

Geraghty & Bonnano, LLC

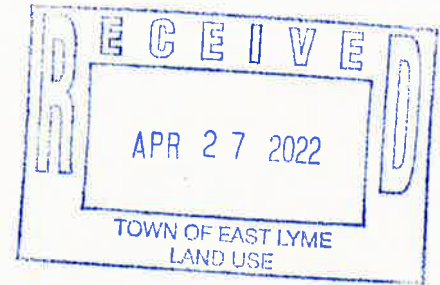
Attorneys at Law

PAUL M. GERAGHTY*
MICHAEL S. BONNANO
JOHANNA McCORMICK
MARK A. DUBOIS†
JONATHAN E. FRIEDLER††

*Also Admitted in New York
† Board Certified, Trial Advocate
†† Also Admitted in Massachusetts and North Dakota

April 26, 2022

Hand Delivered
Gary Goeschel
Director of Planning
Town of East Lyme
108 Pennsylvania Avenue
Niantic, CT 06357



RE: Nottingham Hills Lot 27 Re-Subdivision

Dear Mr. Goeschel,

Attached please find the following with regard to the above referenced matter;

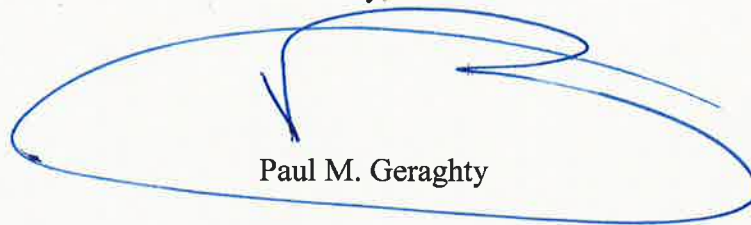
1. The Subdivision Application.
2. A Check in the amount of \$1010.00 for the required application fees. Please note pursuant to prior agreement we are utilizing the Public Hearing Fee tendered but not used or refunded from the Nottingham Hills Subdivision Phase 5/121 Upper Pattagansett Road Application from August of 2021.
3. One original stamped, signed and sealed and three copies of the 5 page plan set. Three copies of 11" x 17" copies of the Plan set are also enclosed.
4. A Plan titled "Demonstration of Conventional Subdivision Plan Nottingham Hills Subdivision Lot Line Revision of Existing Lot 27 & 2 Lot Re-Subdivision of Lot 27+ Prepared for Kristen Clarke P.E."
5. The Design Report

This correspondence shall also serve as the request for the following waivers with respect to this application;

1. Waiver of the 40' Perimeter Buffer identified in Section 23.5 B. 1., of the Town of East Lyme Zoning Regulations.
2. Waiver of the Stormwater Management Requirements as is identified in Section 6-8-7 of the Town of East Lyme Subdivision Regulations.
3. Waiver of the Erosion & Sedimentation Control Plan requirements per East Lyme Subdivision Regulations 5.2.2 G
4. Waiver of the Preliminary Resource Impact and Conservation Plan 5-2-2 (B) and (C) ii.

Should you have any questions please do not hesitate to contact me.

Sincerely,



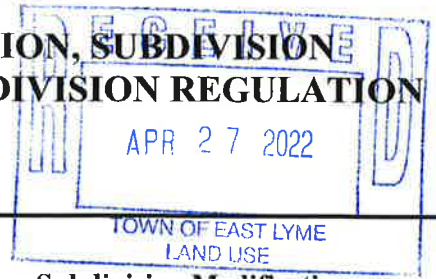
Paul M. Geraghty

CR # 1385
\$ 1010.00

APPLICATION NO. _____



**PLANNING COMMISSION APPLICATION
FOR SUBDIVISION / RE-SUBDIVISION, SUBDIVISION
MODIFICATION, POCD AND SUBDIVISION REGULATION
AMENDMENT**



APPLICATION TYPE: Subdivision _____ Re-Subdivision x Subdivision Modification _____

POCD Amendment _____ Subdivision Amendment _____

NAME OF SUBDIVISION: Nottingham Hills

PROPOSED ROAD NAME(S): n/a LENGTH n/a lf.
(attach list if more than one)

PROPERTY LOCATION: *(attach 8 1/2 x 11 location map)* 9 Upper Kensington Drive

APPLICANT: Kristen T. Clarke, P.E.

Address: 20 Risingwood Drive Phone: 434-409-9515 Fax: _____
Bow, NH 03304 e-mail: kristentclarke@gmail.com

OWNER: Niantic Real Estate LLC

Address: P.O. Box 452 Phone: 860-961-5283 Fax: _____
East Lyme, CT 06333 e-mail: newenglandnational@gmail.com

PRIMARY CONTACT /AGENT : Paul Geraghty, Esq.

Address: 38 Granite Street Phone: 860-447-8077 Fax: 860-447-9833
New London, CT e-mail: pgeraghty@geraghtybonnono.com

ASSESSOR'S MAP(S) & LOT(S) 40. Lot 17 TOTAL ACRES 5.13 acres

ZONING DISTRICT(S) R-U40 CONV./O.S. (circle one) CAM n/a # LOTS 2 new lots

FLOOD ZONE n/a AQUIFER n/a WIN 500' TOWN BOUNDARY n/a FARM LAND n/a

WATER SUPPLY well SEWAGE DISPOSAL on-site septic
(attach letter from Water & Sewer Dept. if public and Ledge Light Health District if on-site)

CONSERVATION COMMISSION APPLICATION: n/a PERMIT#: n/a

WAIVER(S) REQUESTED: *(attach letter)* see attached waiver request letter

ZONING VARIANCES: *(attach copy from land records)* n/a

PLANS PREPARED BY (Engineer/Surveyor): Gesick & Associates P.C.

Address: 19 Cedar Island Avenue Phone: 860-575-2153 Fax: 860-669-5833
Clinton, CT 06413 e-mail: @gesicksurveyors.com

The Commission has the authority to determine whether a submission constitutes a complete application in accordance with the regulation requirements. If after reviewing a submission, the Commission finds the application to be incomplete in any material respects, it may vote to deny the application. Prior to taking this action, the applicant will be given the opportunity to withdraw the incomplete application. No fees shall be refunded upon withdrawal of an incomplete application.

APPLICATION FEE CALCULATION SHEET

2.1 Subdivision Application Review. For subdivisions and re-subdivisions, the following fees shall be paid at the time of application to the Planning Commission:

2.1.1	# Lots <u> 2 </u> X \$100.00	<u> \$200.00 </u>
2.1.2	Base Fee	\$750.00
2.1.3	Public Hearing Fee, if applicable (\$1250.00)	<u> *Prepaid </u>
2.1.4	Design Review Fee -LF new road _____ X \$1.00	<u> n/a </u>
2.1.5	Professional/Legal Consultations (actual cost)	<u> n/a </u>
2.1.6	State of Conn. Fee	\$60.00
SUBTOTAL		<u> \$1,010.00* </u>

*This fee was paid and unused for 121 Upper Pattagansett application

2.2 Subdivision Application Processing and Inspection. Upon approval of a subdivision/ re-subdivision by the Planning Commission, the following fees shall be paid prior to the Chair's signing the approved subdivision plan:

2.2.1	# Lots _____ X \$100	<u> </u>
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2.2.3	Road/Utility Document Review Fee (\$400.00)	<u> </u>
2.2.4	Inspection Fee - LF of new road _____ X \$1.00	<u> </u>
2.2.5	E & S Control Fee - # Lots _____ X \$50.00	<u> </u>
SUBTOTAL		<u> </u>

2.3 Coastal Area Management Review

Lots _____ X \$10.00 (\$25.00 min.)

2.4 Application for Revision of Lot Line \$150.00

TOTAL FEES

Fees based on Section 2 of the Town Ordinance Establishing Schedule of Fees for Conservation Planning and Zoning Commissions as amended.

ATTORNEY: Paul Geraghty, Esq.

Address: 38 Granite Street
New London, CT 06320

Phone: 860-447-8077 **Fax:** 860-447-9833
e-mail: pgeraghty@geraghtybonnano.com

PREVIOUS SUBDIVISION(S) IF RE-SUBDIVISION OR LOT LINE REVISION:

Nottingham Hills Subdivision Phase III	Map <u>242</u>	Dwr. <u>6</u>
Nottingham Hills Lot Line Revisions	Map <u>219-222</u>	Dwr. <u>8</u>
Lots 26, 27, 28		

CHECKLIST ATTACHED X

CONSENTS AND PERMISSIONS:

The undersigned owner, or legally authorized agent, hereby consents to necessary and proper inspections of the property that is the subject of this application by agents of the Commission at reasonable times both before and after approval is granted by the Commission.

The undersigned declares all information submitted with this application is accurate to the best of his/her knowledge and belief. If such information subsequently proves to be false, deceptive, incomplete or inaccurate, the approval may be modified, suspended, or revoked by the Commission.

Niantic Real Estate LLC
Owner's Printed Name

Kristen Clarke
Owner's Signature

4/20/2022
Date

Kristen T. Clarke, P.E.
Applicant's Printed Name

Kristen Clarke
Applicant's Signature

4/20/2022
Date

FOR INTERNAL USE ONLY:

SUBMITTED:
APPLICATION FEE:
PROCESSING FEE:
DATE OF RECEIPT:
SET P.H. BY:
PUBLISH LEGAL NOTICE:
HEARING HELD:
DECISION BY:
CONDITIONAL APPROVAL:
LEGAL NOTICE
FINAL APPROVAL:
LEGAL NOTICE:
LETTER OF DECISION:

BOND SUBMITTED:
OPEN SPACE CONVEYED:
MYLARS FILED:
ROAD ACCEPTED:
DEEDS & EASEMENTS FILED:

Niantic Real Estate LLC
1890 Palmer Avenue Suite 300
Larchmont, New York 10538

April 15, 2022

Town of East Lyme Planning Commission
108 Pennsylvania Avenue
Niantic, Connecticut 06357


Re; Nottingham Hills Subdivision Lot 27 aka 9 Upper Kensington Drive, East Lyme

To Whom it May Concern,

Please accept this correspondence as the authorization of Niantic Real Estate LLC for Kristen Clarke PE and or English Harbour Asset Management LLC in their capacities as contract purchasers of the above referenced real property to pursue any and all Land Use Permits from the Town of East Lyme.

Sincerely,

NIANTIC REAL ESTATE LLC

By 
Jeffrey Torrance, Assistant Manager
Duly Authorized



PLANNING COMMISSION APPLICATION
FOR SUBDIVISION / RE-SUBDIVISION, SUBDIVISION
MODIFICATION, POCD AND SUBDIVISION REGULATION
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ZONING DISTRICT(S) R-U40 **CONV./O.S. (circle one)** CAM **# LOTS** 2 new lots
FLOOD ZONE n/a **AQUIFER** n/a **WIN 500' TOWN BOUNDARY** n/a **FARM LAND** n/a

WATER SUPPLY well **SEWAGE DISPOSAL** on-site septic
(attach letter from Water & Sewer Dept. if public and Ledge Light Health District if on-site)

CONSERVATION COMMISSION APPLICATION: n/a **PERMIT#:** n/a

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Niantic Real Estate LLC

Owner's Printed Name

Kristen Clarke
Owner's Signature

4/20/2022
Date

Kristen T. Clarke, P.E.

