIONS. ALL RUNOFF GENERATED FROM THE PROPOSED BUILDING AND PARKING LOT SHALL BE DIRECTED TO THE PROPOSED STORMWATER INFILTRATION SYSTEM (ALSO SEE NOTE #17).
- ALL PROPOSED PAVEMENT MARKINGS SHALL BE INSTALLED IN THE LOCATIONS SHOWN WITH DURABLE, WHITE REFLECTIVE PAVEMENT MARKING PAINT AND IN ACCORDANCE WITH THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE HANDICAP PARKING SYMBOLS SHALL BE WHITE WITH STANDARD HANDICAP BLUE BACKGROUNDS. ALL SIGNS SHALL CONFORM TO MUTCD STANDARDS. ALL SIGNS LOCATED WITHIN THE STATE RIGHT-OF-WAY MUST BE MOUNTED ON A BREAKAWAY POST.
- ALL MATERIALS AND CONSTRUCTION METHODS FOR SITE WORK SHALL BE IN CONFORMANCE WITH THE CONNECTICUT D.O.T. "STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION" FORM 818, 2020 OR AS AMENDED. ANY VARIATION FROM THIS SPECIFICATION SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION.
- PRIOR TO FINAL ACCEPTANCE, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH.
- A PRE-CONSTRUCTION MEETING WITH THE DESIGN TEAM, CONDOT AND TOWN OFFICIALS IS REQUIRED.
- ALL CURBING SHALL MATCH EXISTING CURBING AND/OR TAPER (2" MIN.) TO LIGHT FINISHED GRADE, AS APPLICABLE.

**CONSTRUCTION NOTES (CONTINUED):**

- A LICENSED LAND SURVEYOR SHALL PREPARE AN AS-BUILT INCLUDING THE SITE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED DEVELOPMENT. THE LOCATIONS OF ALL UNDERGROUND UTILITIES AND ALL THE COMPONENTS OF THE STORMWATER TREATMENT SYSTEM THE AS-BUILT SHALL BE COMPLETED IN A TIMELY MANNER AND SHALL BE PROVIDED TO THE EAST LYME ZONING DEPARTMENT UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC SAFETY AND MANAGEMENT FOR ALL PROPOSED WORK ON ROUTE 1 AND WITHIN THE ROUTE 1 RIGHT-OF-WAY.



**DEEP TEST PIT DATA**

DATE: 3/23/2022  
 EXCAVATED BY: JIMMY QUARTO  
 WITNESSED BY: JOE WREN, P.E. (INDICO)  
 RECORDED BY: ROBERT RUSSO, C.P.S.S. (CLA)

TP #101	TP #102
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5-10\"/>	10-20\"/>
10-15\"/>	20-30\"/>
15-20\"/>	30-40\"/>
20-25\"/>	40-50\"/>
25-30\"/>	50-60\"/>
30-35\"/>	60-70\"/>
35-40\"/>	70-80\"/>
40-45\"/>	80-90\"/>
45-50\"/>	90-100\"/>
NO MOTTLING NO GROUNDWATER NO LEDGE	NO MOTTLING NO GROUNDWATER NO LEDGE

**TP #103**

0-10\"/>
10-20\"/>
20-30\"/>
30-40\"/>
40-50\"/>
50-60\"/>
60-70\"/>
70-80\"/>
80-90\"/>
90-100\"/>
NO MOTTLING NO GROUNDWATER NO LEDGE

**UTILITY & GRADING PLAN**  
 PREPARED FOR 138 BPR LLC.  
 138 BOSTON POST ROAD, MAP 31.1 LOT 7  
 EAST LYME, CONNECTICUT

DATE: MAY 26, 2022  
 SCALE: 1"=30'  
 DRAWN BY: ST  
 CHECKED BY: JW  
 DWG. NO.: UGP-1  
 SHEET NO.: 2 of 11  
 JOB NO.: 2021-777

PLAN PREPARED BY:  
**INDIGO**  
 INDIGO LAND DESIGN, LLC  
 JOSEPH WREN, P.E.  
 CT REG. NO. 21090  
 40 ELM STREET, 2ND FLOOR  
 OLD SAYBROOK, CT 06457  
 PH: (860) 391-8843  
 FAX: (860) 391-8854

THE CHANGING OF THE  
 LOCATION OF THE  
 APPROVED MAP TO THE  
 MAP TO THE PLAN

NO.	DESCRIPTION	DATE

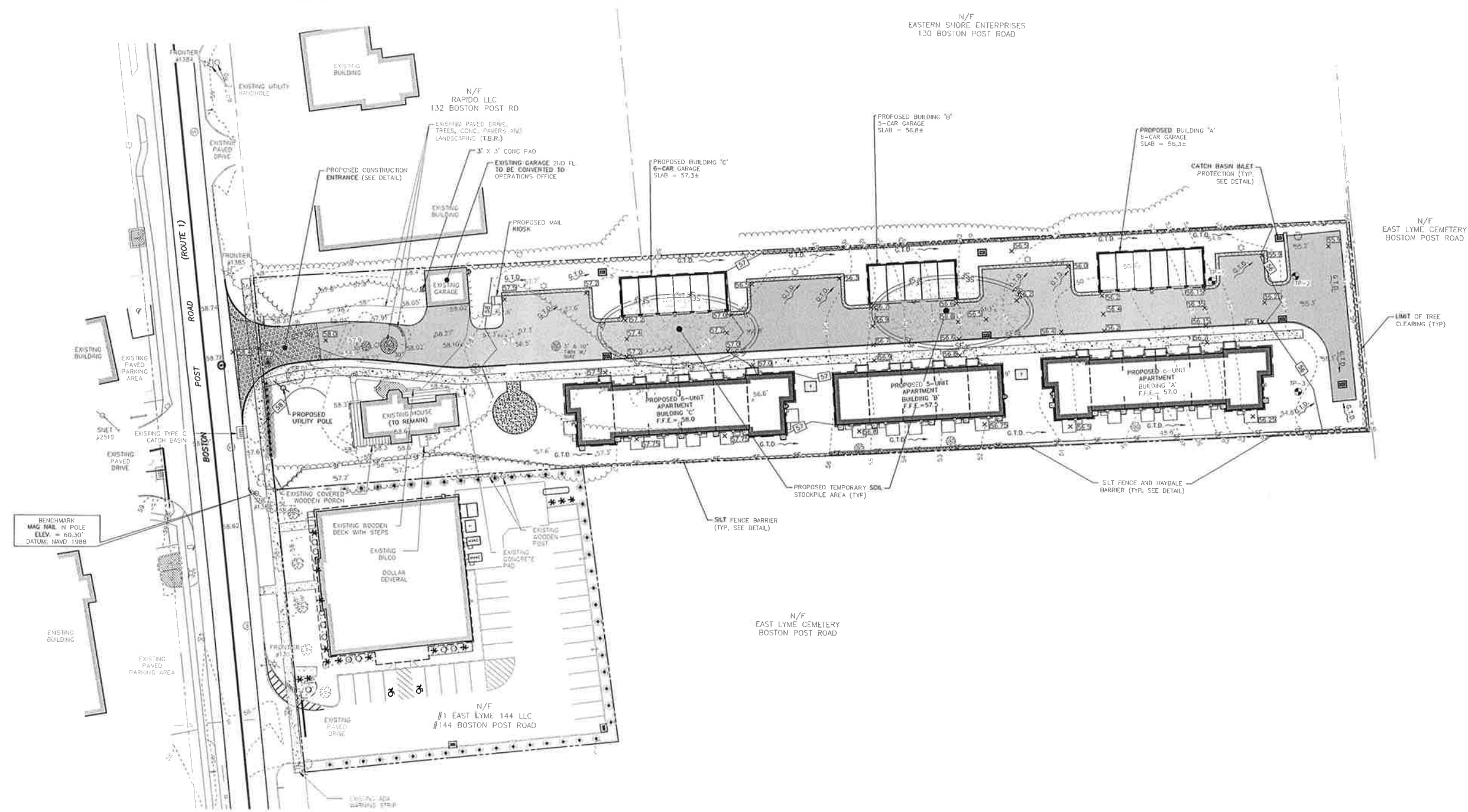
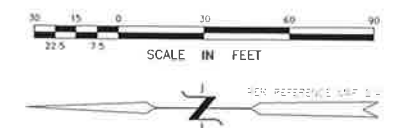
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2. THIS PLAN WAS COMPILED USING THE FOLLOWING INFORMATION:

- A) A CLASS A-2 SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF 138 BOSTON POST ROAD (AKA ROUTE 1), EAST LYME, CONNECTICUT, PREPARED FOR 138 BPR LLC.", SCALE: 1"=20', DATED: MAY 13, 2021, PREPARED BY GESICK & ASSOCIATES, P.C.
- B) A CLASS A-2 SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF 144 BOSTON POST ROAD (AKA ROUTE 1), EAST LYME, CONNECTICUT, PREPARED FOR ART LINARES", SCALE: 1"=20', DATED OCTOBER 16, 2019 WITH REVISIONS THROUGH JANUARY 28, 2020, PREPARED BY GESICK & ASSOCIATES, P.C.
- C) ARCHITECTURAL PLANS ENTITLED "ELDERLY HOUSE PROJECT", SCALE: AS SHOWN, DATED DECEMBER 13, 2021 WITH REVISIONS THROUGH MARCH 30, 2022, PREPARED BY PETER J. SPRINGSTEEL ARCHITECT LLC.
- D) LANDSCAPING PLANS ENTITLED "138 BPR, EAST LYME, CONNECTICUT, LANDSCAPE PLAN LP-1", SCALE: 1"=20', DATED: MAY 12, 2022, PREPARED BY TEC LANDSCAPE DESIGN, INC.
- E) SITE LIGHTING PLANS ENTITLED "SITE LIGHTING PHOTOMETRIC CALCULATION" SCALE: 1" = 20', DATED MAY 20, 2022, PREPARED BY APEX LIGHTING SOLUTIONS.
- F) SANITARY SEWER ASBUILTS ENTITLED "TOWN OF EAST LYME, CONN. E. PATYAGANSETT/FLANDERS INTERCEPTOR SANITARY SEWER SYSTEM CONTRACT NO. 6 - BOSTON POST ROAD STA 0+00 TO 8+63 (SHEET 19 OF 36) AND STA. 8+63 TO STA.13+40 (SHEET 20 OF 36), SCALE: 1" = 40' (HOR.)/ 1"=4' (VERT.), DATED: NO DATE, PREPARED BY CONSULTING ENVIRONMENTAL ENGINEERS, INC.



PLAN PREPARED BY:  
 PETER J. SPRINGSTEEL ARCHITECT, LLC  
 JOSEPH WREN, P.E.  
 CT REG. NO. 21090  
 40 ELM STREET, 2ND FLOOR  
 OLD SAYBROOK, CT 06475  
 PHONE: (860) 386-9343  
 FAX: (860) 391-8854

INDIGO  
 THE COMPASSION SCALE OF  
 THE CROWLER SOCIETY  
 1000 1/2 N. 10TH ST.  
 MADE IN THE U.S.A.

NO.	DATE	DESCRIPTION

**E&S PLAN**  
 PREPARED FOR 138 BPR LLC.  
 138 BOSTON POST ROAD, MAP 31.1 LOT 7  
 EAST LYME, CONNECTICUT

DATE: MAY 26, 2022  
 SCALE: 1"=30'  
 DRAWN BY: ST  
 CHECKED BY: JW  
 DWG. NO.: ES-1  
 SHEET NO.: 3 of 11  
 JOB NO.: 2021-777

**SOIL EROSION & SEDIMENTATION CONTROL PLAN NARRATIVE**

THE SITE CONTRACTOR MUST FOLLOW ALL GUIDELINES SET FORTH IN THE MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION. THIS MANUAL IS ALSO KNOWN AS DEEP BULLETIN 34.

**PROJECT DESCRIPTION**

THE APPLICANT IS PROPOSING TO CONSTRUCT 3 ELDERLY BUILDINGS, 3 PROPOSED GARAGES, A PAVED DRIVE AND OTHER ASSOCIATED IMPROVEMENTS. CONSTRUCTION IS ANTICIPATED TO COMMENCE AS SOON AS POSSIBLE. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES. E & S CONTROLS SHALL BE MAINTAINED AND REPAIRED OR REPLACED AS NEEDED THROUGHOUT THE CONSTRUCTION DURATION. ALL E & S CONTROLS SHALL BE REMOVED AND PROPERLY DISPOSED OF AS SOON AS THE SITE IS COMPLETELY STABILIZED.

**CONSTRUCTION SEQUENCE**

1. CONTACT "CALL BEFORE YOU DIG" TO MARK OUT ALL UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITIES
2. ENSURE ALL LAND USE PERMITS HAVE BEEN SECURED. OBTAIN ALL NECESSARY PERMITS.
3. LAND SURVEYOR TO STAKE OUT CLEARING LIMITS AND PROPOSED IMPROVEMENTS.
4. INSTALL ALL EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION ENTRANCE.
5. REMOVE ALL TREES, BRUSH AND STUMPS.
6. STRIP AND STOCKPILE TOPSOIL AND OTHER EXCAVATED SOILS IN AREA(S) SHOWN ON PLAN. APPLY TEMPORARY SEED MIXTURE TO PILES IF THEY WILL NOT BE DISTURBED FOR MORE THAN 30 DAYS.
7. CONSTRUCT RETAINING WALLS AND STORMWATER INFILTRATION SYSTEM.
8. ROUGH GRADE DRIVEWAY AND PARKING AREAS.
9. CONSTRUCT THE FOUNDATIONS FOR THE PROPOSED BUILDINGS.
10. FRAME AND CONSTRUCT THE PROPOSED BUILDING.
11. INSTALL BASINS AND ALL UTILITIES.
12. FINISH GRADE DRIVEWAY AND PARKING AREAS AND PAVE PER PLAN (BINDER COURSE ONLY).
13. INSTALL SURFACE COURSE PAVEMENT AND STRIPE PARKING AREAS.
14. FINISH GRADE AND SEED AND MULCH ALL OTHER DISTURBED AREAS AS REQUIRED.
15. INSTALL ALL LANDSCAPING AND LIGHTING POLES/FIXTURES.
16. REMOVE ALL EROSION AND SEDIMENT CONTROLS ONCE SITE IS COMPLETELY STABILIZED. DISPOSE OF PROPERLY.

**LAND DISTURBANCE**

1. ALL EXISTING VEGETATION OUTSIDE OF THE CLEARING LIMITS SHALL BE PROTECTED. EXISTING VEGETATION SHALL BE REMOVED ONLY IN AREAS NECESSARY FOR SITE CONSTRUCTION ACTIVITIES. ANY ADDITIONAL CLEARING OUTSIDE OF THE PROPOSED CLEARING LIMITS SHALL BE APPROVED BY TOWN STAFF PRIOR TO CLEARING.
2. ALL AREAS SHALL REMAIN UNDISTURBED UNTIL IMMEDIATELY PRIOR TO SITE DEVELOPMENT.
3. ALL CONSTRUCTION EQUIPMENT, MATERIALS AND STOCKPILES SHALL NOT BE PLACED OUTSIDE OF THE DISTURBED AREAS.
4. ALL TREES, BRUSH, STUMPS, WOOD CHIPS OR OTHER ORGANIC MATTER SHALL BE DISPOSED OF PROPERLY OFF-SITE. WOOD CHIPS MAY BE USED AS A SILTATION BARRIER DURING CONSTRUCTION AND SPREAD AFTER SITE IS STABILIZED. NO ORGANIC MATTER INCLUDING TREES, BRUSH AND STUMPS SHALL BE BURIED ON-SITE.

**STRIPPING AND STOCKPILING**

ALL STOCKPILES THAT CONSIST OF ERODIBLE MATERIALS SHALL BE LOCATED WITHIN AREAS AS SHOWN ON THE SITE PLAN AND SURROUNDED BY A SILTATION BARRIER. ANY STOCKPILE THAT WILL REMAIN UNDISTURBED FOR A PERIOD LONGER THAN 30 DAYS SHALL BE SEED WITH A TEMPORARY GRASS SEED MIXTURE TO PREVENT EXCESSIVE EROSION AND SEDIMENTATION.

**TRENCH EXCAVATION AND BACKFILL**

THE CONTRACTOR SHALL PROPERLY MAINTAIN ALL BACKFILLED EXCAVATIONS, ANY DEPRESSIONS DUE TO SETTLING IN THESE AREAS SHALL BE FILLED AND RESEED AS NECESSARY. THE WIDTH OF ALL EXCAVATED TRENCHES SHALL BE KEPT AS NARROW AS PRACTICABLE TO ACCOMMODATE THE WORK. ALL MATERIALS EXCAVATED FROM TRENCHES SHALL BE STOCKPILED AND USED AS TRENCH BACKFILL MATERIAL UNLESS IT IS DETERMINED TO BE UNSUITABLE BY THE ENGINEER. EXCESS MATERIALS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.

**SOIL EROSION AND SEDIMENT CONTROLS**

ALL ADJACENT PROPERTIES AND RECEIVING WATERCOURSES AND / OR WETLAND AREAS SHALL BE ADEQUATELY PROTECTED FROM SOIL EROSION AND SEDIMENTATION BOTH DURING AND AFTER CONSTRUCTION.

ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED BY THE TOWN AND SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS BEFORE, DURING AND AFTER CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ALL EROSION AND SEDIMENT CONTROLS ONCE THE SITE IS COMPLETELY STABILIZED.

ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER ALL RAINFALL EVENTS. E & S CONTROLS SHALL BE REPAIRED OR REPLACED AS NECESSARY WITHIN 24 HOURS THROUGHOUT THE CONSTRUCTION DURATION. IF NECESSARY, A TEMPORARY FILTER FABRIC SILT BARRIER SHALL BE PLACED BENEATH THE GRATE OF THE PROPOSED CATCH BASIN TO PREVENT ANY SILTATION OF THE DRAINAGE SYSTEM. THE FILTER FABRIC SHALL BE REMOVED IMMEDIATELY AFTER THE SURROUNDING AREAS ARE ADEQUATELY STABILIZED.

ALL ACCUMULATED SEDIMENTS AT ALL EROSION AND SEDIMENT CONTROLS SHALL BE PERIODICALLY REMOVED AND SPREAD IN AREAS THAT ARE NOT SUBJECT TO EROSION.

THE CONTRACTOR SHALL EMPLOY BEST MANAGEMENT PRACTICES TO CONTROL STORMWATER DISCHARGES AND TO PREVENT EROSION AND SEDIMENTATION AND TO OTHERWISE PREVENT POLLUTION OF WETLANDS OR WATERCOURSES OR PRIVATE PROPERTY. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE TOWN OF ANY PROBLEMS INVOLVING EROSION AND/OR SEDIMENTATION THAT HAVE DEVELOPED IN THE COURSE OF, OR THAT ARE CAUSED BY, THE AUTHORIZED WORK.

THE RESPONSIBLE CONTACT PERSON FOR THE INSTALLATION AND MAINTENANCE OR EROSION AND SEDIMENTATION CONTROLS ON THIS PROJECT WILL BE THE SITE CONTRACTOR AND / OR THE GENERAL CONTRACTOR. ONCE THE GENERAL CONTRACTOR IS SELECTED, CONTACT INFORMATION WILL BE PROVIDED TO THE TOWN.

**VEGETATIVE TUBE ESTABLISHMENT PROCEDURE**

SCARIFY ALL AREAS TO BE TOPSOILED AND SOODED. APPLY A MINIMUM OF 6 INCHES OF TOPSOIL ON ALL AREAS TO BE SOODED, APPLY GRASS SEED, LIME, FERTILIZER AND MULCH ACCORDING TO THE FOLLOWING SCHEDULE (WHERE APPLICABLE):

PERMANENT SEED MIXTURE:	
CREEPING RED FESCUE	0.45 LBS. PER 1,000 SQ. FT.
REDTOP	0.05
TALL FESCUE	0.45
TOTAL	0.95

FERTILIZER:  
10-10-10 APPLY AT 7.5 LBS. PER 1,000 SQ. FT.

LIMESTONE:  
APPLY AT 150 LBS. PER 1,000 SQ. FT.

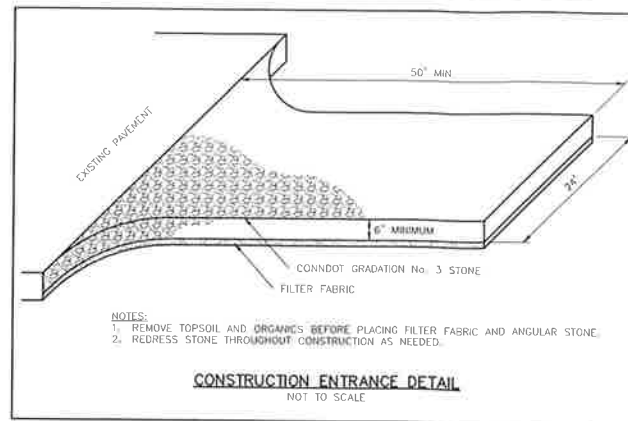
MULCHING:  
SPREAD HAY OR STRAW OVER ALL AREAS AFTER SEEDING. USE 1 1/2 TO 2 BALES PER 1,000 SQ. FT. TARGET FOR 100% COVERAGE. ANCHOR BY USING NETTING OR TRACING AS NECESSARY.

TEMPORARY EROSION CONTROL BLANKETS:  
USE TEMPORARY EROSION CONTROL BLANKETS ON ALL SEEDED SLOPES STEEPER THAN 3 (H) TO 1 (V) AND/OR AS DIRECTED BY THE DESIGN ENGINEER.

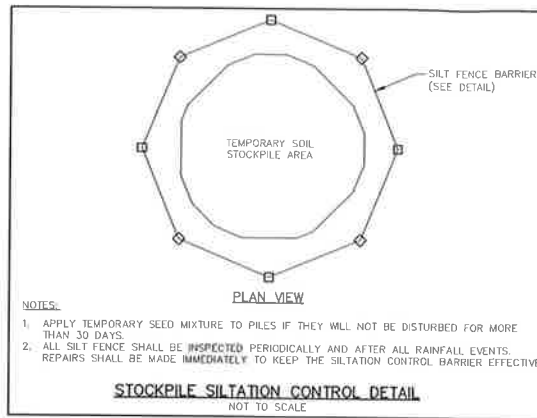
SEEDING DATES:  
SEEDING DATES IN CONNECTICUT ARE NORMALLY APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1. SEED GERMINATION NORMALLY CANNOT BE EXPECTED FROM NOVEMBER THROUGH FEBRUARY. IF ADEQUATE SEED GERMINATION IS NOT POSSIBLE DUE TO TIME OF YEAR CONSTRAINTS, MULCHING SHALL BE ADEQUATELY PROVIDED TO PROTECT THE SEED FROM WIND AND SURFACE EROSION UNTIL THE WEATHER IMPROVES AND THE SEEDING BECOMES WELL ESTABLISHED.