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Kristen Clarke
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APPLICATION FEE:
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Niantic Real Estate LLC
1890 Palmer Avenue Suite 300
Larchmont, New York 10538

April 15, 2022

Town of East Lyme Planning Commission
108 Pennsylvania Avenue
Niantic, Connecticut 06357

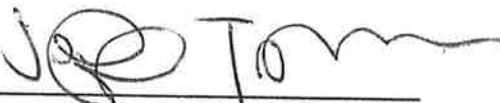
Re; Nottingham Hills Subdivision Lot 27 aka 9 Upper Kensington Drive, East Lyme

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Sincerely,

NIANTIC REAL ESTATE LLC

By 
Jeffrey Torrance, Assistant Manager
Duly Authorized

DESIGN REPORT
Nottingham Hills Subdivision Lot 27
April 20, 2022
11 UPPER KENSINGTON DRIVE
EAST LYME, CONNECTICUT

The Re-Subdivision of Nottingham Hills Lot 27 aka 11 Upper Kensington Drive will create 2 new lots from the existing 5.7 acres lot each of which will have frontage on Upper Kensington Drive. The property for this subdivision is being acquired from Niantic Real Estate LLC. As is detailed in the submitted plans no public improvements will be necessary.

Access to existing lot and the two new lots will be from the existing common driveway, Exhibit 1, that was approved by this commission as part of the Nottingham Hills Subdivision Phase 3.

BIOLOGICAL REPORT

No endangered State or Federal Listed Species or Critical Habitat exists on the East Lyme Natural Diversity Data Base Area Map. See Exhibit 2.

INLAND WETLANDS

There no inland wetlands on the subject property.

OPEN SPACE

No additional Open Space is required for this Phase of the subdivision based upon the following analysis;

As was established in the findings of fact by this commission on or about January 11, 2021, Exhibit 3 a total of 79.34 acres of Open Space had been provided to date. In addition a copy of correspondence from Paul Geraghty, Esq. to Gary Goeschel, Director of Planning dated January 6, 2021, Exhibit 4, provided further detail regarding Open Space in the Nottingham Hills Subdivision.

YIELD PLAN

The design of this Phase of the Subdivision uses a Conservation Design Development Layout however as is evidenced by the Conventional Subdivision Plan submitted to the record of this application a Conventional conforming layout could be utilized equally as well.

SEWAGE DISPOSAL REPORT

A Subdivision Feasibility Application for the existing and two new lots was submitted to Ledge Light Health District on April 11, 2022. Exhibit 5.

WATER SUPPLY REPORT

The existing and proposed new lots will all be served by well water. Health Code compliant locations for each of the wells are depicted on the submitted plans.

STORM WATER MANAGEMENT PLAN

The applicant has requested a waiver of this subdivision requirement as the plan uses existing infrastructure previously approved by this commission

ROAD CONSTRUCTION/PUBLIC IMPROVEMENTS

There is no road construction or public improvements required. Public Utilities are available on Upper Kensington Drive and utility conduit and structures have been installed the entire length of the existing common driveway in accordance with a plan prepared by Eversource.

NATURAL & CULTURAL RESOURCE MAP

An existing conditions map, Plan Set Page 2, has been submitted that complies with this requirement of the East Lyme Subdivision Regulations.

ARCHEOLOGICAL SURVEY

This existing Lot has already been reviewed during the Phase 3 approval.

CONSTRUCTION ACTIVITIES

No construction activities are required. The applicant is not a Home Builder and these activities will be performed by others pursuant to building and other permits obtained directly by them from the Town of East Lyme and Ledge Light Health District.

CONSTRUCTION SEQUENCE REPORT

The paving of the common driveways and the construction of the rain gardens identified in the storm water management plan will occur during the construction of the homes to be built.

EASEMENTS

Easements for utilities, in favor of Eversource, Exhibit 6, recorded in the Town of East Lyme Land Records Drawer 6 # 441 and drainage, in favor of the Town of East Lyme, Exhibit 7, recorded in the Town of East Lyme Land Records at Vol. 948 Page 529 are already of record. The location of the existing drainage structures is identified on the Town of East Lyme GIS Mapping which is attached as Exhibit 8. A Driveway Maintenance Easement in the form attached as Exhibit 9 will be recorded prior to any lot sales.

EXHIBIT 1





EXHIBIT 2

Natural Diversity Data Base

Areas

EAST LYME, CT

December 2021

-  State and Federal Listed Species
-  Critical Habitat
-  Town Boundary

NOTE: This map shows general locations of State and Federal Listed Species and Critical Habitats. Information on listed species is collected and compiled by the Natural Diversity Data Base (NDDDB) from a variety of data sources. Exact locations of species have been buffered to produce the generalized locations.

This map is intended for use as a preliminary screening tool for conducting a Natural Diversity Data Base Review Request. To use the map, locate the project boundaries and any additional affected areas if the project is within a hatched area there may be a potential conflict with a listed species. For more information, complete a Request for Natural Diversity Data Base State Listed Species Review form (DEP-APP-007), and submit it to the NDDDB along with the required maps and information. More detailed instructions are provided with the request form on our website.

www.ct.gov/deep/nddbrequest

Use the CTECO Interactive Map Viewers at <http://cteco.uconn.edu> to more precisely search for and locate a site and to view aerial imagery with NDDDB Areas.

QUESTIONS: Department of Energy and Environmental Protection (DEEP)
79 Elm St, Hartford, CT 06106
email: deep.nddbrequest@ct.gov
Phone: (860) 424-3011

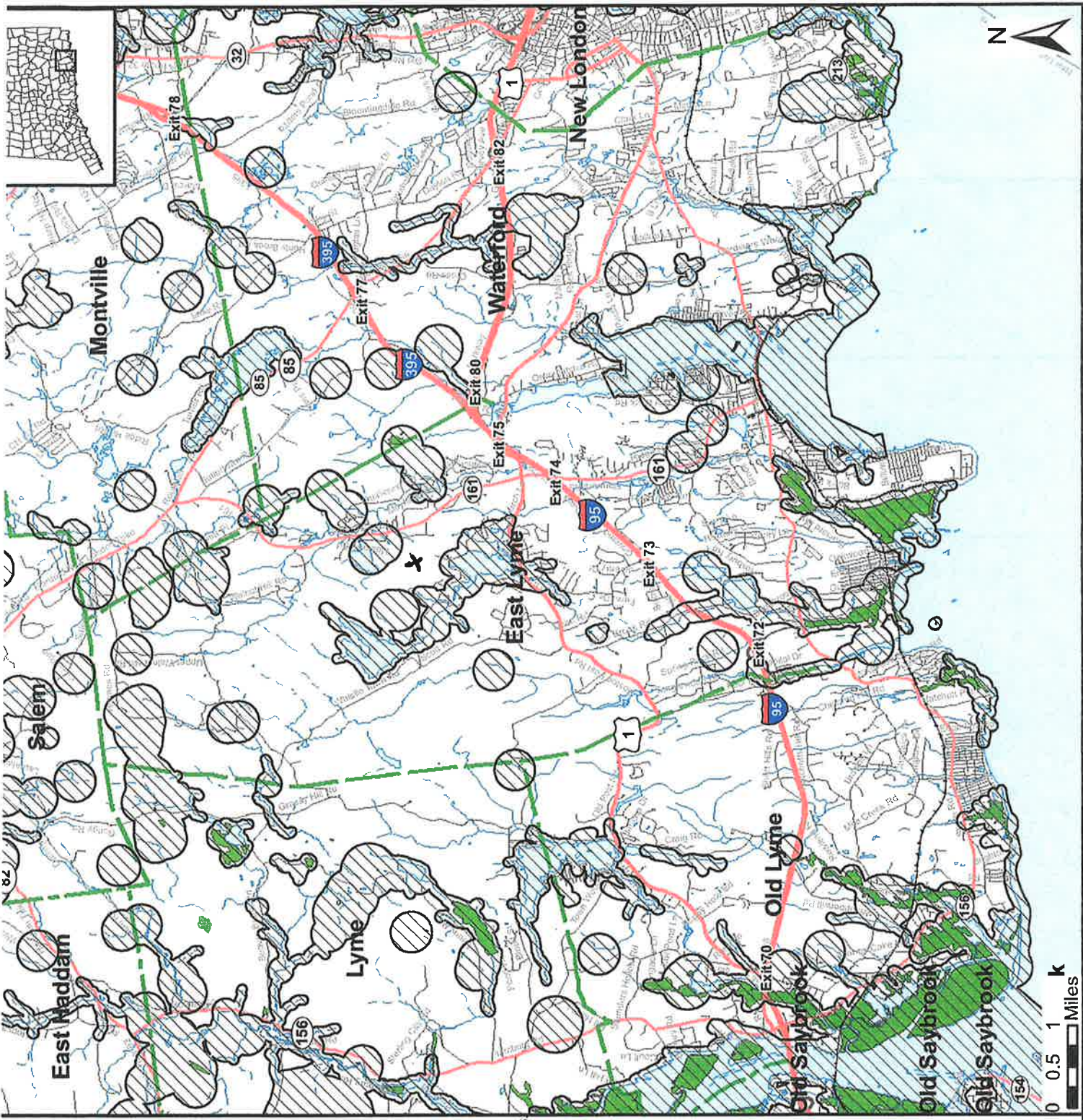
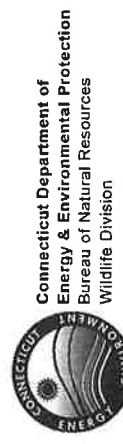


EXHIBIT 3

Town of

P.O. Drawer 519

Department of Planning &
Inland Wetlands

*Gary A. Goeschel II, Director of Planning /
Inland Wetlands Agent*



East Lyme

108 Pennsylvania Ave
Niantic, Connecticut 06357

Phone: (860) 691-4114

Fax: (860) 860-691-0351

MEMORANDUM

To: East Lyme Planning Commission

From: Gary A. Goeschel II, Director of Planning

Date: January 11, 2021

RE: Continuation of Application of Kristen T. Clarke, P.E., for English Harbour Asset Management LLC, Owner; Application for a 4-lot re-subdivision of approximately 3.8± acres of land zoned RU-40, located at 22 and 24 Upper Kensington Dr, East Lyme, Assessor's Map 40.0, Lot 22 and 23.

Upon review of the above referenced application, supporting documentation, and proposed subdivision plan (5-Sheet Drawing Set) entitled "Nottingham Hills Subdivision Lot Line Revisions of Existing Lots 19 & 21 & Conservation Design Development, 1 Lot Re-Subdivision of Portions of Lots 19 & 21 Dated: January 29, 2020, revised to: December 9, 2020", by Donald L. Gesick Jr. L.S., of Gesick & Associates, P.C., 19 Cedar Island Ave., Clinton, Connecticut, I offer the following:

FINDINGS

Whereas: The Commission commenced a Public Hearing on July 27, 2020. The Public Hearing for said application was continued to Commission's meetings of August 4th, August 11th, September 1st, October 6th, October 27th, November 10th, December 1st, and December 10th 2020.