**DRAINAGE SYSTEM MAINTENANCE**

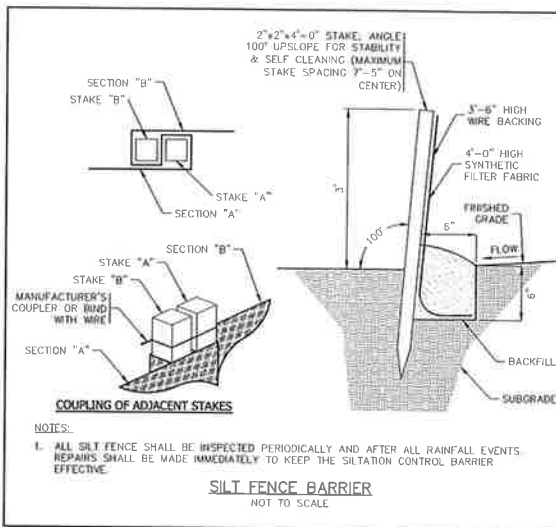
IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN THE CATCH BASINS, DRAINAGE PIPES AND THE UNDERGROUND DRAINAGE INFILTRATION SYSTEM TO ENSURE PROPER FUNCTION AND EFFICIENT OPERATION.



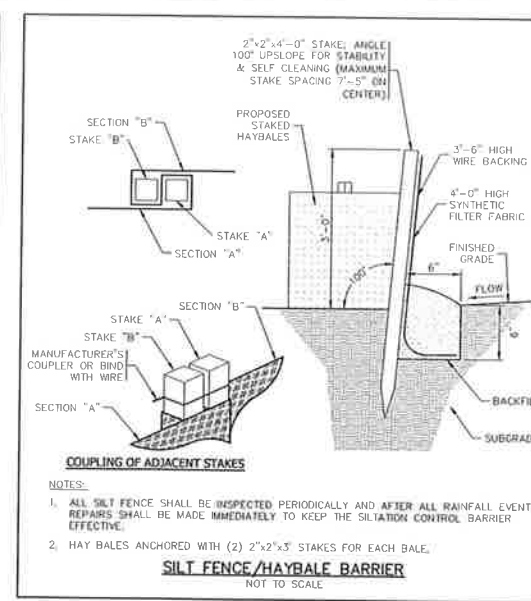
- NOTES:
1. REMOVE TOPSOIL AND ORGANICS BEFORE PLACING FILTER FABRIC AND ANGULAR STONE.
  2. REDRESS STONE THROUGHOUT CONSTRUCTION AS NEEDED.



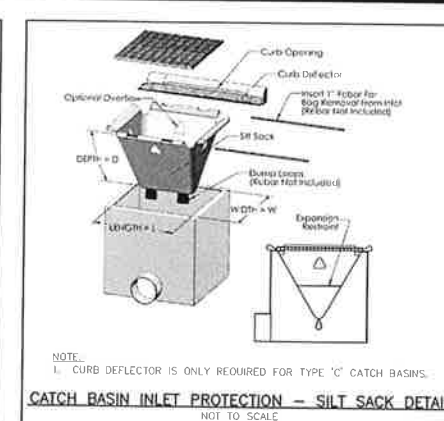
- NOTES:
1. APPLY TEMPORARY SEED MIXTURE TO PILES IF THEY WILL NOT BE DISTURBED FOR MORE THAN 30 DAYS.
  2. ALL SILT FENCE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL RAINFALL EVENTS. REPAIRS SHALL BE MADE IMMEDIATELY TO KEEP THE SILTATION CONTROL BARRIER EFFECTIVE.



- NOTES:
1. ALL SILT FENCE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL RAINFALL EVENTS. REPAIRS SHALL BE MADE IMMEDIATELY TO KEEP THE SILTATION CONTROL BARRIER EFFECTIVE.



- NOTES:
1. ALL SILT FENCE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL RAINFALL EVENTS. REPAIRS SHALL BE MADE IMMEDIATELY TO KEEP THE SILTATION CONTROL BARRIER EFFECTIVE.
  2. HAY BALES ANCHORED WITH (2) 2\"/>



- NOTE:
1. CURB DEFLECTOR IS ONLY REQUIRED FOR TYPE 'C' CATCH BASINS.

PLAN PREPARED BY:  
INDIGO ENGINEERING, LLC  
JOSEPH WREN, P.E.  
CT REG. NO. 21097  
40 ELM STREET, 2ND FLOOR  
OLD SAYBROOK, CT 06475  
PHONE: (860) 388-9343  
FAX: (860) 391-8854



THE EMPLOYED SEAL OF THE ENGINEER MUST BE ATTACHED TO BE VALID

#	DATE	DESCRIPTION	BY

**E&S PLAN, NARRATIVE AND CONSTRUCTION DETAILS**  
PREPARED FOR 138 BPR LLC.  
138 BOSTON POST ROAD, MAP 31.1 LOT 7  
EAST LYME, CONNECTICUT

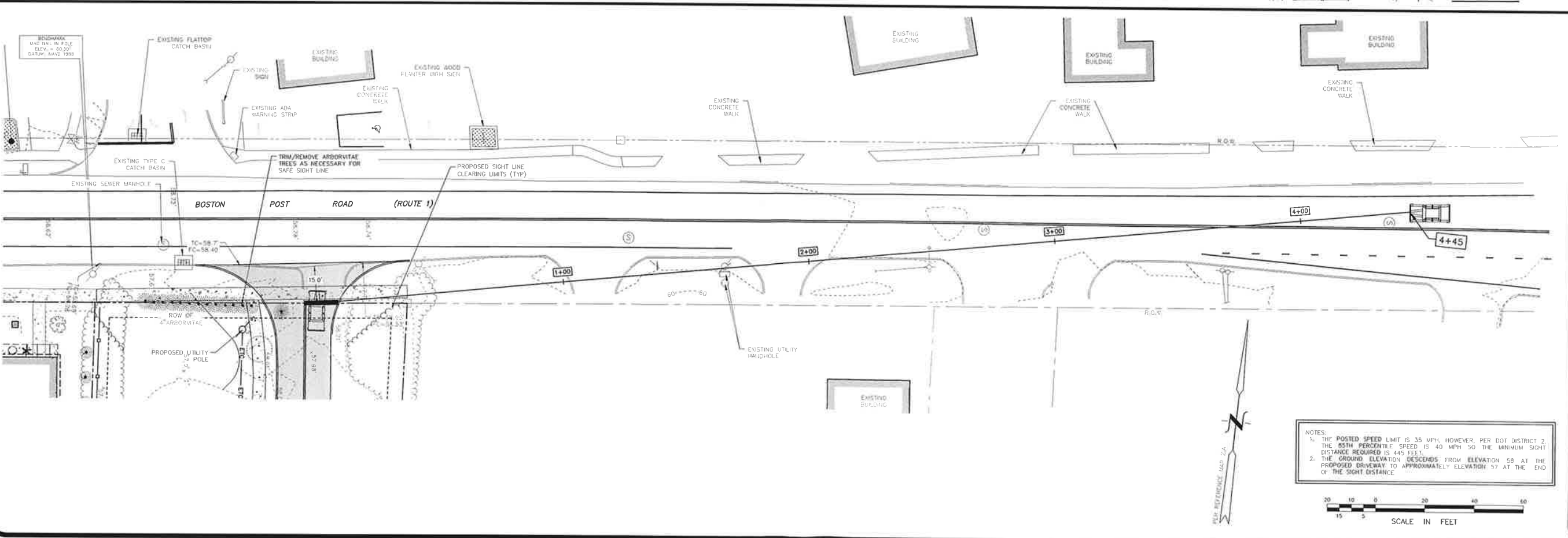
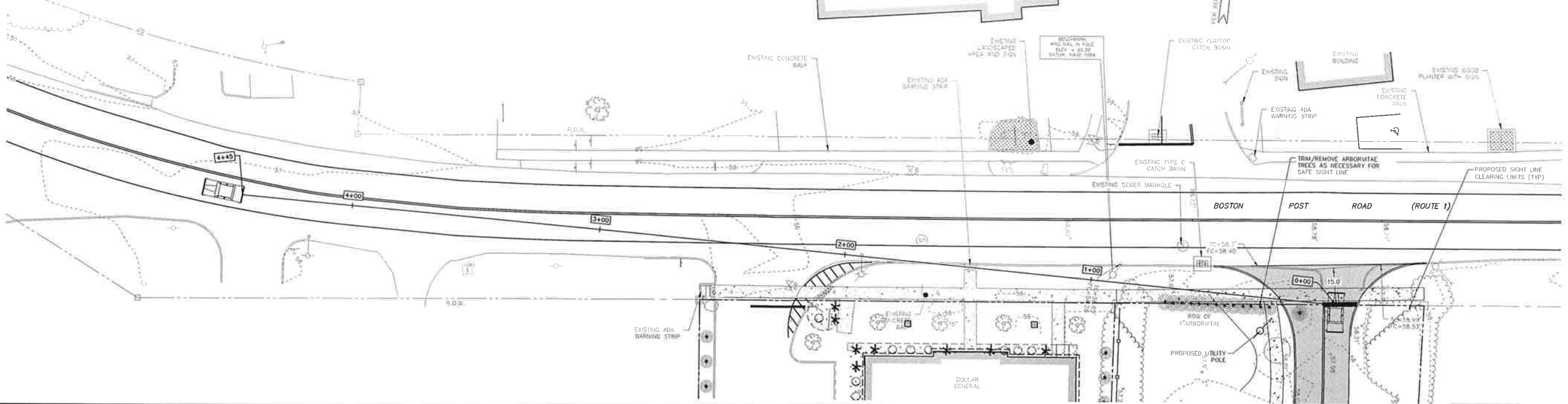
DATE: MAY 26, 2022  
SCALE: 1"=30'  
DRAWN BY: ST  
CHECKED BY: JW  
DWG. NO.: ES-2  
SHEET NO.: 4 of 11  
JOB. NO.: 2021-777

**GENERAL NOTES:**

- REFER TO THE FOLLOWING DRAWINGS AND REPORTS FOR ADDITIONAL INFORMATION:
  - SP-1: SITE PLAN
  - UGP-1: GRADING AND UTILITY PLAN
  - SL-1: SIGHT LINE PLAN
  - TIP-1: SU-30 VEHICLE TURNING PLANS
  - ES-1: E&S PLAN
  - ES-2: E&S NARRATIVE AND CONSTRUCTION DETAILS
  - CD-1: CONSTRUCTION DETAILS
  - CD-2: CONSTRUCTION DETAILS
  - CD-3: CONSTRUCTION DETAILS
  - CD-4: CONSTRUCTION DETAILS
  - ADS-1: ADS INFILTRATION SYSTEM DETAILS
  - ARCHITECTURAL BUILDING PLAN SET PREPARED BY PETER J. SPRINGSTEEL ARCHITECT LLC (REFERENCE MAP 2.C)
  - LANDSCAPE PLANS PREPARED BY TEC LANDSCAPE DESIGN (REFERENCE MAP 2.D)
  - SITE LIGHTING PLANS PREPARED BY APEX LIGHTING SOLUTIONS (REFERENCE MAP 2.E)
  - ALL MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PREPARED BY PROJECT MEP ENGINEER

**GENERAL NOTES (CONTINUED):**

- THIS PLAN WAS COMPILED USING THE FOLLOWING INFORMATION:
  - A CLASS A-2 SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF 138 BOSTON POST ROAD (AKA ROUTE 1), EAST LYME, CONNECTICUT, PREPARED FOR ART LUMINES" SCALE: 1"=20', DATED MAY 13, 2021, PREPARED BY GESICK & ASSOCIATES, P.C.
  - A CLASS A-2 SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF 144 BOSTON POST ROAD (AKA ROUTE 1), EAST LYME, CONNECTICUT, PREPARED FOR ART LUMINES" SCALE: 1"=20', DATED OCTOBER 16, 2019 WITH REVISIONS THROUGH JANUARY 28, 2020, PREPARED BY GESICK & ASSOCIATES, P.C.
  - ARCHITECTURAL PLANS ENTITLED "ELDERLY HOUSE PROJECT", SCALE: AS SHOWN, DATED DECEMBER 13, 2021 WITH REVISIONS THROUGH MARCH 30, 2022, PREPARED BY PETER J. SPRINGSTEEL ARCHITECT LLC.
  - LANDSCAPING PLANS ENTITLED "138 BPR, EAST LYME, CONNECTICUT, LANDSCAPE PLAN LP-1", SCALE: 1"=20', DATED MAY 12, 2022, PREPARED BY TEC LANDSCAPE DESIGN, INC.
  - SITE LIGHTING PLANS ENTITLED "SITE LIGHTING PHOTOMETRIC CALCULATION" SCALE: 1" = 20', DATED MAY 20, 2022, PREPARED BY APEX LIGHTING SOLUTIONS.
  - SANITARY SEWER ASBUILTS ENTITLED "TOWN OF EAST LYME, CONN., PATAGANSETTY/FLANDERS INTERCEPTOR SANITARY SEWER SYSTEM CONTRACT NO. 6 - BOSTON POST ROAD STA 0+00 TO 8+63 (SHEET 19 OF 36) AND STA. 8+63 TO STA.13+40 (SHEET 20 OF 36), SCALE:1" = 40' (HOR.), 1"=4' (VERT.).