Whereas: The Commission has reviewed the application and received testimony from the applicant, his professionals, representatives, and the public. In addition, Town staff also provided the Commission with comment concerning this application's compliance with local requirements and regulations.

Whereas: The parcel of land constituting the property subject to this application is zoned RU-40 Rural Residential and the property abutting the site to the north and east (Darrow Pond) is zoned SU-E Special Use Elderly Housing and has been preserved as Town owned open space. The abutting properties to the south and east are Zoned RU-40 Rural Residential.

Whereas: The East Lyme Inland Wetlands Agency determined that "No Permit is Required" as there is no activity occurring in the upland review area, wetlands, or watercourse as evidenced by Exhibit "F".

Whereas: The proposed Subdivision is found to meet the requirements of the East Lyme Subdivision Regulations and the East Lyme Plan of Conservation and Development (POCD) as demonstrated by the following:

Section 3-4 Plan of Development: As the proposed Subdivision is located completely within an RU-40 zoning district adjacent to existing residential lots zoned RU-40 and SU -E, the proposed subdivision continues to follow the pattern of development characteristic of the existing residential development.

As such, the proposed subdivision conforms to the comprehensive Plan of Development for the Town of East Lyme (2020 POCD) as adopted by the East Lyme Planning Commission.

Section 5-4 Sanitation Report: As indicated in Exhibit "BBB" e-mail correspondence from Danielle Holmes, REHS/RS, dated December 10, 2020, indicates the proposed lots are able to be served by subsurface sewage disposal systems.

Section 5-5 Water Supply Report: As indicated in Exhibit "BBB" e-mail correspondence from Danielle Holmes, REHS/RS, dated December 10, 2020, indicates the proposed lots are able to be served by on-site water supply wells.

Section 5-2-2(E) and 6-8 Stormwater Management Plan: As indicated in Exhibit "BB", Memo from Victor Benni, P.E., Town Engineer, dated October 19, 2020, indicates that "Waiver of Stormwater Management Report" demonstrates that the water quality of the receiving aquifer, wetland or watercourse will not be affected and that the proposed development will not cause or exacerbate downstream flooding." As such, the proposed design meets the overall intent of Section 6-8 of the East Lyme Subdivision Regulations.

Section 5-2-2(G) Erosion and Sedimentation Control Plan: As indicated by Exhibit "BB" dated October 23, 2020, memorandum from Victor Benni, P.E., Town Engineer, indicates the proposed Plan was updated to contain generalized Erosion and Sedimentation Control Notes. As such, the appropriate notes, details, and provisions regarding erosion control measures adequate to control accelerated erosion and sedimentation and reduce the danger from storm water runoff on the proposed site have been incorporated into the proposed plan. Therefore, the Planning Commission may hereby certify that the Soil Erosion and Sediment Control Plan complies with the requirements and objectives of this Subdivision Regulation.

Section 5-6 Pesticide Report: As evidence by the applicant's testimony during public hearing, there have been no known regular applications of pesticides on the subject site currently or historically. In addition, the site was previously approved for two (2) building lots.

Section 5-8 Archeological Survey: As Evidence by the Design Report in Exhibit "A", the Archeological Survey was provided to the Commission as part of the Nottingham Hills Phase 1 and 3 Subdivision and was incorporated into the public hearing record by testimony of the Applicant. In addition, the site was previously approved for the construction of two (2) single family dwellings. As such, there are no archeological resource issues on the site.

Section 6-2 Lot Design Specifications: As evidenced by Exhibit "CC" correspondence from William Mulholland, Zoning Official, October 23, 2020 and the Exhibit "U" correspondence from Attorney Paul Geraghty, dated August 26, 2020, and Exhibit "KKK" letter correspondence from Mark Zamarra, Esq./Town Attorney, to William Mulholland, Zoning Official, indicate the proposed subdivision meets the lot design specifications under the Conservation Development by Design (CDD) pursuant to Section 23 of the Zoning Regulations as well as Section 6-2 of the East Lyme Subdivision Regulations. Therefore, the proposed subdivision complies with all applicable Zoning Regulations for the purposes of the subdivision of land.

Section 6-7 Open Spaces: As demonstrated by the Design Report in Exhibit "A", identifies the Nottingham Hills Subdivision as being a division of 107.82- acres and the open space provided totaling 41.35-acres. Based on the subdivision regulation requirement of 30% Open Space, or 32.34-acres, the subdivision had exceeded the required Open Space by 9.1-acres as of the date of the pending application. Subsequent, to the application, the applicant conveyed portions of lot 19, (.51-acres), and Lot 21, (1.27-acres), to the property that was in the process of being conveyed to the East Lyme Land Trust. The combined totaled 37.99-acres which, has been transferred to the East Lyme Land Trust as of December 30, 2020 (Vol. 1046, Pg. 120). Upon recalculating the Open Space, it now totals 79.34-acres of the subdivision's 107.82-acres. As such approximately 73.5% of the subdivision's land is now in open space when only 30% or 32.3-acres is required.

In addition, Exhibit "U" correspondence from Attorney Paul Geraghty, dated August 26, 2020, indicates the Nottingham Hills subdivision has "banked" land to use for Open Space as evidenced in the minutes of the Planning Commission dated November 16, 2010 (see Exhibit "FF") wherein excess Open Space, 10-acres, was provided by agreement with the Town of East Lyme Planning Commission on the condition that it was done so with the reserved right that the 10-acres could be used in future calculations on future applications. Further, pursuant to the Memorandum Dated February 1, 2010 from Mark E. Block, Esq. to G. Goeschel, Director of Planning, as provided in Exhibit "U", correspondence from Attorney Paul Geraghty, dated August 26, 2020, the open space requirement is based on the entire tract and not subsequent re-subdivisions. Therefore, adequate Open Space has not only been dedicated but, has been provided in an amount that exceeds the minimum required under the subdivision regulations. As such, the development has met its Open Space obligations.

Section 6-9 Requirements Regarding Flooding: As demonstrated by Exhibit "Z" Nottingham Hills Re-Subdivision Plan (5-sheet set) dated January 29, 2020 revised to October 19, 2020 which, reduces the proposed division of land from 4-Lots to 3-Lots and Exhibit "BB" dated October 23, 2020, memorandum from Victor Benni, P.E., Town Engineer, the proposed Plan indicates that the Drainage Summary meets the overall intent of Section 6-8 of the East Lyme Subdivision Regulations and the proposed site development will not adversely affect the water quality of downstream water features or exacerbate any downstream flooding.

PROPOSED RESOLUTION

The East Lyme Planning Commission based on the record before it with respect to this application, finds this application to be in conformance with the Subdivision Regulations of the Town of East Lyme as based on the above Findings indicated in the Memorandum from Gary A. Goeschel II, Director of Planning, dated January 8, 2021.

NOW THEREFORE, I hereby Move to APPROVE the application known as the Application of Kristen T. Clarke, P.E., for English Harbour Asset Management LLC, Owner; Application for a 4-lot re-subdivision of approximately 3.8± acres of land zoned RU-40, located at 22 and 24 Upper Kensington Dr, East Lyme, Assessor's Map 40.0, Lot 22 and 23, and proposed Subdivision Plan (5-Sheet Drawing Set) entitled "Nottingham Hills Subdivision Lot Line Revisions of Existing Lots 19 & 21 & Conservation Design Development, 1 Lot Re-Subdivision of Portions of Lots 19 & 21 Dated: January 29,2020, revised to: December 9, 2020", by Donald L. Gesick Jr. L.S., of Gesick & Associates, P.C., 19 Cedar Island Ave., Clinton, Connecticut which, is further subject to the following administrative requirements and required modifications to the site plan and/or other materials submitted in support of this application:

1. An Erosion & Sedimentation Control bond in an amount of \$3000.00 dollars shall be posted with the Town in a form acceptable to the Town of East Lyme Planning Commission prior to the start of any site work including but not limited to clearing, grubbing, filling and grading.
2. Contact the Planning Director to inspect the installation of erosion and sedimentation controls within 2-days prior to the start of any construction.
3. An Application for Right-of-Way Permit shall be filled with the East Lyme Engineering Department prior to the start of any site work.
4. The applicable items above shall be accomplished prior to the filling of the subdivision on the land records, or other documentation of planning approval and no site work shall commence until all applicable conditions are satisfied.

This approval is specific to the subdivision plan submitted as the application known as the Application of Kristen T. Clarke, P.E., for English Harbour Asset Management LLC, Owner; Application for a 4-lot re-subdivision of approximately 3.8± acres of land zoned RU-40, located at 22 and 24 Upper Kensington Dr, East Lyme, Assessor's Map 40.0, Lot 22 and 23, and proposed Subdivision Plan (5-Sheet Drawing Set) entitled "Nottingham Hills Subdivision Lot Line Revisions of Existing Lots 19 & 21 & Conservation Design Development, 1 Lot Re-Subdivision of Portions of Lots 19 & 21 Dated: January 29, 2020, revised to: December 9, 2020", by Donald L. Gesick Jr. L.S., of Gesick & Associates, P.C., 19 Cedar Island Ave., Clinton, Connecticut." Any changes in the subdivision plan shall require prior approval from the Commission and/or the Director of Planning. Any change in the development plan layout other than those identified herein shall constitute a new application. The owner/applicant shall be bound by the provisions of this Application and Approval.

EXHIBIT 4

Geraghty & Bonnano, LLC

Attorneys at Law

PAUL M. GERAGHTY*
MICHAEL S. BONNANO
JOHANNA M-CORMICK
MARK A. DUBOIS*
JONATHAN E. FRIEDLER**

*Also Admitted in New York
† Board Certified, Trial Advocate
** Also Admitted in Massachusetts and North Dakota

January 6, 2021

Via email: ggoeschel@eltownhall.com
Gary Goeschel
Director of Planning
Town of East Lyme
108 Pennsylvania Avenue
Niantic, CT 06357

Re: English Harbour Asset Management LLC
Lot Line Revision Lots 19 & 21
1 Lot Re-Subdivision of Portions of Lots 19 & 21

Dear Gary:

As a follow up to our conversation earlier this week, I wanted to reiterate my concern regarding the Planning Commission's discussion and questions regarding the Nottingham Hills subdivision open space contributions to date and provide you with the references in which open space has been addressed by my client in the record of the pending lot line revision/re-subdivision application record.

1. The Design Report submitted at the time of application on March 2, 2020 identifies the size of the subdivision as 107.82 acres and open space provided totaling 41.35 acres and provides the detailed support. Based upon the subdivision regulation requirement of 30% Open space, or 32.34 acres, this subdivision had exceeded the required Open Space required by 9.1 acres as of the date of the pending application (Application Record Ex. A: Attached as Ex. 1, hereto).
2. Subsequent to the pending application my client conveyed portions of lot 19, (.51 acres, Ex. 2 herein), and Lot 21, (1.27 acres, Ex. 3 herein), to the property that was in the process of being conveyed to the East Lyme Land Trust. I note that it is demonstrative of my clients intent given the plain language in the deeds which states **"The intent of this deed is to separate out that portion of lot 19/21 (a/k/a 22/24 Upper Kensington) to be conveyed to the East Lyme Land Trust referenced as "Area to Be Transferred from Lot 19/21 to the East Lyme Land Trust on a map entitled "Lot Line Revisions Nottingham Hills Subdivision Lots 19, 20, 21, & 32 Property Owner: English Harbour Asset Management LLC" These properties**

were part of the lot line revision that you approved and is reflected on the mylar which is recorded in drawer 8-#8 and drawer 8-#118 of the East Lyme Land Records. This map is attached as Ex. 4 hereto.

The combined parcel totaled 37.99 acres. This land was in fact transferred to the East Lyme Land Trust, Inc. on December 30, 2020 the deed for which is recorded in the East Lyme Land Records at volume 1046 page 120. A copy of the recorded deed is enclosed as Ex. 5 herein. When recalculated the open space provided now totals 79.34 acres of the subdivision's 107.82 acres meaning of course that at least 73.5% of the subdivisions land is in open space when only 30% or 32.3 acres is required.

In addition, I would direct you to the pending application's record exhibit FF which is my letter to you dated October 26, 2020, which among other things provides the minutes of the November 16, 2010 Town of East Lyme Planning Commission wherein excess open space, 10 acres, was provided by agreement with the Planning Commission on the condition that it was done so with the reserved right that the ten acres could be used in future calculations on future applications. See Attached Ex. 6 herein.

I would also note that this Planning Commission approved the long delayed release of the Open Space Covenant on the same night as the public hearing on the pending applications commenced. I have attached the minutes of that meeting as Ex. 7 herein.

Finally, I attach as Ex. 8 herein the Opinion Letter prepared by Mark Block Esq dated February 1, 2010, that address's Steve Harney's property where he was NOT required to provide additional open space contrary to what we discussed. The open space requirement is based on the entire tract and not subsequent re-subdivisions. Therefore, as concluded by the town's counsel if there has been adequate open space dedicated, the commission may not require additional space as part of a re-subdivision. In the instant case my client and its predecessors have, as outlined herein, dedicate more open space than is required and as such no further opens space dedication can be required. However, as noted my client has as part of this added additional open space from the lots which are part of this application, when it did the lot line revision.

In the final analysis this subdivision has provided far in excess of the required Open Space and the question raised by Ms. Williams given the record of this application is troublesome on many levels.

I look forward to receiving and reviewing your draft approval motion for this application that you indicated you would send me by tomorrow.

Sincerely,

Paul M. Geraghty

Enc.

EXHIBIT 1

**DESIGN REPORT
4 LOT RE-SUBDIVISION
UPPER KENSINGTON DRIVE
EAST LYME, CONNECTICUT**

This re-subdivision will separate the subject properties from two (2) into four (4) lots.

The subject property is a part of the Nottingham Hills Subdivision land assemblage and represents the sixth re-subdivision of the Nottingham Hills Subdivision property.

More specifically, the plan separates current lots 19 and 21 into four lots. It should be noted that proposed lot 4 will be deeded to the East Lyme Land Trust, Inc for additional Open Space and will be subject to a Conservation Easement by the State of Connecticut Department of Energy and Environmental Protection upon the filing of the mylars of this re-subdivision

Accessible Road frontage to each of the lots will be from Upper Kensington Drive having a total of fifty (50) feet of frontage. Access to each of the lots will be from the two existing curb cuts. The applicant is open to discussing with the East Lyme Planning commission or it's staff the use of a singular driveway for the first One Hundred Fifty Feet (150') to further reduce impervious surface areas.

INLAND WETLANDS

There are inland wetlands on the subject property lots 1 and 2. In both instances the inland wetlands are within already protected front, rear and side yard building setbacks. It is important to note though however that there is no activity proposed in either the inland wetlands or the 100' upland review area on any of the proposed lots. An Application for Determination of Non-Regulated Activity has been filed with the Town of East Lyme Inland Wetlands Agency. Ex. A.

OPEN SPACE

Open space totaling 41.35 acres has already been provided by deed or conservation easement to the Town of East Lyme for the Nottingham Hills Subdivision totaling 38.35% of the total land in all phases of the subdivision vs. the required 30%. Ex. B.

SEWAGE DISPOSAL REPORT

Proposed lots 2 and 4 have already been reviewed for septic feasibility. No changes have been made to require further review outside of a B-100, Ex. C, which has been filed with Ledge Light Health District. Both of lots 2 and 4 have system areas

located outside of the 15-foot buffer required by the State of Connecticut Health Code. Lots 1 and 3 utilize test hole data from the Nottingham Hills subdivision Phase 3 plans to demonstrate the septic feasibility required by the East Lyme Subdivision regulations. An Application For Subdivision Feasibility review has been filed with the ledge Light Health District for Lots 1 and 3. Ex. C.

WATER SUPPLY REPORT

The existing and proposed new lots will all have wells.

STORM WATER MANAGEMENT PLAN

Drainage from the properties will only increase minimally under the proposed re subdivision. Since lot 4 will be "Open Space it will remain in its current unimproved state with no new impervious surfaces. Lots 2 and 3 will share a common driveway for all but 80 feet of a proposed 10' wide driveway (800s.f.). The homes will have a roof surface area of no more than 2000 s.f. Gutter down spouts will tie into each proposed homes footing drains and utilizing the site topography will daylight to drain onto other lands of the landowner outside of the wetland or their upland review areas, pursuant to the original design of this subdivision, and will easily be disbursed and or absorbed into the provided for 12 acre (552,720 s.f.) drainage area.

ROAD CONSTRUCTION/PUBLIC IMPROVEMENTS

There is no road construction or public improvements required. Utilities (Electric, Cable and Telephone) are stubbed to the entrance on Upper Kensington Drive.

NATURAL & CULTURAL RESOURCE MAP

Provided to the East Lyme Planning Commission as part of the Nottingham Hills Subdivision Phase 1 and incorporated herein. See Ex. D

ARCHEOLOGICAL SURVEY

Provided to the East Lyme Subdivision as part of Nottingham Hills Subdivision Phase 1 and 3 and incorporated herein. There are no Archeological issues to address that need to be addressed.

OPEN SPACE CALCULATIONS
NOTTINGHAM HILLS SUBDIVISION

Phase I

<u>Lot #</u>	<u>Acreage</u>
1	1.71
2	.92
3	1.25
4	1.39
5	1.23
6	1.21

Phase II

6	1.34
8	2.21
9	3.09
10	1.95
11	1.71
30	1.29
31	1.34
48	2.96
49	2.11
197 Upper Patt	2.68

Phase III

12	1.06
13	1.34
14	1.17
15	1.27
16	1.35
17	1.0
18	.93
19 (rear)	2.45
20	Phase IV
21 (rear)	3.12
22	1.30
24	1.73
25	1.78
26	2.58
27	2.91

28 4.36

Phase IV

20 33.0
29 3.05
32 15.03

Open Space

Aunt Ruth Turnpike 23.2
Phase I .32 (south side Kensington Drive)
Phase II 4.24 (Conservation Easement)
Phase III N/A
Phase IV 10.63 (Conservation Easement)
2.96 (Conservation Easement)

TOTAL ACRES

LOTS: 107.82

OPEN SPACE: 41.35

EXHIBIT 2

RECORD AND RETURN TO:
Geraghty & Bonnano, LLC
38 Granite Street, P. O. Box 231
New London, CT 06320

WARRANTY DEED - STATUTORY FORM

TO ALL PERSONS TO WHOM THESE PRESENTS SHALL COME, KNOW YE THAT **ENGLISH HARBOUR ASSET MANAGEMENT, LLC** of the City of Cheyenne, County of Laramie and State of Wyoming, for consideration of ONE DOLLAR (\$1.00) and other good and valuable consideration grants to **ENGLISH HARBOUR ASSET MANAGEMENT, LLC** of City of Cheyenne, County of Laramie and State of Wyoming with WARRANTY COVENANTS, all that certain piece or parcel of land, situated in the Town of East Lyme, County of New London and State of Connecticut, being further bounded and described on Schedule A attached hereto.

The intent of this deed is separate out that portion of Lot 19 (a/k/a 22 Upper Kensington) to be conveyed to the East Lyme Land Trust referenced as "Area To Be Transferred From Lot 19 To The East Lyme Land Trust" on a map entitled "Lot Line Revisions Nottingham Hill Subdivision Lots 19, 20, 21 & 32 Property Owner: English Harbour Asset Management LLC" recorded in Drawer 8-118 of the East Lyme land records.

NO CONVEYANCE TAX RECEIVED
KAREN MILLER GALBO
EAST LYME, CT TOWN CLERK

Said Premises are conveyed subject to:

Any and all provisions of any municipal, ordinance or regulation or public or private law with special reference to the provisions of any zoning regulations and regulations governing the said Premises.

Real property taxes on the current Grand List and any municipal liens or assessments becoming due and payable on or after the delivery of this Deed.

IN WITNESS WHEREOF, the Grantor(s) has/have caused these presents to be
executed on this 05 day of ~~February~~^{March} KS, 2020.

Witnessed by:

ENGLISH HARBOUR ASSET
MANAGEMENT, LLC

Cheryl Desobler
MS
authorized

By: Kristen Clarke
Kristen Clarke
Its Manager, duly

STATE OF New Hampshire)
COUNTY OF Hillsborough) ss: _____ March^{KS}
February^{KS} 05, 2020

On this the 05 day of February^{March}, 2020, before me, the undersigned officer,
personally appeared Kristen Clarke, as Manager of English
Harbour Asset Management, LLC, known to me (or satisfactorily proven) to be the
persons whose name is transcribed to the foregoing document and acknowledged same
to be her free act and deed, and the free act and deed of the company, before me.

MS

Notary Public
My Commission Expires:



SCHEDULE A

Beginning at a Point, which is at the Northerly Corner of Lot 19, thence the following courses & distances:

S 15°58'11" W a distance of 268.48' to a point

N 65°34'47" W a distance of 64.89' to a point

N 08°47'03" E a distance of 285.14' to a point

S 60°32'04" E a distance of 102.69' to a point and point of beginning

Said area contains 22312.55 Sq. Ft. ± or 0.51 Acres ±, and is referenced as "Area To Be Transferred From Lot 19 To The East Lyme Land Trust" on "Lot Line Revisions Nottingham Hills Subdivision Lots 19, 20, 21 & 32 Property Owner: English Harbour Asset Management LLC c/o Kristen Clarke P.E. 375 N. Bend Drive Manchester, NH"

Dated: February 1, 2019, Revised thru November 8, 2019

RECEIVED FOR RECORD
Mar 18, 2020 08:22:42A
Karen Miller Galbo
TOWN CLERK
EAST LYME, CT

EXHIBIT 3

RECORD AND RETURN TO:
Geraghty & Bonnano, LLC
38 Granite Street, P. O. Box 231
New London, CT 06320

WARRANTY DEED - STATUTORY FORM

TO ALL PERSONS TO WHOM THESE PRESENTS SHALL COME, KNOW YE THAT **ENGLISH HARBOUR ASSET MANAGEMENT, LLC** of the City of Cheyenne, County of Laramie and State of Wyoming, for consideration of ONE DOLLAR (\$1.00) and other good and valuable consideration grants to **ENGLISH HARBOUR ASSET MANAGEMENT, LLC** of City of Cheyenne, County of Laramie and State of Wyoming with WARRANTY COVENANTS, all that certain piece or parcel of land, situated in the Town of East Lyme, County of New London and State of Connecticut, being further bounded and described on Schedule A attached hereto.