NOTES:  
 1. THE POSTED SPEED LIMIT IS 35 MPH, HOWEVER, PER DOT DISTRICT 2, THE 85TH PERCENTILE SPEED IS 40 MPH SO THE MINIMUM SIGHT DISTANCE REQUIRED IS 445 FEET.  
 2. THE GROUND ELEVATION IS ESSENTIALLY LEVEL ALONG THE SIGHT LINE AND ONLY VARIES SLIGHTLY FROM ELEVATION 58 TO APPROXIMATELY ELEVATION 57.

NOTES:  
 1. THE POSTED SPEED LIMIT IS 35 MPH, HOWEVER, PER DOT DISTRICT 2, THE 85TH PERCENTILE SPEED IS 40 MPH SO THE MINIMUM SIGHT DISTANCE REQUIRED IS 445 FEET.  
 2. THE GROUND ELEVATION DESCENDS FROM ELEVATION 58 AT THE PROPOSED DRIVEWAY TO APPROXIMATELY ELEVATION 57 AT THE END OF THE SIGHT DISTANCE.

PLAN PREPARED BY:  
 INDIGO LAND DESIGN, LLC  
 40 ELM STREET, 2ND FLOOR  
 OLD SAYBROOK, CT 06475  
 PHONE: (860) 368-9343  
 FAX: (860) 391-8854

THE UNDESIGNED SEAL OF THE ENGINEER MUST BE AFFIXED HERE FOR THE MAP TO BE VALID

NO.	DATE	DESCRIPTION

**SIGHT LINE PLANS**  
 PREPARED FOR 138 BPR LLC.  
 138 BOSTON POST ROAD, MAP 31.1 LOT 7  
 EAST LYME, CONNECTICUT

DATE: MAY 26, 2022  
 SCALE: AS SHOWN  
 DRAWN BY: ST  
 CHECKED BY: JW  
 DWG. NO.: SL-1  
 SHEET NO.: 5 of 11  
 JOB NO.: 2021-777

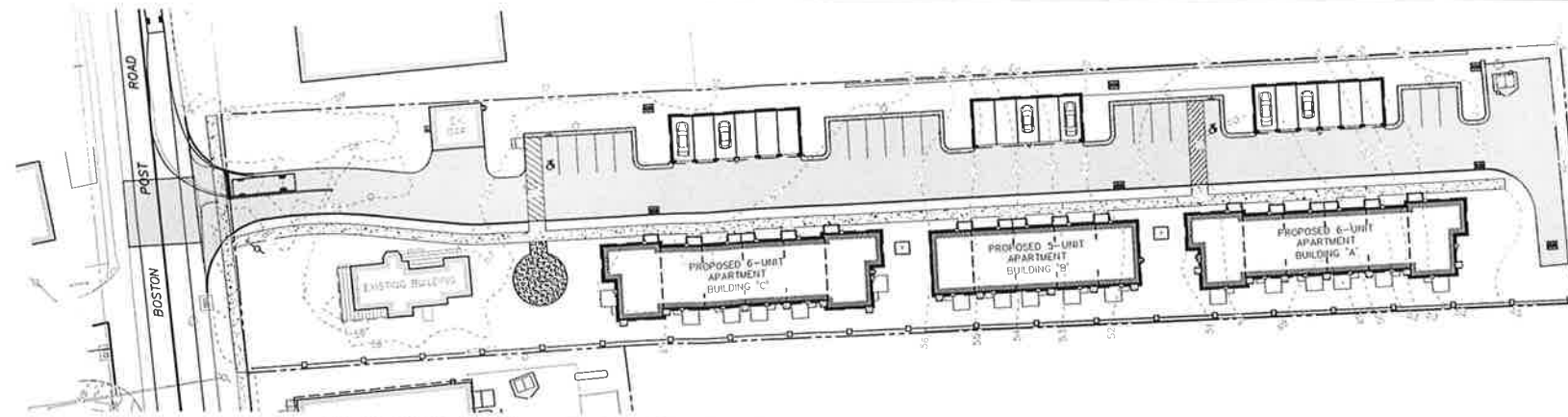
**GENERAL NOTES:**

1. REFER TO THE FOLLOWING DRAWINGS AND REPORTS FOR ADDITIONAL INFORMATION:

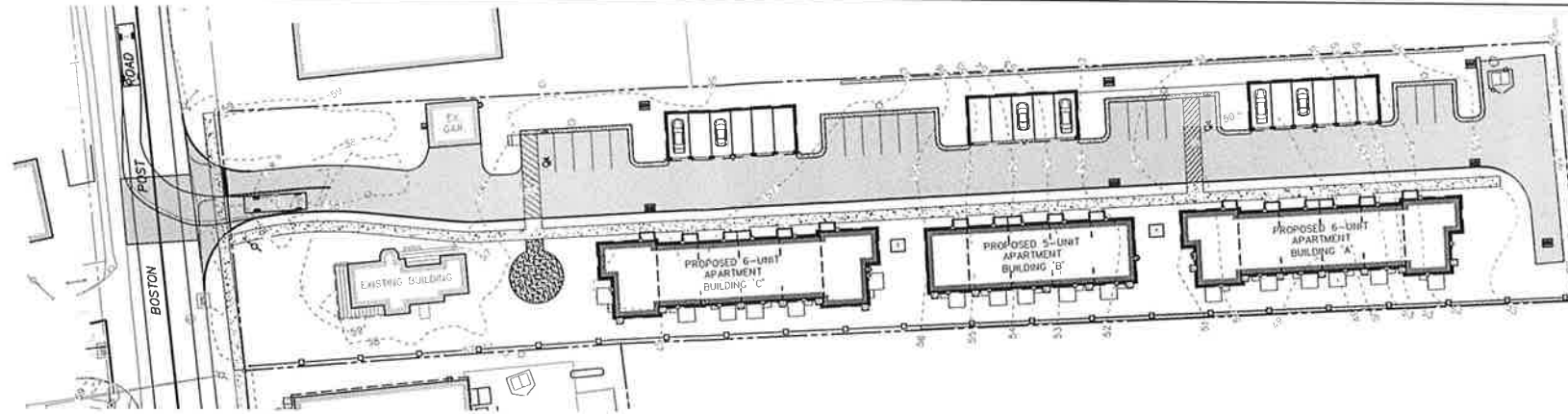
- SP-1: SITE PLAN
- UCP-1: GRADING AND UTILITY PLAN
- SL-1: SIGHT LINE PLAN
- TTP-1: SU-30 VEHICLE TURNING PLANS
- ES-1: E&S PLAN
- ES-2: E&S NARRATIVE AND CONSTRUCTION DETAILS
- CD-1: CONSTRUCTION DETAILS
- CD-2: CONSTRUCTION DETAILS
- CD-3: CONSTRUCTION DETAILS
- CD-4: CONSTRUCTION DETAILS
- ADS-1: ADS INFILTRATION SYSTEM DETAILS
- ARCHITECTURAL BUILDING PLAN SET PREPARED BY PETER J. SPRINGSTEEL ARCHITECT LLC (REFERENCE MAP 2 C)
- LANDSCAPE PLANS PREPARED BY TEC LANDSCAPE DESIGN (REFERENCE MAP 2 D)
- SITE LIGHTING PLANS PREPARED BY APEX LIGHTING SOLUTIONS (REFERENCE MAP 2 E)
- ALL MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PREPARED BY PROJECT MEP ENGINEER.

2. THIS PLAN WAS COMPILED USING THE FOLLOWING INFORMATION:

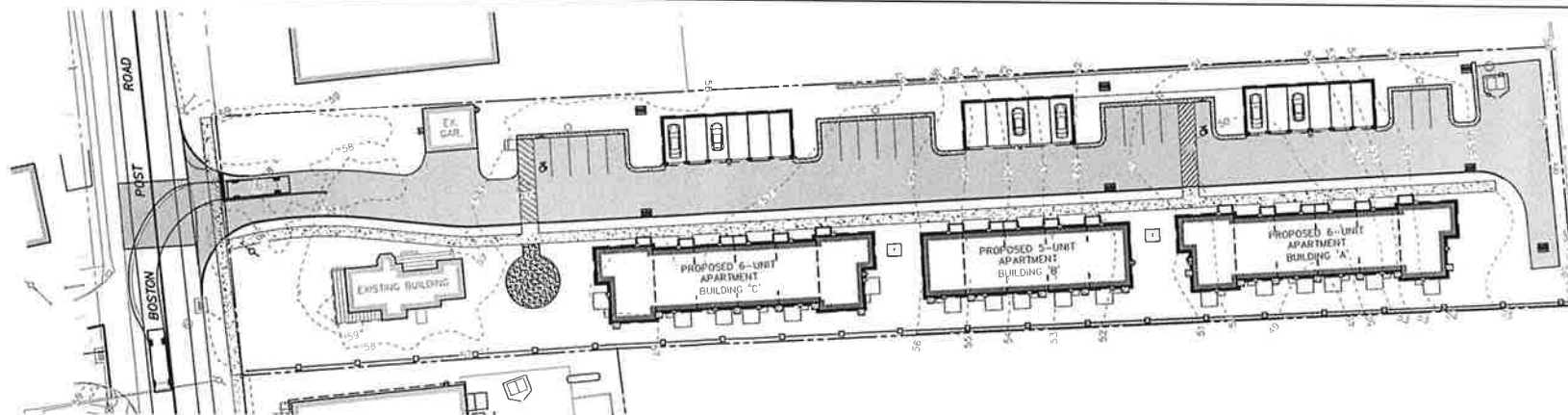
- A) A CLASS A-2 SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF 138 BOSTON POST ROAD (AKA ROUTE 1), EAST LYME, CONNECTICUT, PREPARED FOR ART LIMBKE'S, SCALE: 1"=20', DATED: MAY 13, 2021, PREPARED BY GESICK & ASSOCIATES, P.C.
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- D) LANDSCAPING PLANS ENTITLED "138 BPR, EAST LYME, CONNECTICUT, LANDSCAPE PLAN LP-1", SCALE: 1"=20', DATED, MAY 12, 2022, PREPARED BY TEC LANDSCAPE DESIGN, INC.
- E) SITE LIGHTING PLANS ENTITLED "SITE LIGHTING PHOTOMETRIC CALCULATION" SCALE: 1"=20', DATED MAY 20, 2022, PREPARED BY APEX LIGHTING SOLUTIONS.
- F) SANITARY SEWER ASBUILTS ENTITLED "TOWN OF EAST LYME, CONN. E. PATIAGANSETT/FLANDERS INTERCEPTOR SANITARY SEWER SYSTEM CONTRACT NO. 6 - BOSTON POST ROAD STA 0+00 TO 8+63 (SHEET 19 OF 36) AND STA. 8+63 TO STA.13+40 (SHEET 20 OF 36), SCALE: 1"=40' (HOR.)/ 1"=4' (VERT.).