The intent of this deed is separate out that portion of Lot 21 (a/k/a 24 Upper Kensington) to be conveyed to the East Lyme Land Trust referenced as "Area-To Be Transferred From Lot 21 To The East Lyme Land Trust" on a map entitled "Lot Line Revisions Nottingham Hill Subdivision Lots 19, 20, 21 & 32 Property Owner: English Harbour Asset Management LLC" recorded in Drawer 8-118 of the East Lyme land records.

Said Premises are conveyed subject to:

Any and all provisions of any municipal, ordinance or regulation or public or private law with special reference to the provisions of any zoning regulations and regulations governing the said Premises.

Real property taxes on the current Grand List and any municipal liens or assessments becoming due and payable on or after the delivery of this Deed

NO CONVEYANCE TAX RECEIVED
KAREN MILLER GALBO
EAST LYME, CT TOWN CLERK

IN WITNESS WHEREOF, the Grantor(s) has/have caused these presents to be
executed on this 05 day of ~~February~~ ^{March} ~~2020~~ ^{KS}.

Witnessed by:

Cheryl O'Leary
[Signature]
authorized

ENGLISH HARBOUR ASSET
MANAGEMENT, LLC

By: Kristen Clarke
Kristen Clarke
Its Manager, duly

STATE OF New Hampshire)
COUNTY OF Hillsborough) ss: _____ March ^{KS}
February 05, 2020

On this the 05 day of ~~February~~ ^{March} ~~2020~~ ^{KS}, before me, the undersigned officer, personally appeared Kristen Clarke, as Manager of English Harbour Asset Management, LLC, known to me (or satisfactorily proven) to be the persons whose name is transcribed to the foregoing document and acknowledged same to be her free act and deed, and the free act and deed of the company, before me.

[Signature]

Notary Public
My Commission Expires:



Beginning at a Point, which is at the Southerly Corner of Lot 21, thence the following courses & distances:

N 60°32'04" W a distance of 102.69' to a point
N 08°47'03" E a distance of 247.27' to a point
S 79°03'42" E a distance of 238.85' to a point
S 81°01'16" E a distance of 43.88' to a point
S 76°38'32" E a distance of 28.93' to a point
S 77°50'59" E a distance of 93.03' to a point
S 05°48'29" E a distance of 86.20' to a point
N 77°50'57" W a distance of 270.00' to a point
S 37°21'33" W a distance of 95.97' to a point
S 15°58'11" W a distance of 115.71' to a point and point of beginning

Said area contains 55131.32 Sq. Ft. ± or 1.27 Acres ±, and is referenced as "Area To Be Transferred From Lot 21 To The East Lyme Land Trust" on "Lot Line Revisions Nottingham Hills Subdivision Lots 19, 20, 21 & 32 Property Owner: English Harbour Asset Management LLC c/o Kristen Clarke P.E. 375 N. Bend Drive Manchester, NH"

Dated: February 1, 2019, Revised thru November 8, 2019

RECEIVED FOR RECORD
Mar 18, 2020 08:23:01A
Karen Miller Gaiba
TOWN CLERK
EAST LYME, CT

EXHIBIT 4

EXHIBIT 5

Return to:

Geraghty & Bonnano, LLC
Attorneys at Law
PO Box 231
New London, CT 06320

WARRANTY DEED-STATUTORY FORM

TO ALL PERSONS TO WHOM THESE PRESENTS SHALL COME, KNOW YE
THAT ENGLISH HARBOUR ASSET MANAGEMENT, LLC of the City of Cheyenne,
County of Laramie and State of Wyoming, for consideration of ONE DOLLAR (\$1.00) and
other good and valuable consideration grants to the EAST LYME LAND TRUST, INC. of
13 Enid Lane, Town of East Lyme, County of New London and State of Connecticut with
WARRANTY COVENANTS, all that certain piece or parcel of land situated in the Town
of East Lyme, County of New London and State of Connecticut, known as Assessors Map
30.0-10.1, being further bounded and described on Schedule A attached hereto.

Said Premises are conveyed subject to

Any and all provisions of any municipal ordinance or regulation or public or private
law, with special reference to the provisions of any zoning rules and regulations
governing the said Premises.

Real property taxes and any municipal liens or assessments on the current grand
list or hereinafter becoming due and payable, which the Grantee, by acceptance
of this Deed, assumes and agrees to pay.

CONVEYANCE TAX RECEIVED
STATE \$.00
TOWN \$.00
EAST LYME, CT TOWN CLERK

IN WITNESS WHEREOF, the Grantor has caused these presents to be signed this

23 day of December, 2020.

Signed, Sealed and Delivered
in the presence of:

ENGLISH HARBOUR ASSET
MANAGEMENT, LLC

[Signature]

By: Kristen Clarke
Kristen T. Clarke, Its Manager
Duly authorized

[Signature]

STATE OF NEW HAMPSHIRE

COUNTY OF Hillsborough

:
:
ss. _____

On this 23 day of December, 2020, before me, the undersigned officer, personally appeared, Kristen T. Clarke, as Manager of English Harbour Asset Management, LLC, known to me (or satisfactorily proven) to be the person whose name is transcribed to the foregoing document and acknowledged the same to be her free act and deed, and the free act and deed of the company.



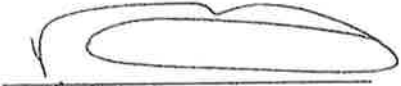
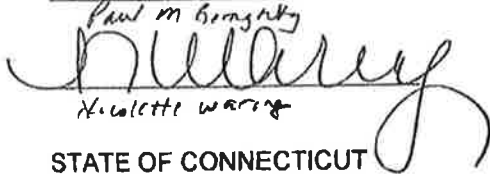
Cheryl J. Descoteaux

Notary Public
My commission expires: 05-16-2023

The East Lyme Land Trust, Inc. hereby acknowledges acceptance of the foregoing conveyance:

Signed, Sealed and Delivered
in the presence of:

EAST LYME LAND TRUST, INC.

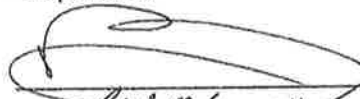

Paul M. Bragaglia

Nicolette Waring

By: 
Ronald Luich, Its President
Duly authorized

STATE OF CONNECTICUT
COUNTY OF NEW LONDON

ss. New London

The foregoing instrument was acknowledged before met this 30 day of December, 2020, by Ronald Luich, President of the East Lyme Land Trust, Inc., a State of Connecticut corporation, on behalf of the corporation.


Paul M. Bragaglia
Notary Public
My commission expires: Commission of Superior Court

SCHEDULE A

A certain piece or parcel on the westerly side of Upper Kensington Drive in the Town of East Lyme, County of New London and state of Connecticut, shown as "Land Conveyed to East Lyme Land Trust, Inc. Area = 1654931.67 Sq. Ft. ± or 37.99 Acres ±"

On a map or plan entitled "Property Survey of Land Conveyed to East Lyme Land Trust, Inc. Upper Pattagansett Road & Upper Kensington Drive, East Lyme, Connecticut Prepared for East Lyme Land Trust, Inc." Date June 16, 2020 Scale 1"=100' Sheet 1 of 1 Prepared by Donald L. Gesick Jr, Gesick & Associates, P.C. Surveyors Mappers & Planners, 19 Cedar Island Avenue, Clinton Connecticut 06413. Said map is or shall be recorded in the Land Records at the Office of the Town Clerk in the Town of East Lyme. Said piece or parcel being more particularly described as follows.

Beginning at a 5/8" Rebar, in a stonewall, being the northwest corner of the herein described parcel, in the easterly line of 259 Upper Pattagansett Road;

Thence along said stonewall and said 259 Upper Pattagansett Road, the following six (6) courses and distances:

N 33°29'08" E a distance of 88.50' to a Drill Hole;
N 35°15'27" E a distance of 67.80' to a point;
N 33°08'27" E a distance of 253.23' to a point;
N 32°59'26" E a distance of 136.91' to a Drill Hole;
N 34°23'50" E a distance of 423.36' to a point;
N 32°53'10" E a distance of 209.68' to a 1/2" Rebar at a corner of stonewalls, being the northern most point of the herein described parcel, in the southerly line of
16 Mostowy Road

Thence along said stonewall and said southerly line of 16 Mostowy Road, the following thirteen (13) courses and distances:

S 46°30'40" E a distance of 123.50' to a point;
S 46°01'40" E a distance of 217.22' to a 5/8" Rebar;
S 89°12'43" E a distance of 42.36' to a point;
S 73°13'34" E a distance of 29.82' to a point;
S 80°28'20" E a distance of 165.43' to a point in stonewall corner
S 82°18'10" E a distance of 181.05' to a point;
S 78°19'54" E a distance of 143.05' to a 7/8" Rebar in a stonewall corner;
S 79°11'56" E a distance of 96.36' to a point;
S 79°03'42" E a distance of 238.85' to a point;
S 81°01'16" E a distance of 43.88' to a point;
S 76°38'32" E a distance of 28.93' to a point in a stonewall corner;

S 77°50'59" E a distance of 93.03' to a 7/8" Rebar being the northeast corner of the herein described parcel;
S 05°48'29" E a distance of 86.20' to a Mag Nail, being the northwest corner of 26 Upper Kensington Drive

Thence along 24 Upper Kensington Drive, the following three (3) courses and distances:

N 77°50'57" W a distance of 270.00' to a 7/8" Rebar;
S 37°21'33" W a distance of 95.97' to a 7/8" Rebar;
S 15°58'11" W a distance of 115.71' to a 7/8" Rebar, Being the northwest Corner of
22 Upper Kensington Drive;

Thence along said 22 Upper Kensington Drive, the following two (2) courses and distances:

S 15°58'11" W a distance of 268.48' to a 7/8" Rebar;
S 65°34'47" E a distance of 278.74' to a point, being the northwest corner of 16 Upper Kensington Drive;
Thence S 32°45'22" W along said 16 Upper Kensington Drive, a distance of 150.01' to a 1/2" Rebar; being the northwest corner of 14 Upper Kensington Drive;

Thence along said 14 Upper Kensington Drive, the following three (3) courses and distances:

S 32°45'22" W a distance of 153.00' to a 1/2" Rebar;
S 59°28'17" E a distance of 175.70' to a 5/8" Rebar;
S 59°28'17" E a distance of 200.00' to a 7/8" Rebar in the westerly line of upper Kensington Drive;
Thence S 30°31'43" W along said westerly line of Upper Kensington Drive, a distance of 25.00' to a 1/2" Rebar, being the northeast corner of 12 Upper Kensington Drive,
and the southeast corner of the parcel herein described;

Thence along said 12 Upper Kensington Drive, the following two (2) courses and distances:

N 59°28'17" W a distance of 200.00' to a 5/8" Rebar;
N 59°28'17" W a distance of 176.67' to a 1/2" Rebar, being the northeast corner of 235B Upper Pattagansett Road

Thence along said 235B Upper Pattagansett Road, the following five (5) courses and distances:

N 67°46'12" W a distance of 132.03' to a 7/8" Rebar;
S 38°41'26" W a distance of 100.72' to a 7/8" Rebar;

S 38°41'26" W a distance of 30.60' to a point;
S 69°12'02" W a distance of 292.52' to a 5/8" Rebar;
S 69°12'02" W a distance of 75.00' to a 7/8" Rebar, being the northeast corner of
237 Upper Pattagansett Road;

Thence along said 237 Upper Pattagansett Road, the following five (5) courses
and distances:

N 67°54'27" W a distance of 170.00' to a 5/8" Rebar;
N 67°54'27" W a distance of 168.46' to a 7/8" Rebar;
S 82°32'08" W a distance of 146.00' to a 5/8" Rebar;
S 82°32'08" W a distance of 268.25' to a 7/8" Rebar;
S 76°13'39" W a distance of 153.44' to a 5/8" Rebar, being the southeast corner
of 239R Upper Pattagansett Road;

Thence along said 239R Upper Pattagansett Road, the following three (3)
courses and distances:

N 02°43'37" E a distance of 195.00' to a 5/8" Rebar;
N 02°43'37" E a distance of 122.92' to a 5/8" Rebar;
N 55°29'25" W a distance of 237.97' to a 5/8" Rebar, Being the point of and place
of beginning

Said parcel containing 37.99 Acres ±.

RECEIVED FOR RECORD
Dec 30, 2020 02:09:10P
Karen Miller Galbo
TOWN CLERK

EAST LYME, CT

EXHIBIT 6

Nov 22 2010 at 10:00 AM PM

EAST LYME PLANNING COMMISSION
PUBLIC HEARING IV
Tuesday, NOVEMBER 16th, 2010
MINUTES

Esther B. Williams
EAST LYME TOWN CLERK

The East Lyme Planning Commission held a Public Hearing on the Application of New England National LLC for a proposed 2-lot Re-Subdivision of 46.95 acres of property having frontage on and located between 241 and 233 Upper Pattagansett Rd., East Lyme, CT; Tax Assessor's Map #39.0, Lot 10-1; with a request for the substitution and re-subdivision of previously designated open space to create one additional proposed lot of record and a request for a waiver of Section 6-16-1 through 6-16-6 of the Subdivision Regulations on November 16, 2010 at Town Hall, 108 Pennsylvania Ave., Niantic, CT. Acting Chairman McPherson opened the Public Hearing and called it to order at 7:46 PM after the three previously scheduled Public Hearings.

PRESENT: George McPherson, Acting Chairman, Francine Schwartz, Frank Balantic, Alternate, Brian Bohmbach, Alternate

ALSO PRESENT: Jeffrey Torrance, representing the Applicant
Attorney Mark Block, Town Counsel
Gary Goeschel, Planning Director
~~William Scheer, Town Engineer~~

ABSENT: Mike Bowers, Chairman, Mike Mangelinkx, Chris Sandford, Brian Schuch, Joan Bengtson, Alternate

Pledge of Allegiance

The Pledge was observed.

Acting Chairman McPherson noted that he had seated Frank Balantic Alternate and Brian Bohmbach, Alternate at the table this evening.

Public Hearing I

1. Application of New England National LLC for a proposed 2-lot Re-Subdivision of 46.95 acres of property having frontage on and located between 241 and 233 Upper Pattagansett Rd., East Lyme, CT; Tax Assessor's Map #39.0, Lot 10-1; with a request for the substitution and re-subdivision of previously designated open space to create one additional proposed lot of record located at the terminus of Kensington Drive and north of Upper Kensington Drive, East Lyme, Connecticut, Tax Assessor's Map #40.0, Lot #14-1; and a request for a waiver of Section 6-16-1 through 6-16-6 of the Subdivision Regulations

Mr. McPherson called for the applicant or his representative to give a presentation on this application.

Jeffrey Torrance, representing the applicant submitted **Exhibit P** for the record – a letter dated 11/2/2010 from Robert A. Blatt authorizing him to act on his behalf on this application.

Mr. Goeschel read the List of Exhibits into the record and added **Exhibit Q** – Plans revised through 11/16/2010 and **Exhibit R** – Certificates of Mailing dated 11/12/2010. (List attached at end of Minutes).

→ Mr. Torrance noted that the sign was posted on the property on November 1, 2010. He explained that this property is approximately 48 acres that was set aside for future development. It has access from two locations – the Nottingham Hills Subdivision and Pattagansett Road. The proposal is to make two lots from the one. One lot would be approximately 15 acres and the other would be 33 acres. A third lot is a parcel of land that was preliminarily designated as open space in a previous application – but was not finalized. There is a 3.04 acre parcel and 2.2 acres of conservation easement and they are designating an additional 10.63 acres on the 48 acre parcel as open space. This is far more than they are required to set aside and they want to reserve the right to use it for the open space requirement calculations on future development. He

continued that in working with the Town Engineer, they no longer need the waiver of Section 6-16-1 through 6-16-6 and Sheet SD4 shows the stormwater detention area. An area was originally designed to keep stormwater on site adjacent to this lot however they have added more. He summed up that he feels that they have met the requirements for the subdivision of the two parcels.

Mr. McPherson asked if the Commissioners had any questions or comments –

→ Mr. Goeschel asked if they were clear on the open space. ←

Mr. Balantic asked if the ¼ acre shift was to allow for the conservation easement.

Mr. Torrance said that went to wetlands and they approved it as a lot.

Mr. Balantic said that it looks like it is a good swap. He asked when the open space would be finalized.

→ Mr. Torrance said that per the opinion of Counsel, they do not have to do it until the development is finished so it could go on for quite some time. However – as per this 10 acre piece – he said they will put the conservation easement on it now but reserve the right to include it in future calculations.

William Scheer, Town Engineer explained the stormwater regulations noting that in a subdivision like this one where they are in the woods – there are basically swales and indentations in the ground. They are meant to catch the stormwater to pool and let it go into the ground. He said that he would review it out in the field when they start development but there is enough area and woods for the water to go into the ground.

Mr. Torrance said that while they requested a waiver of the stormwater regulations that it is basically a moot point and they do not need one.

Mr. McPherson called for any comments from the public –

Hearing none –

He called for a motion to close this Public Hearing –

****MOTION (1)**

Mr. Balantic moved to close this Public Hearing.

Mr. Bohmbach seconded the motion.

Vote: 4 – 0 – 0. Motion passed.

Mr. McPherson closed this Public Hearing at 8:05 PM.

Respectfully submitted,

Karen Zmitruk,
Recording Secretary

EXHIBIT 7

- VI. PUBLIC HEARINGS-None
- VII. SUBDIVISIONS / RE-SUBDIVISIONS - (PENDING)- None
- VIII. ZONING REFERRALS [Connecticut General Statute (CGS) 8-3a] no zoning referrals
- IX. MUNICIPAL REFERRALS [Connecticut General Statutes (CGS) 8-24] -none
- X. OLD BUSINESS – None
- XI. NEW BUSINESS:

- A. Application of Kristen T. Clarke, P.E., for English Harbour Asset Management LLC, Owner; Application for a 4-lot re-subdivision of approximately 3.8 acres of land zoned RU-40, located at 22 and 2 Upper Kensington Dr., East Lyme, Assessor's Map 40.0, Lot 22 and 23.
- C. Application of Jason Pazzaglia, for Pazz and Construction LLC, Owner; Application and waiver request from Section 23.5 B of the East Lyme Zoning Regulations for a 1-lot re-subdivision of 5.29 acres of land within the R-40 zoning district located at 24 Darrows Ridge Rd., East Lyme, Assessor's map 44.0, Lot 8-31.

The commission scheduled a Public Hearing for items A. and C. for July 27, 2020 at 7:00

- B. Request of Paul M. Geraghty, Esq., Attorney for English Harbour Asset Management LLC, for release of Open Space Covenant, Recording of Conservation Easement in favor of East Lyme Land Trust, Inc., and Release of the Conservation Easement in conjunction with the Nottingham Hills Subdivision Phase IV.

P. Geraghty gave background on the subdivision and the approximately 36 acres proposed to be donated to the East Lyme Land Trust. He stated that the applicant has to submit the title insurance policy to DEEP; DEEP has seen the covenant and they will not accept the title policy that has the covenant in it. He then spoke to the insurance company and they would like it removed due to DEEP's request. The applicant believes the covenant has been satisfied and therefore requests the commission release the open space covenant.

P. Geraghty stated they have donated 41.35 acres of open space to the East Lyme Land Trust. G. Goeschel stated the applicant has satisfied the open space requirements.

The two conservation easements were given to the town by the previous developer and they are asking that they be assigned to the East Lyme Land Trust. He informed the members that the transaction will be held in escrow; if the agreement fails to go forward then the town will not lose the conservation easements.

G. Goeschel stated the town attorney is declining to comment on this application due to a conflict of interest.

P. Geraghty informed the members that because DEEP is awarding a grant they will apply their own requirements/easements to assure the East Lyme Land Trust will abide by the grant award.

MOTION: (Williams/Gordon) Move to FIND the terms of the open space covenant record on the East Lyme land record book 653, page 355 as the terms of of the covenant have been met with the dedication open space as part of the Phase II of the Nottingham Hills Subdivision and herby authorize the Planning Commission Chairman to execute the release of covenant. Vote: Approved Unanimously.

MOTION: (Gordon/ Davison) move to assign the Conservation Easement in favor of the Town of East Lyme recorded in book 742, page 502 and book 870, page 689 to the East Lyme Land Trust and to authorize the Planning Commission Chairman to execute said agreement and the Town of East Lyme shall hold in escrow the release of the covenant and assignment of the conservation easement pending recording. Vote: Approved Unanimously.

D. Application of the Town of East Lyme Inland Wetlands Agency for a text amendment to amend section 2.1 of the East Lyme Inland Wetland Regulations to change the Definition of a "Regulated Activity" by enlarging the distance of the boundary for a regulated activity from 100' from an inland wetlands and/or watercourse to 500'.

G. Goeschel gave background on the text amendment of the East Lyme Inland Wetlands Regulations. He created a map for the public hearing comparing the current regulated area and the proposed regulated area. If the proposed changes are enacted the regulated area would cover most of the town. If adopted, then any proposed activity would require an application which would necessitate hiring more staff. DEEP suggests that 100' is sufficient for the Upland Review Area.

After a lengthy discussion on the role of the IWA jurisdiction and authority and if the Planning Commission should issue a comment on a regulation change by another commission, the members did not want to approve or disapprove the proposed regulation change as they did not have the expertise to comment. K. Scott understood increasing the regulated area but did not know the reasoning for increasing the regulated area by 400 feet. G. Goeschel informed the members that it is not clear why the 500' as compared to a lesser amount. It was the consensus of the Planning Commission that they want to support empowering the IWA to enact their regulations. The Commission suggested the IWA watch the recording of their discussion and read the minutes.