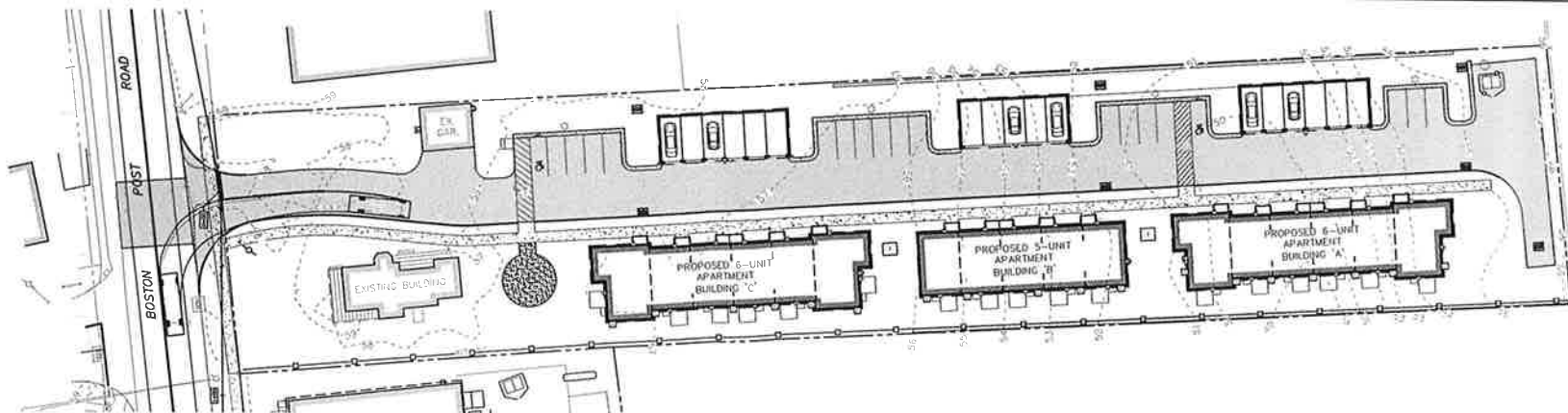
MANEUVER 'A-B' - TRUCK EXITING SITE TO MAIN ROAD (RIGHT TURN)



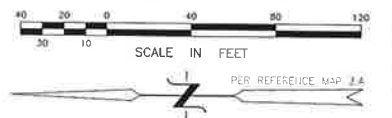
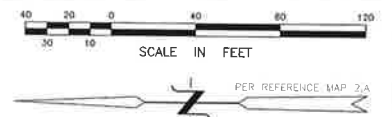
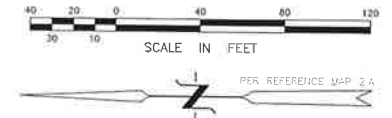
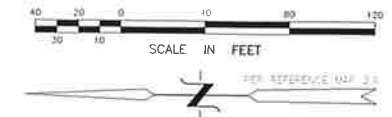
MANEUVER 'C-D' - TRUCK ENTERING SITE FROM MAIN ROAD (LEFT TURN)



MANEUVER 'E-F' - TRUCK EXITING SITE TO MAIN ROAD (LEFT TURN)



MANEUVER 'G-H' - TRUCK ENTERING SITE FROM MAIN ROAD (RIGHT TURN)



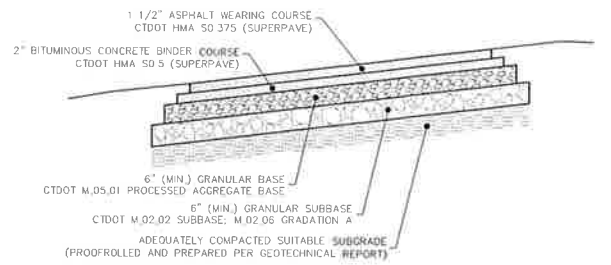
PLAN PREPARED BY:  
INDIGO ENGINEERING, LLC  
INDIGO ENGINEERING, LLC  
JOSEPH WREU, P.E.  
CT REG. NO. 21090  
40 ELM STREET, 2ND FLOOR  
OLD SAYBROOK, CT 06475  
PHONE: (860) 388-9943  
FAX: (860) 391-8854

THE EMPLOYER'S SEAL OF THE REGISTERED PROFESSIONAL ENGINEER MUST BE PLACED IN THIS AREA.

NO.	DATE	DESCRIPTION

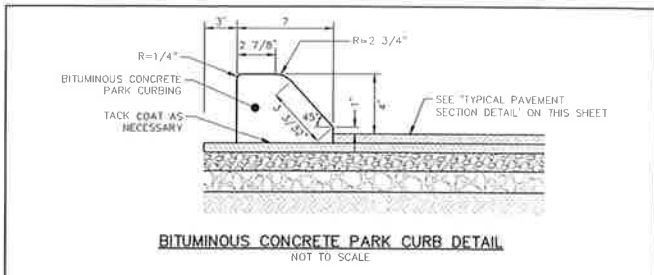
**SU-30 VEHICLE TURNING PLANS**  
PREPARED FOR 138 BPR LLC,  
138 BOSTON POST ROAD, MAP 31.1 LOT 7  
EAST LYME, CONNECTICUT

DATE: MAY 26, 2022  
SCALE: 1" = 40'  
DRAWN BY: ST  
CHECKED BY: JW  
DWG. NO.: TTP-1  
SHEET NO.: 6 of 11  
JOB NO.: 2021-777

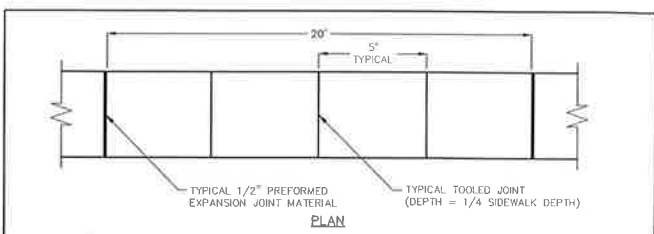


- NOTES:**
- SUBBASE MUST BE SHAPED AND PROPERLY COMPACTED PRIOR TO THE PLACEMENT OF BASE.
  - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CONNECTICUT D.O.T. STANDARD SPECIFICATIONS.
  - COMPACTION OF ALL BASE AND SUBBASE MATERIALS SHALL MEET OR EXCEED 95% PROCTOR.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND COMPACTION TESTING AND SHALL SUBMIT DOCUMENTATION FOR REVIEW.
  - EXISTING EXCAVATED MATERIALS MAY BE REUSED FOR SUBBASE IF MATERIAL IS TESTED AND CONFIRMED TO BE IN SUBSTANTIAL CONFORMANCE WITH THE PROVIDED CONDOT SPECIFICATIONS.
  - IF SHALLOW LEDGE IS ENCOUNTERED, CONTRACTOR SHALL CONSULT WITH DESIGN ENGINEER TO MAKE APPROPRIATE ADJUSTMENTS.

**TYPICAL PAVEMENT SECTION DETAIL (PARKING AREAS)**  
NOT TO SCALE

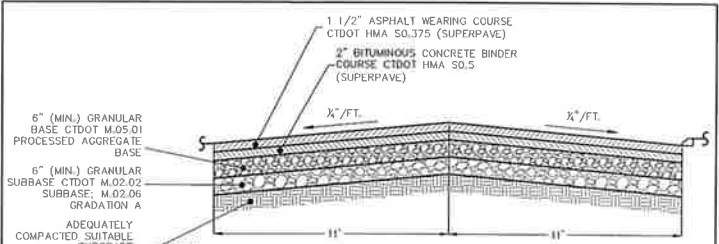


**BITUMINOUS CONCRETE PARK CURB DETAIL**  
NOT TO SCALE



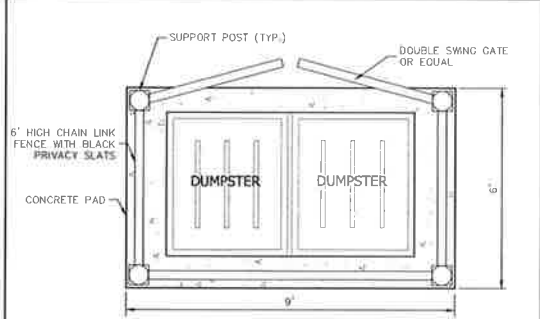
- NOTES:**
- CONCRETE SIDEWALK THICKNESS AT DRIVEWAY CROSSINGS SHALL BE INCREASED TO 8 INCHES AND ADDITIONAL REINFORCEMENT PROVIDED AS REQUIRED BY TOWN.

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



- NOTES:**
- SUBBASE MUST BE SHAPED AND PROPERLY COMPACTED PRIOR TO THE PLACEMENT OF BASE.
  - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CONNECTICUT D.O.T. STANDARD SPECIFICATIONS.
  - COMPACTION OF ALL BASE AND SUBBASE MATERIALS SHALL MEET OR EXCEED 95% PROCTOR.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND COMPACTION TESTING AND SHALL SUBMIT DOCUMENTATION FOR REVIEW.
  - EXISTING EXCAVATED MATERIALS MAY BE REUSED FOR SUBBASE IF MATERIAL IS TESTED AND CONFIRMED TO BE IN SUBSTANTIAL CONFORMANCE WITH THE PROVIDED CONDOT SPECIFICATIONS.
  - IF SHALLOW LEDGE IS ENCOUNTERED, CONTRACTOR SHALL CONSULT WITH DESIGN ENGINEER TO MAKE APPROPRIATE ADJUSTMENTS.

**TYPICAL DRIVEWAY SECTION DETAIL**  
NOT TO SCALE

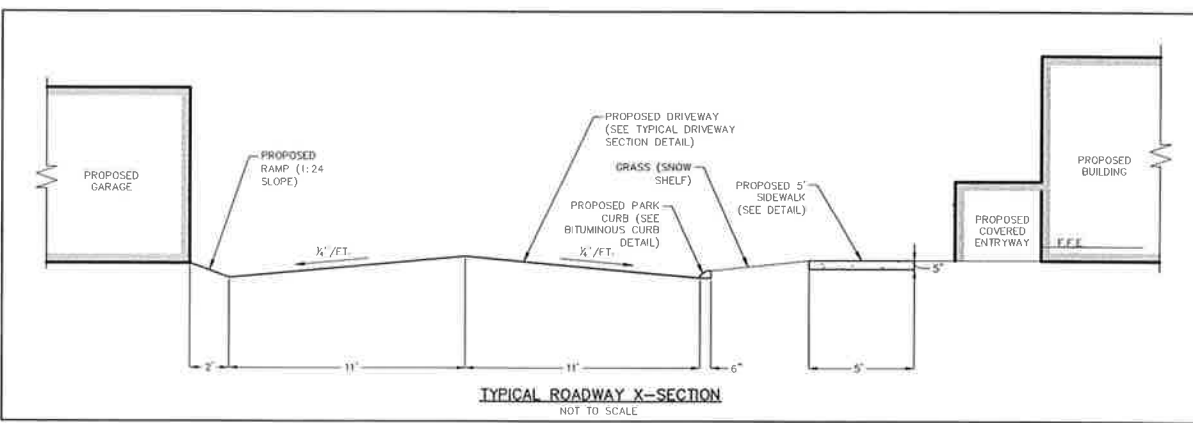


- NOTES:**
- THE FENCE SHALL BE A CHAIN LINK FENCE WITH BLACK PRIVACY SLATS UNLESS OTHERWISE SPECIFIED BY THE PROJECT ARCHITECT.
  - FENCING SHALL NOT EXCEED 6 FEET IN HEIGHT MEASURED FROM FINISHED GRADE.
  - ALL DIMENSIONS ARE INTENDED TO ACCOMMODATE THE PROPOSED DUMPSTERS.