E. Bylaws-tabled

F. Subdivision Regulations and Fees-tabled

XII. ADJOURNMENT MOTION: (Gordon/Davison) to adjourn at 9:08 Vote: Approved Unanimously.

Respectfully Submitted,
Sue Spang,
Recording Secretary

**2020 Meeting dates: February 4, March 3, April 7, May 5, June 2, July 7, August 4, September 1,
October 6, November 10*, December 1.**

***Second Tuesday of the month**

EASTLYME PLANNING COMMISSION

Regular Meeting, July 7, 2020. 7:00 PM

East Lyme Town Hall, Upper Meeting Room
108 Pennsylvania Avenue, East Lyme, Connecticut

CHAIRMAN: Kirk Scott
SECRETARY:

PLANNING DIRECTOR: Gary Goeschel II
RECORDING SECRETARY: Sue Spang

CALL TO ORDER 7:02

I. ROLL CALL + PLEDGE OF ALLEGIANCE

Present: Kirk Scott, Michelle Williams, Nichole Davison, Richard Gordon, Elizabeth Allen, Alt.

Absent: Thomas Fitting, Mary Salvatore, Brian Bohmbach, Alt. Vacancy, Alt.

Also Present: G. Goeschel, M. Salerno,

II. CALL FOR ADDITIONS TO THE AGENDA-no additions

III. CALL FOR PUBLIC DELEGATIONS-No public delegations

IV. REPORTS

- A. Communications-no report
- B. Zoning Representative-no report
- C. Ex-Officio

Selectman Salerno informed the commission:

- town hall has fully opened this week
- there are no plans to have in person board and commission meetings at this time
- the BOS has approved additional funding for the Public Safety Building which will go to the BOF and referendum

D. Planning Director: Gary A. Goeschel II-no report

E. Sub-Committees

- **Walkability-** G. Goeschel suggested the walkability study compiled by a previous member D. Phimister be rolled into the POCD.
- **Plan of Conservation and Development (POCD) Steering Committee-**M. Williams stated they have not met since January due to COVID 19. She reported the public forum went well and they received good feedback. The draft POCD will go to the BOS in August and the Planning Commission will receive it at the same time. G. Goeschel stated the Governors 90-day extension does not apply to the POCD.
- **East Lyme Subdivision Regulations-**G. Goeschel suggested waiting until after the POCD is complete
- **Chairman-**K. Scott thanked the members of the POCD subcommittee for all their hard work. G. Goeschel read the rules for participating in a ZOOM meeting and informed the public and members that all information pertinent to tonight's meeting is on the town's website.

FILED

July 10 2020 AT 3:25 AM/PM

(Signature)
EAST LYME TOWN CLERK

V. APPROVAL OF MINUTES

- A. **January 7, 2020 Regular Meeting Minutes**
MSC (Williams/Gordon) to approve the January 7, 2020, Regular Meeting minutes as presented. **Vote: Approved Unanimously.**

EXHIBIT 8

MEMORANDUM

TO: GARY GOESCHEL, DIRECTOR OF PLANNING
FROM: MARK E. BLOCK, ESQ.
DATE: FEBRUARY 1, 2010
RE: OPEN SPACE DEDICATION - HERITAGE AT EAST LYME RESUBDIVISION

You have asked for an opinion in regards to open space dedication for the proposed resubdivision of Heritage at East Lyme. (the "Resubdivision")

The facts as related to me are that Heritage at East Lyme was, when first subdivided ("Original Subdivision"), an estimated 330 acre tract of land ("Original Tract"). The Original Subdivision contained one lot comprised of a 198 acre tract, which is the subject of the resubdivision application ("Subject Parcel"). At the time of the approval of the Original Subdivision, there was approximately 39.45 acres dedicated as open space as a condition of that approval.

The question presented is can the Planning Commission require a dedication of additional open space as part of the approval of the Resubdivision.

Conn. Gen. Stat. §8-25 provides that the Town's subdivision regulations may require the applicant by deed, payment of a fee or combination of the two, to provide the Town with open space of a value not to exceed 10% of the fair market value of the land to be subdivided "prior to the approval of the subdivision".

Section 10-5 of the Subdivision regulations is consistent with the General Statutes, and says that in arriving at the fee in lieu of the dedication of the land, the fee cannot equal more than 10% of the "fair market value of the land to be subdivided "prior to approval of the subdivision."

Further, Section 10-2-2 of the Subdivision Regulations says that if a parcel "is subdivided in stages, the open space dedication attributable to the subdivision of a portion of the entire tract" may be deferred to a later date. The critical language in this section is the reference to the subdivision being in stages and calculating open space based upon the entire tract.

There are no cases on this precise issue, so one must look to the language of the statute and the regulations. In this case the Original Tract that was submitted to the Commission for subdivision approval comprised 330 acres. The Commission required, per its regulations, that the Developer set aside open space calculated on the number of acres in the Original Tract, i.e., 300 acres. Both the Statute and the Regulations speak of the dedication for open space to be from the land to be subdivided. The Town's regulations also speak of a subdivision developed in stages, with provision for deferral of the open space. In my opinion, since with original developer met the open space requirements at the time of the

Original Subdivision, and made that dedication out of the Original Tract, the Commission cannot require an additional dedication from the Subject Parcel, which is a resubdivision of a portion of the Original Tract/Subdivision.

M:\users\MEB\East Lynn\open space memo.wpd

EXHIBIT 5

MEMO

**To: Wendy Brown Arnold
Ledge Light Health District**

**From: Kristen Clarke PE
English Harbour Asset Management LLC**

Date: April 11, 2022

**Subject: Re-Subdivision
Nottingham Hills Subdivision Lot 27
East Lyme**

Wendy, Attached please find the following per your email to Paul Geraghty, Ex. A, dated April 9, 2022;

1) A PDF of Signed, Sealed & Stamped Plans (Originals to be delivered to your New London office) are attached as Ex. B.

2) A copy of the application previously submitted in February of 2021 together with a copy of the application fee check and my bank statement evidencing the tendered application fee check has been cashed by Ledge Light Health District.

With regard to the attached plans I would note the following;

A) Based on changes to the Lot Line Revision Plan previously approved that created the current Lot 27 we are re-subdividing lot 27 instead of lot 26 as was envisioned in the original conceptual plan.

B) No review of this application has ever occurred by Ledge Light Health District

C) The plans submitted herewith include code compliant system areas previously approved as follows;

- **New Lot 27.1 uses the code compliant system area approved for lot 26 in the original Nottingham Hills Subdivision Phase 3 for lot 26, and the lot 26/25 Lot Line Revision plan approved in 2020.**
- **Revised Lot 27 uses the code compliant system area approved for lot 28 in the Nottingham Hills Subdivision Phase 3 Plans.**
- **New Lot 27. 2 uses the code compliant system area approved for lot 27 in the Nottingham Hills subdivision Phase 3 plans and the 2021 Lot Line Revisions plans for Lots 26, 27, & 28**

EXHIBIT A

From: Wendy Brown-Arnold <warnold@llhd.org>
Sent: Saturday, April 9, 2022 11:22 AM
To: Paul Geraghty <pgeraghty@geraghtybonnano.com>; Gary Goeschel <ggoeschel@eltownhall.com>
Cc: Danielle Holmes <dholmes@llhd.org>; Stephen Mansfield <smansfield@llhd.org>
Subject: RE: English Harbour

Hi Paul,

For any lot line changes please submit a site plan showing existing and proposed configurations, soil testing, code-complying areas etc. and I will be happy to review the changes. As discussed before, if all lots affected are vacant, this will be a subdivision feasibility review not a B100a review.

Best,

Wendy

Wendy Brown-Arnold, RS, REHS

Supervisor of Land Use Activities

main phone. 860.448.4882 ext. 1355

direct dial. 860.910.0446

fax. 860.448.4885

warnold@llhd.org

www.llhd.org

Promoting healthy communities



From: Paul Geraghty <pgeraghty@geraghtybonnano.com>

Sent: Friday, April 8, 2022 3:58 PM

To: Gary Goeschel <ggoeschel@eltownhall.com>

Cc: Kevin Seery <kseery@eltownhall.com>; Jennifer Lindo <jlindo@eltownhall.com>; Karen Zmitruk <kzmitruk@eltownhall.com>; Sandra Anderson <sanderson@eltownhall.com>; Alex Klose <aklose@eltownhall.com>; Stephen Mansfield <smansfield@llhd.org>; Wendy Brown-Arnold <warnold@llhd.org>; Danielle Holmes <dholmes@llhd.org>; Bill Mulholland <billm@eltownhall.com>; Michael Carey

<mcarey@sswbgg.com>

Subject: Re: English Harbour

Gary Tuesday at 10 works. I'm meeting Bill at 10 on Monday if that works for you too.

On Apr 8, 2022 2:00 PM, Gary Goeschel <ggoeschel@eltownhall.com> wrote:

Paul,

How about we schedule Tuesday, April 12, at 10:00AM. In the meantime, what time are you meeting with Bill (I suspect you mean Bill Mulholland)? I may be able to attend Monday if it's after 10:00am as I should be in the office.

Best,

Gary Goeschel

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gary, As a follow up after looking at the plans again, the Nottingham Re Subdivision is lot 27 aka 11 Upper Kensington Drive. The re subdivision utilizes feasible septic system areas that have previously been approved by Ledge Light. The Common Driveway has already been approved so I'm not sure the Town engineer needs to be involved either. I'm meeting with Bill on Monday so I intended to bring this up with him then.

With regard to the Hathaway Property the parcels in question are not now nor have ever been part of the property sale being discussed with the East Lyme Land Trust. Further, I have confirmed with the property owner of the Hathaway Property, whom I also represent, that there are no pending discussions occurring with them and the Town so I'm not sure why Mr. Seery and Carey's presence is necessary. Ledge Light has already read the test holes so I don't think their presence is required for this matter either. Finally, there are no public improvements required for the Hathaway Subdivision.

In my opinion we can address all matters on Tuesday.

Regards Paul

From: Gary Goeschel <ggoeschel@eltownhall.com>
Sent: Friday, April 8, 2022 11:29 AM
To: Paul Geraghty <pperaghty@geraghtybonnano.com>
Cc: Kevin Seery <kseery@eltownhall.com>; Jennifer Lindo <jlindo@eltownhall.com>; Karen Zmitruk <kzmitruk@eltownhall.com>; Sandra Anderson <sanderson@eltownhall.com>; Alex Klose <aklose@eltownhall.com>; Steve Mansfield <smansfield@lthd.org>; warnold@lthd.org; dholmes@lthd.org; Bill Mulholland <billm@eltownhall.com>; Michael Carey <mcarey@ssw/bgg.com>
Subject: RE: English Harbour

Hello Paul,

I am available next week, Tuesday, April 12, 2022, anytime between 10:00AM and 12:00PM and Thursday, April 14, 2022, anytime between 10:00AM and 12:00 Noon for an informal discussion to discuss a proposed resubdivision of lot 17 (I believe lot 17 has an address of 9 Upper Kensington?). However, would it make sense to include a sanitarian from Ledge Light, the Town Engineer, and the Zoning Official as well? If so, I'll need to coordinate with them and their schedules. I've cc'd them here for convenience. Please let us know how you would like to proceed with coordinating such a meeting.

In regards to discussing anything concerning the Hathaway property, as it is the subject of real estate negotiations, the First Selectman has directed me he would like to be present along with our council. As such, I will need to coordinate with the First Selectman.