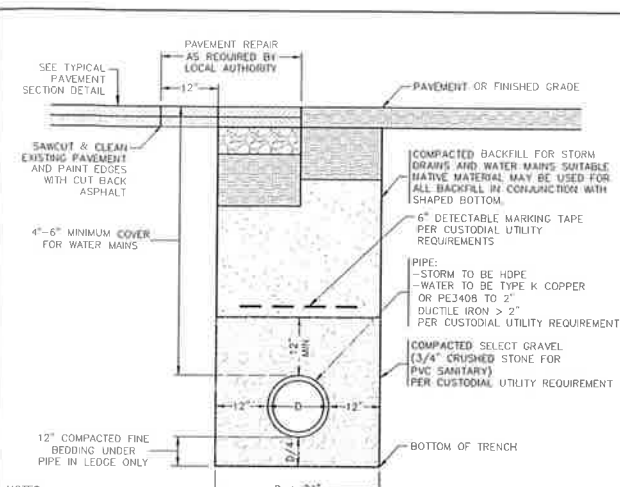
**DUMPSTER ENCLOSURE DETAIL**  
NOT TO SCALE



**STONE APRON DETAIL**  
NOT TO SCALE

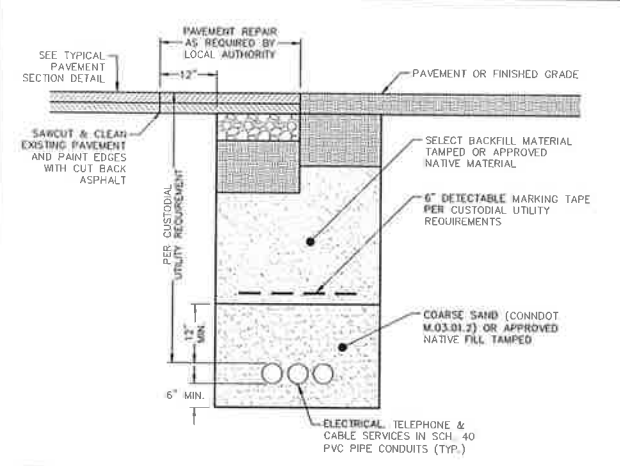


**TYPICAL ROADWAY X-SECTION**  
NOT TO SCALE



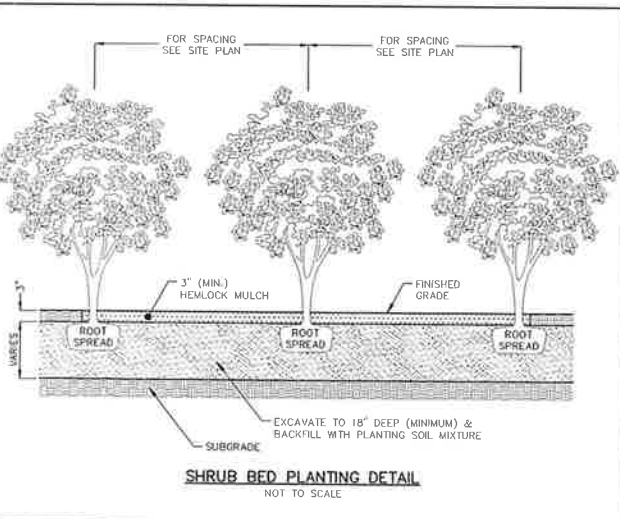
- NOTES:**
- SELECT BACKFILL MATERIAL SHALL BE BANK-RUN GRAVEL GRADATION C, FORM B18, 2020, OR PROCESSED AGGREGATE CAN BE USED IN LIEU OF BANK-RUN GRAVEL OR APPROVED NATIVE MATERIAL.
  - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CONNECTICUT DOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM B18, 2020 OR AS AMENDED.
  - ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL TOWN OF EAST LYME AND CUSTODIAL UTILITY COMPANY SPECIFICATIONS.
  - ALL PROPOSED MATERIALS SHALL BE INSTALLED AS SHOWN OR AS APPROVED BY THE TOWN OF EAST LYME AND/OR CUSTODIAL UTILITY COMPANY.

**TYPICAL TRENCH DETAIL**  
NOT TO SCALE

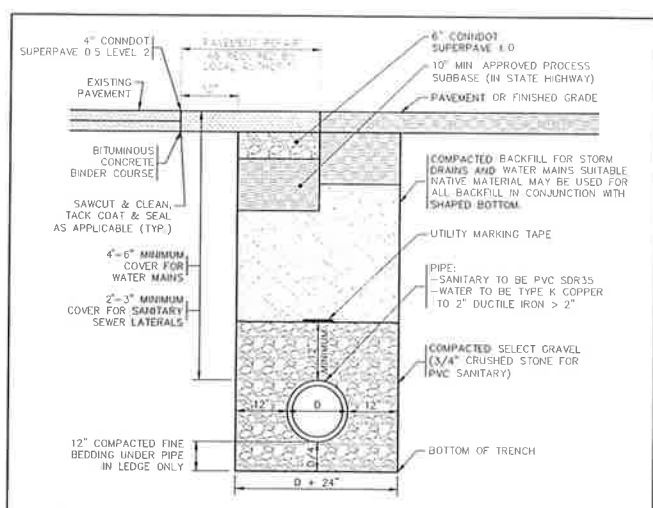


- NOTES:**
- SELECT BACKFILL MATERIAL SHALL BE BANK-RUN GRAVEL GRADATION C, FORM B18, 2020, OR PROCESSED AGGREGATE CAN BE USED IN LIEU OF BANK-RUN GRAVEL OR APPROVED NATIVE MATERIAL.
  - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CONNECTICUT DOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM B18, 2020 OR AS AMENDED.
  - ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL TOWN OF EAST LYME AND CUSTODIAL UTILITY COMPANY SPECIFICATIONS.
  - ALL PROPOSED MATERIALS SHALL BE INSTALLED AS SHOWN OR AS APPROVED BY THE TOWN OF EAST LYME AND/OR CUSTODIAL UTILITY COMPANY.

**TYPICAL UNDERGROUND UTILITY TRENCH CROSS SECTION**  
NOT TO SCALE

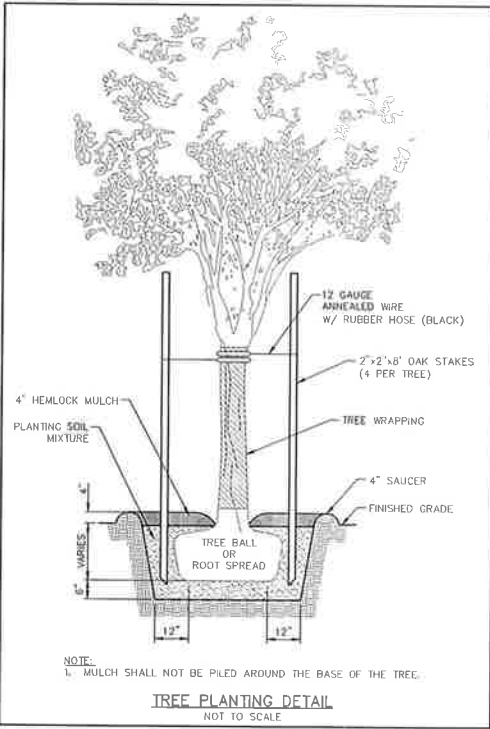


**SHRUB BED PLANTING DETAIL**  
NOT TO SCALE



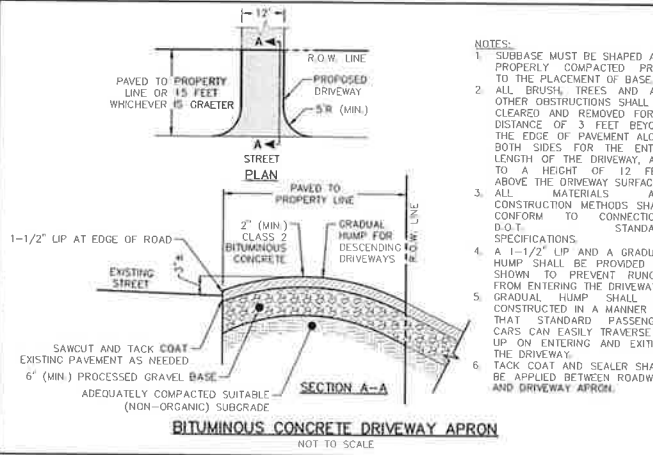
- NOTES:**
- SELECT BACKFILL MATERIAL SHALL BE BANK-RUN GRAVEL GRADATION C, FORM B18, 2020, OR PROCESSED AGGREGATE CAN BE USED IN LIEU OF BANK-RUN GRAVEL OR APPROVED NATIVE MATERIAL.
  - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CONNECTICUT DOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM B18, 2020 OR AS AMENDED.
  - ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL TOWN OF EAST LYME AND CUSTODIAL UTILITY COMPANY SPECIFICATIONS.
  - ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE TOWN OF EAST LYME AND/OR STATE REQUIREMENTS AND SPECIFICATIONS.
  - ALL PROPOSED MATERIALS SHALL BE INSTALLED AS SHOWN OR MATCH EXISTING CONDITIONS AS APPROVED BY THE TOWN AND/OR D.O.T. INSPECTOR.
  - IF REINFORCED CONCRETE PAVEMENT IS ENCOUNTERED, THE CONTRACTOR SHALL COORDINATE WITH CONNECTICUT D.O.T. DISTRICT 2 FOR ANY SPECIAL REQUIREMENTS.

**TYPICAL STATE ROADWAY TRENCH DETAIL**  
NOT TO SCALE



- NOTE:**
- MULCH SHALL NOT BE PILED AROUND THE BASE OF THE TREE.

**TREE PLANTING DETAIL**  
NOT TO SCALE



**BITUMINOUS CONCRETE DRIVEWAY APRON**  
NOT TO SCALE

PLAN PREPARED BY:  
**INDIGO** LAND DESIGN, LLC  
JOSEPH WREN, P.E.  
CT REG. NO. 21090  
40 ELM STREET, 2ND FLOOR  
OLD SHIROOK, CT 06475  
PHONE: (860) 391-8543  
FAX: (860) 391-8554

THE EMBOSSED SEAL OF  
THE REGISTERED PROFESSIONAL  
ENGINEER MUST BE AFFIXED TO  
THIS DRAWING FOR THIS  
MAP TO BE VALID

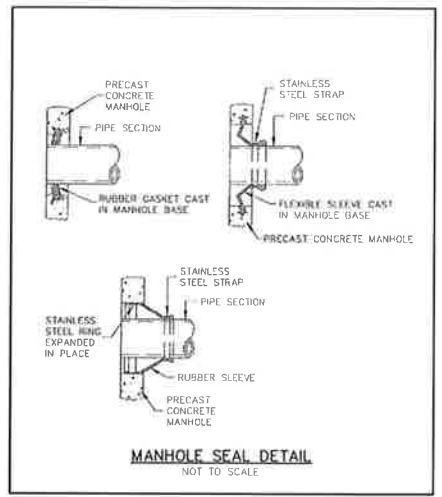
NO.	DATE	DESCRIPTION

**CONSTRUCTION DETAILS**  
PREPARED FOR 138 BRB LLC.  
138 BOSTON POST ROAD, MAP 31.1 LOT 7  
EAST LYME, CONNECTICUT

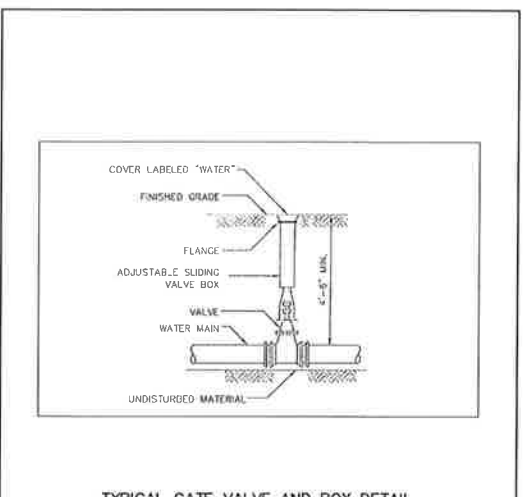
DATE: MAY 26, 2022  
SCALE: AS SHOWN  
DRAWN BY: ST  
CHECKED BY: JW  
DWG. NO.: CD-1  
SHEET NO.: 7 of 11  
JOB NO.: 2021-777



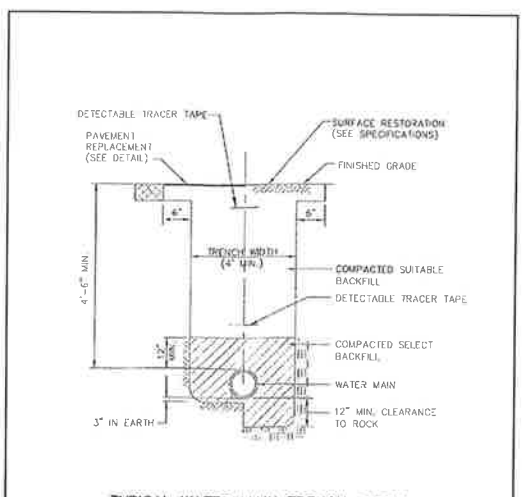




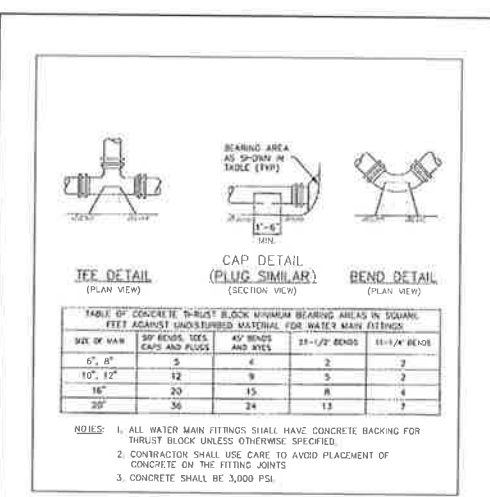
**MANHOLE SEAL DETAIL**  
NOT TO SCALE



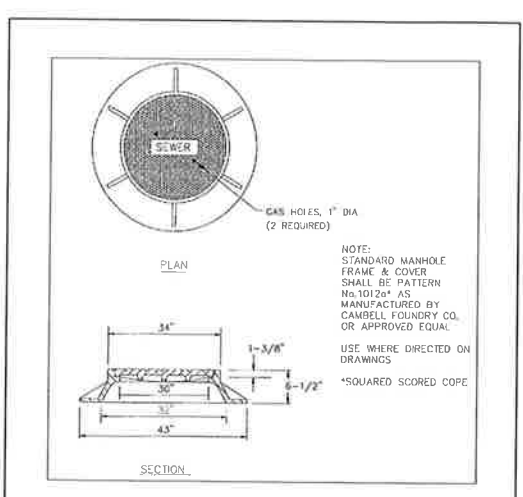
**TYPICAL GATE VALVE AND BOX DETAIL**  
NOT TO SCALE



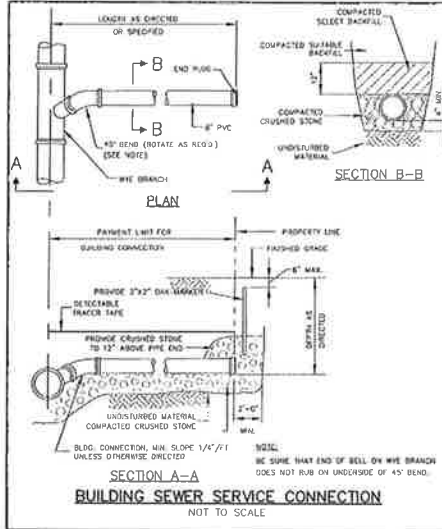
**TYPICAL WATER MAIN TRENCH DETAIL**  
NOT TO SCALE



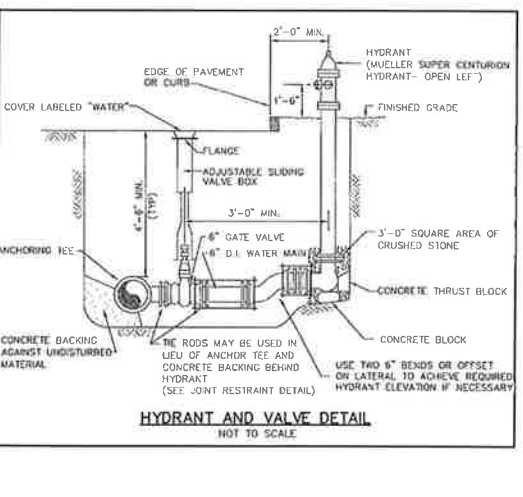
**CONCRETE THRUST BLOCK DETAIL**  
NOT TO SCALE



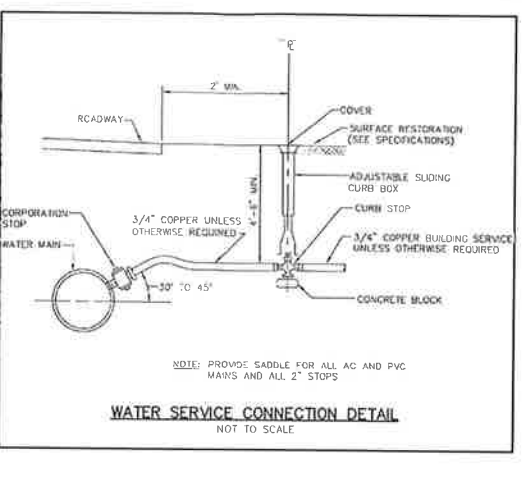
**STANDARD MANHOLE FRAME AND COVER DETAIL**  
NOT TO SCALE



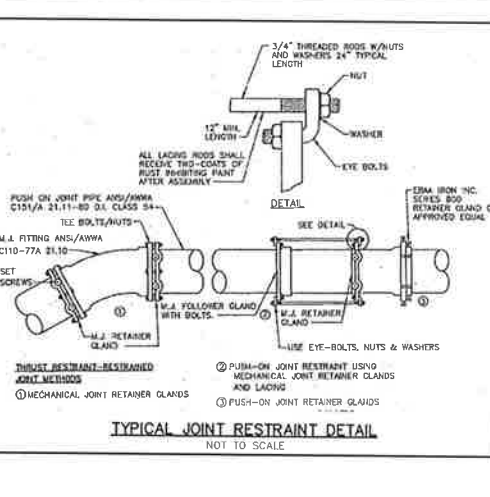
**BUILDING SEWER SERVICE CONNECTION**  
NOT TO SCALE



**HYDRANT AND VALVE DETAIL**  
NOT TO SCALE



**WATER SERVICE CONNECTION DETAIL**  
NOT TO SCALE



**TYPICAL JOINT RESTRAINT DETAIL**  
NOT TO SCALE

250 psig working pressure — 500 psig test pressure  
 A-421 4-1/2" three-way 2 hose nozzles and 1 pumper nozzle  
 A-423 5-1/4" three-way 2 hose nozzles and 1 pumper nozzle

200 psig working pressure — 400 psig test pressure  
 (Many of the same features as the Centurion 250™ hydrant)  
 A-420 4-1/2" two-way 2 hose nozzles  
 A-422 5-1/4" two-way 2 hose nozzles  
 A-424 4-1/2" one-way 1 pumper nozzle  
 A-425 5-1/4" two-way 2 pumper nozzles

**Storz pumper nozzle option —**

- Available for 5" pumper nozzles, an integral storz connection allows the fire department to connect its pumper hose to the hydrant with a quick, quarter-turn action.
- No thread alignment, cross threading or leakage problems.

**4-way with monitor elbow —**

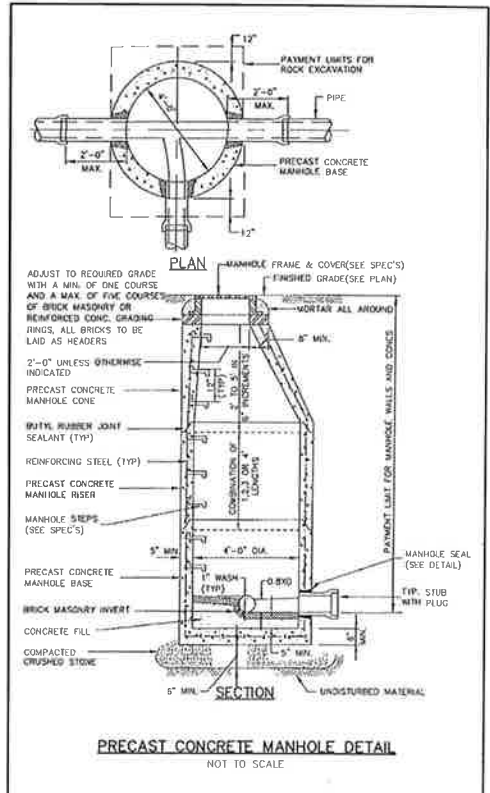
- Monitor style eliminates a possible leak path with separate monitor nozzle attachment.
- All parts interchangeable with Mueller Super Centurion 250 hydrant.
- 250 psi working pressure; 500 psi test pressure.
- Full flow 4-way openings: 4" monitor elbow, one 4-1/2" pumper nozzle, two 2-1/2" hose nozzles.

**Sizes and types of inlet connections**

Size of Hydrant	Aqua-Grip™ System IPS/DIPS	Mech. Joint	D-150 Mech. Joint	Slip-On
4-1/2"	6"	4", 6"	4", 6", 8"	4", 6"
5-1/4"	6"	4", 6"	4", 6", 8"	4", 6"

(Auxiliary gate valves with flanged outlet and choice of inlet can be attached to hydrant with flanged inlet.)  
 \*Available with vertical or horizontal inlet.  
 \*\*Two styles available: IPS (PVC, PE, steel) or DIPS (DI, PVC, PE).

**MUELLER CENTURION HYDRANT DETAIL**  
NOT TO SCALE



**PRECAST CONCRETE MANHOLE DETAIL**  
NOT TO SCALE

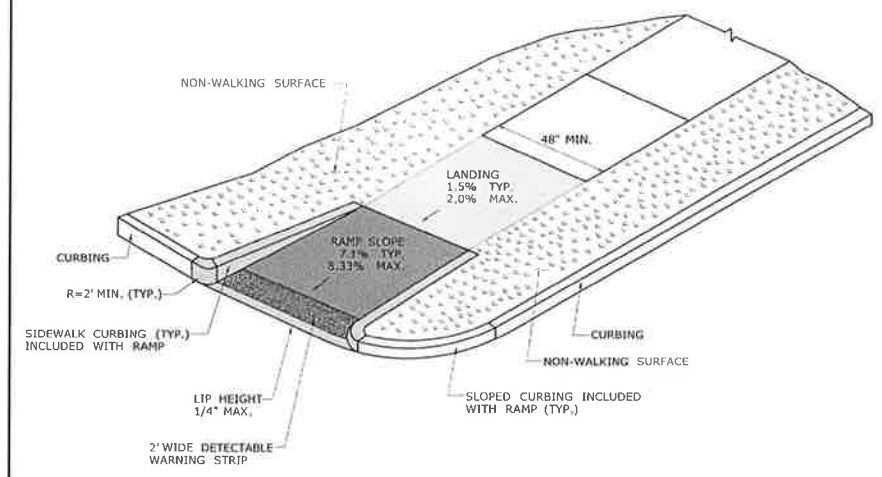
PLAN PREPARED BY:  
 INDIGO  
 40 ELM STREET, 2ND FLOOR  
 OLD SAYBROOK, CT 06475  
 PHONE: (860) 398-9943  
 FAX: (860) 391-8654

THE EMBOSSED SEAL OF THE ENGINEER MUST BE ATTACHED TO THE DRAWING.

#	DATE	DESCRIPTION

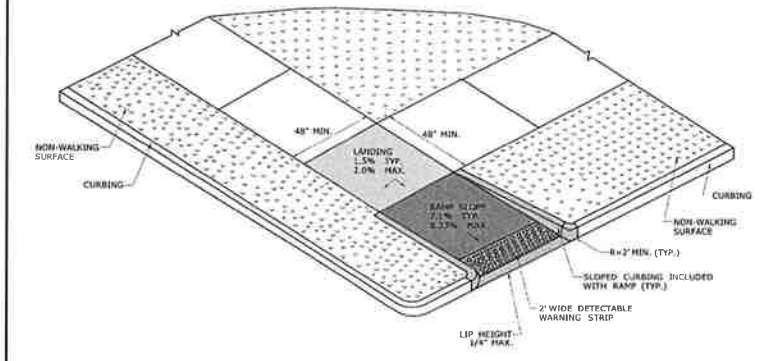
**CONSTRUCTION DETAILS (WATER & SEWER)**  
 PREPARED FOR 138 BPR LLC.  
 138 BOSTON POST ROAD, MAP 31.1 LOT 7  
 EAST LYME, CONNECTICUT

DATE: MAY 26, 2022  
 SCALE: 1"=30"  
 DRAWN BY: ST  
 CHECKED BY: JW  
 DWG. NO.: CD-3  
 SHEET NO.: 9 of 11  
 JOB NO.: 2021-777

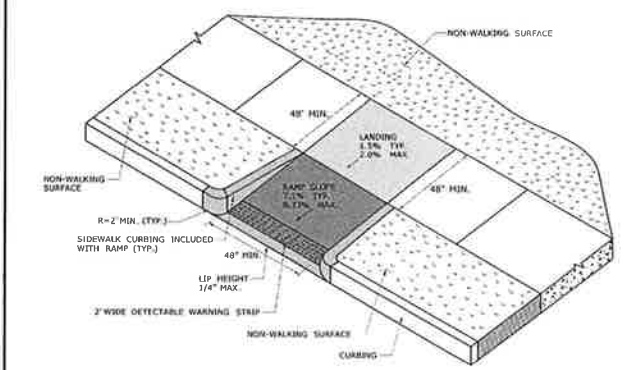


**SINGLE DIRECTION - RETURN CURB WITH NON-WALKING SURFACE (TYPE 16)**

**NOTES:**  
 1. ADA DETECTABLE WARNING PLATES SHALL BE INCLUDED ON THE SIDEWALK, ON BOTH SIDES OF THE DRIVEWAY CROSSING. THE WARNING PLATES SHALL BE BY NEENAH FOUNDRY, CAST GRAY IRON. WARNING PLATES SHALL BE INSTALLED IN CONFORMANCE WITH ALL MANUFACTURER INSTRUCTIONS AND SPECIFICATIONS.  
 2. PROPOSED SIDEWALK ALONG ROAD AND WALKWAYS TO BUILDING SHALL BE CONSTRUCTED TO MEET OR EXCEED ADA ACCESSIBILITY REQUIREMENTS. ENTIRE SIDEWALK SLOPE SHALL NOT EXCEED 2% GRADE.  
 3. SIDEWALKS SHALL BE OF 3,500 PSI "CLASS F" CONCRETE WITH #6 WELDED WIRE FABRIC UNDERLAIN BY 8" MIN. GRANULAR FILL (CONDOT M.02.01). PORTION OF CONCRETE SIDEWALK THAT TRAVERSES DRIVEWAY SHALL BE 8" THICK WITH ADDITIONAL REINFORCEMENT AS REQUIRED BY THE LOCAL AUTHORITY.  
 4. TOOLED JOINTS (DEPTH = 1/4 SIDEWALK DEPTH) SHALL BE PROVIDED AT 5 FOOT INTERVALS. PERFORMED 1/2" EXPANSION JOINT MATERIAL SHALL BE PROVIDED EVERY 20 FEET.  
 5. SEE CONCRETE SIDEWALK DETAIL ON SHEET 8 OF 10, HANDICAP ACCESSIBLE PARKING DETAIL ON SHEET 7 OF 10 AND SITE PLANS FOR SIDEWALK WIDTHS AND OTHER RELATED INFORMATION.



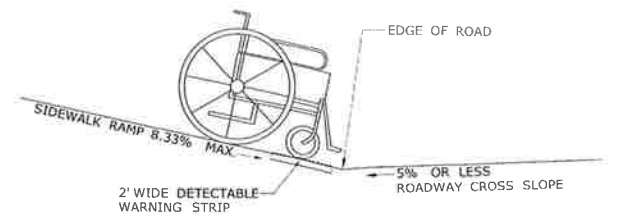
**RESTRICTED PEDESTRIAN CROSSING SIDEWALK RAMP WITH NON-WALKING SURFACE (TYPE 20)**



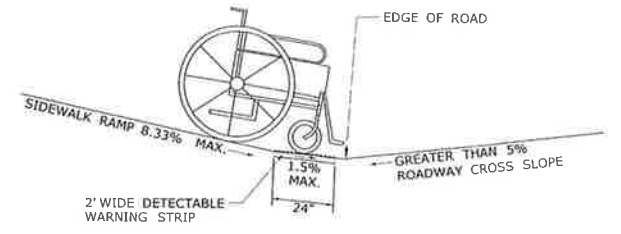
**PERPENDICULAR RAMP WITH NON-WALKING SURFACE (TYPE 13)**

DOT SIDEWALK DETAILS  
 NOT TO SCALE

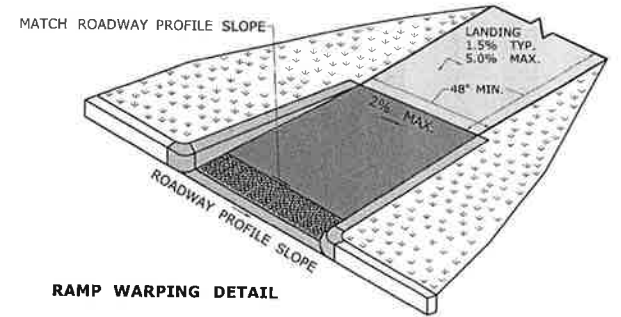
**GENERAL NOTES:**  
 1. SIDEWALK RAMP SHALL HAVE A COARSE BROOM FINISH TRAVERSE TO THE SLOPE OF THE RAMP.  
 2. VERTICAL SURFACE DISCONTINUITIES AT JOINTS SHALL NOT EXCEED 1/4 INCH.  
 3. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION OR CONTRACTION JOINT.  
 4. THE RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3 PERCENT MAXIMUM BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET.



**SIDEWALK RAMP GRADE AT ROADWAY CROSS SLOPE OF 5% OR LESS**



**SIDEWALK RAMP GRADE AT ROADWAY CROSS SLOPE OF GREATER THAN 5%**

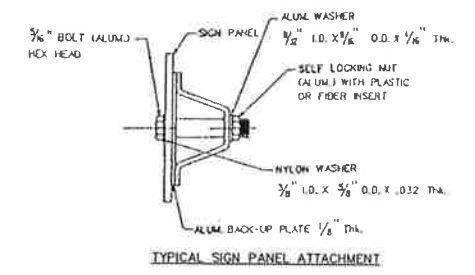


**RAMP WARPING DETAIL**

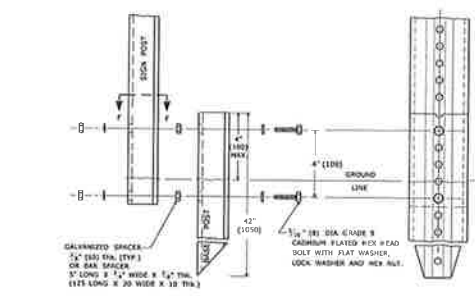
1. TRANSITION SIDEWALK RAMP TO MATCH ROADWAY PROFILE AS GRADUALLY AS POSSIBLE. DO NOT EXCEED 3% PER FOOT CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING TO ROADWAY PROFILE.
2. COMPLETE TRANSITION TO ROADWAY PROFILE BEHIND DETECTABLE WARNING SURFACE.

**NOTES:**

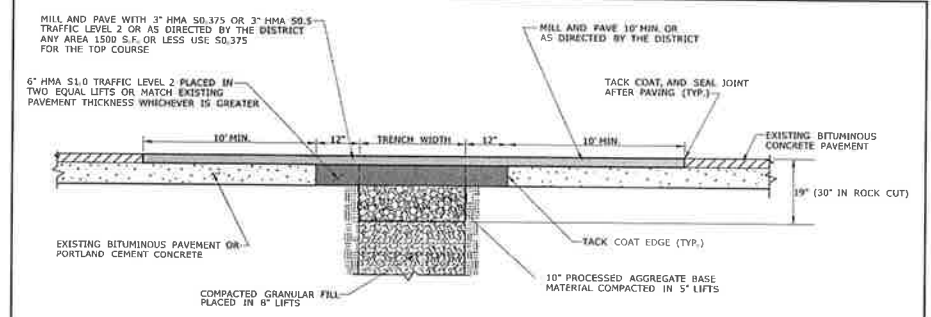
1. STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-B1 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A176 CARBON STEEL. SEE BAA HAVING NOMINAL HEIGHT OF 9 LBS. OR GREATER PER LINEAR YARD. STEEL FOR DELINEATOR POSTS SHALL BE ASTM A36 STEEL.
2. AFTER FABRICATION, ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A 123.
3. ALL SIGN POSTS SHALL HAVE "BREAKAWAY" FEATURES THAT MEET ASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS-T802." THE "BREAKAWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE LOADS SHOWN IN THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. TYPE A POSTS - 3 LB/FT TYPE B POSTS - 4 LB/FT.



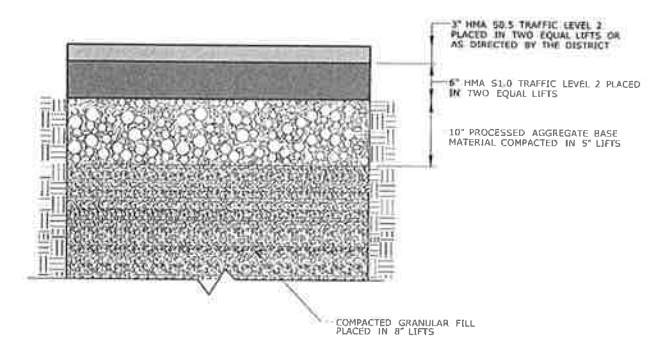
**TYPICAL SIGN PANEL ATTACHMENT**



**BREAKAWAY TYPE II INSTALLATION - FOR 3 & 4 LB POSTS  
 CT DOT BREAKAWAY POST DETAIL  
 NOT TO SCALE**



**PERMANENT PAVEMENT REPAIR WITH MILLING**



**ROADWAY PROFILE**

**DOT ENROACHMENT PERMIT - PAVEMENT REPAIR DETAILS  
 NOT TO SCALE**

PLAN PREPARED BY:  
 INDIGO CONSULTANTS, LLC  
 JOSEPH WELBY, P.E.  
 CT REG. NO. 21090  
 40 ELM STREET, 2ND FLOOR  
 OLD SAYBROOK, CT 06475  
 PHONE: (860) 386-9443  
 FAX: (860) 394-8854

THE EMPLOYED SEAL OF THE ENGINEER MUST BE ATTACHED TO THIS MAP TO BE VALID

NO.	DATE	DESCRIPTION

**CONSTRUCTION DETAILS (CTDOT)**  
 PREPARED FOR 138 BPR LLC.  
 138 BOSTON POST ROAD, MAP 31.1 LOT 7  
 EAST LYME, CONNECTICUT

DATE:  
 MAY 26, 2022  
 SCALE:  
 1"=30'  
 DRAWN BY:  
 ST  
 CHECKED BY:  
 JW  
 DWG. NO.:  
 CD-4  
 SHEET NO.:  
 10 of 11  
 JOB NO.:  
 2021-777