Best Regards,

Gary

Gary A. Goeschel II

Director of Planning / Inland Wetlands Agent

Town of East Lyme

PO Box 519 | 108 Pennsylvania Avenue | Niantic, Connecticut 06357

Office 860-691-4105 | Fax 860-691-0351

ggoeschel@eltownhall.com

From: Paul Geraghty <pgeraghty@geraghtybonnano.com>
Sent: Wednesday, April 6, 2022 12:04 PM
To: Gary Goeschel <ggoeschel@eltonnhali.com>
Subject: English Harbour

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gary, I will be filing an application for re-subdivision of lot 17 Upper Kensington next week. I would like to set up a meeting to review the plans with you on that as well as to discuss a possible subdivision for part of the Hathaway parcel that fronts on Scoot Road. Would you have time available next week to review that? Paul.

Paul M. Geraghty

Geraghty & Bonnano, LLC

38 Granite Street

New London, CT 06320

p.860-447-8077

f.860-447-9833

"Please note that among the services that this firm provides is for attempting to collect a debt, and if this communication is in regards to a debt collection, any information obtained will be used for that purpose."

*****Confidentiality Notice*****

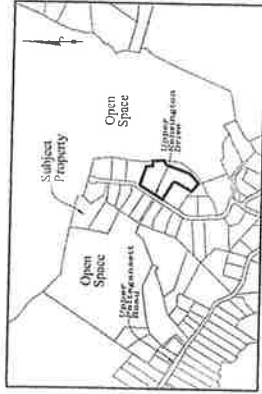
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EXHIBIT B

Nottingham Hills Subdivision Lot Line Revision of Existing Lot 27 & 2 Lot Re-Subdivision of Lot 27

Reference Maps

1. LOT 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



Location Map
Scale: 1"=800'

Zoning Compliance Chart

ZONE	MIN. LOT AREA (SQ. FT.)	MIN. LOT WIDTH (FT.)	MIN. LOT DEPTH (FT.)	MIN. LOT AREA (SQ. FT.)	MIN. LOT WIDTH (FT.)	MIN. LOT DEPTH (FT.)
RESIDENTIAL SINGLE-FAMILY	10,000	40	120	10,000	40	120
RESIDENTIAL TWO-FAMILY	12,000	40	120	12,000	40	120
RESIDENTIAL MEDIUM-DENSITY	15,000	40	120	15,000	40	120
RESIDENTIAL HIGH-DENSITY	20,000	40	120	20,000	40	120
COMMERCIAL GENERAL	5,000	30	100	5,000	30	100
COMMERCIAL OFFICE	10,000	30	100	10,000	30	100
COMMERCIAL RETAIL	5,000	30	100	5,000	30	100
INDUSTRIAL GENERAL	10,000	40	120	10,000	40	120
INDUSTRIAL MEDIUM-DENSITY	15,000	40	120	15,000	40	120
INDUSTRIAL HIGH-DENSITY	20,000	40	120	20,000	40	120
AGRICULTURAL	20,000	40	120	20,000	40	120
UNDEVELOPED	10,000	40	120	10,000	40	120

- APPROVED BY THE EAST TOWN PLANNING COMMISSION:
- Editor: _____
 Planning Date: _____
 Creation Date: _____
- Sheet Index
 Sheet 1 - Title Sheet
 Sheet 2 - Existing Conditions Survey
 Sheet 3 - Subdivision Plan & Site Plan (Overview)
 Sheet 4 - Subdivision Plan & Site Plan
 Sheet 5 - Details

Notes

1. THIS SHEET IS A PART OF THE SUBDIVISION PLAN FOR THE NOTTINGHAM HILLS SUBDIVISION, PREPARED BY GEISCK & ASSOCIATES, P.C. FOR THE TOWN OF EAST TOWN, OHIO. THE TOWN ENGINEER HAS REVIEWED THIS SHEET AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE SUBDIVISION ACT, CHAPTER 5303.01, OF THE OHIO REVENUE CODE. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBDIVISION PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
2. THE SUBDIVISION PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN ENGINEER AND THE TOWN BOARD OF EAST TOWN, OHIO. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBDIVISION PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
3. THE SUBDIVISION PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN ENGINEER AND THE TOWN BOARD OF EAST TOWN, OHIO. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBDIVISION PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
4. THE SUBDIVISION PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN ENGINEER AND THE TOWN BOARD OF EAST TOWN, OHIO. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBDIVISION PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
5. THE SUBDIVISION PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN ENGINEER AND THE TOWN BOARD OF EAST TOWN, OHIO. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBDIVISION PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
6. THE SUBDIVISION PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN ENGINEER AND THE TOWN BOARD OF EAST TOWN, OHIO. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBDIVISION PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
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NOT REQUIRED PER TOWNSHIP OF EAST TOWN
 Subdivision Regulations 5.2.2 (K)

Grading Plan
 Nottingham Mills Subdivision
 Lot 10 Revision of Existing Lot 27
 2 Lot Re-subdivision of Lot 27
 Prepared for Kristin Clarke P.E.

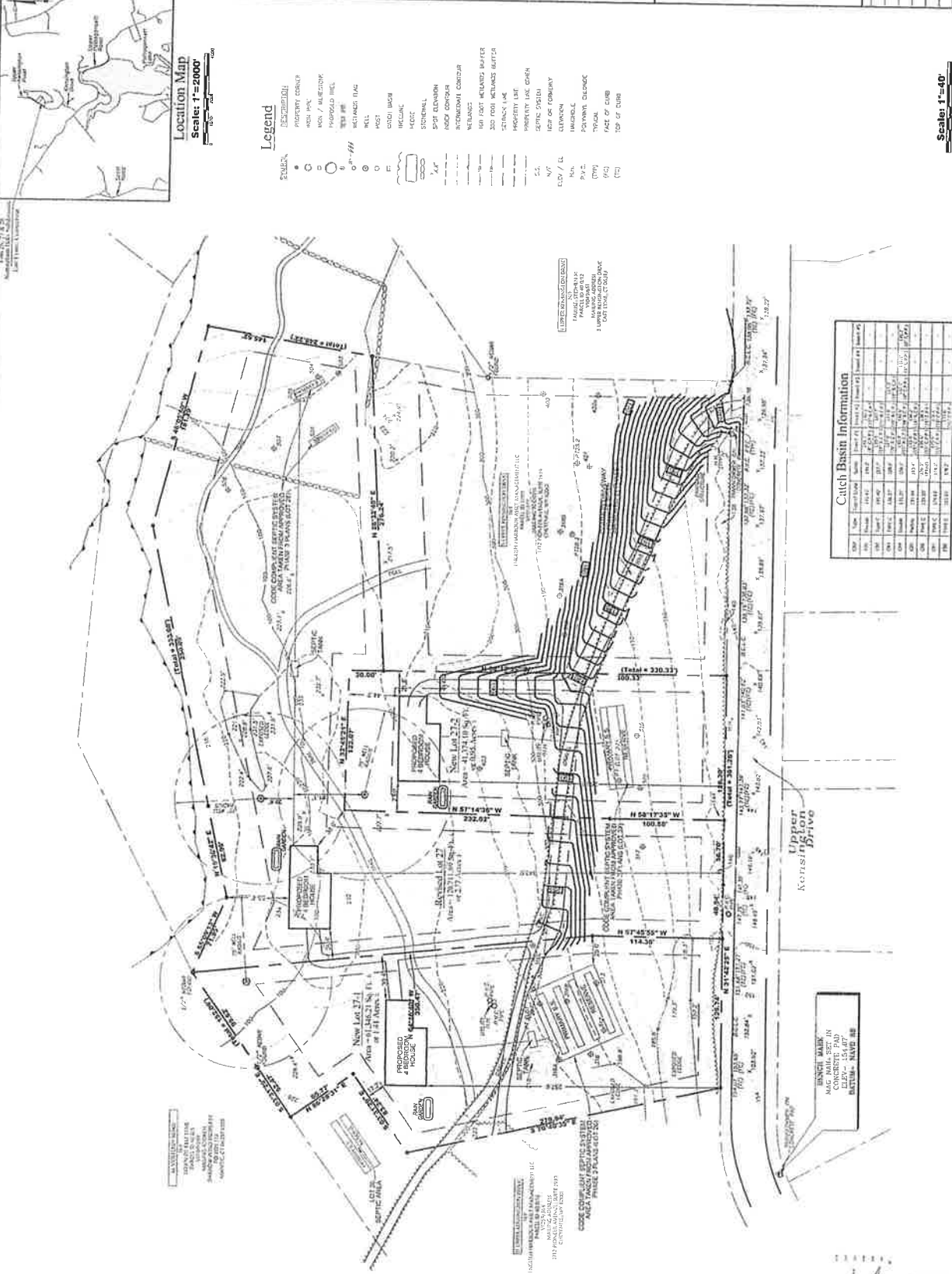
GESICK & ASSOCIATES, P.C.
 SURVEYORS & MAPPING ENGINEERS
 19 CROWN POINT AVENUE
 CANTON, CONNECTICUT 06013
 P.O. BOX 60-7139
 867-650-669-689-5043
 www.gesick.com

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DATE: 11/19/2007
 DRAWN BY: [Name]
 CHECKED BY: [Name]

Catch Basin #	Area (sq. ft.)	Volume (cu. yd.)	Notes
100	1,120.00	1.00	18" DIA. MANHOLE
101	1,120.00	1.00	18" DIA. MANHOLE
102	1,120.00	1.00	18" DIA. MANHOLE
103	1,120.00	1.00	18" DIA. MANHOLE
104	1,120.00	1.00	18" DIA. MANHOLE
105	1,120.00	1.00	18" DIA. MANHOLE
106	1,120.00	1.00	18" DIA. MANHOLE
107	1,120.00	1.00	18" DIA. MANHOLE
108	1,120.00	1.00	18" DIA. MANHOLE
109	1,120.00	1.00	18" DIA. MANHOLE
110	1,120.00	1.00	18" DIA. MANHOLE
111	1,120.00	1.00	18" DIA. MANHOLE
112	1,120.00	1.00	18" DIA. MANHOLE
113	1,120.00	1.00	18" DIA. MANHOLE
114	1,120.00	1.00	18" DIA. MANHOLE
115	1,120.00	1.00	18" DIA. MANHOLE
116	1,120.00	1.00	18" DIA. MANHOLE
117	1,120.00	1.00	18" DIA. MANHOLE
118	1,120.00	1.00	18" DIA. MANHOLE
119	1,120.00	1.00	18" DIA. MANHOLE
120	1,120.00	1.00	18" DIA. MANHOLE
121	1,120.00	1.00	18" DIA. MANHOLE
122	1,120.00	1.00	18" DIA. MANHOLE
123	1,120.00	1.00	18" DIA. MANHOLE
124	1,120.00	1.00	18" DIA. MANHOLE
125	1,120.00	1.00	18" DIA. MANHOLE
126	1,120.00	1.00	18" DIA. MANHOLE
127	1,120.00	1.00	18" DIA. MANHOLE
128	1,120.00	1.00	18" DIA. MANHOLE
129	1,120.00	1.00	18" DIA. MANHOLE
130	1,120.00	1.00	18" DIA. MANHOLE



PROPERTY INFORMATION

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DATE: 11/19/2007
 DRAWN BY: [Name]
 CHECKED BY: [Name]

NOTICE TO CONTRACTOR

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DATE: 11/19/2007
 DRAWN BY: [Name]
 CHECKED BY: [Name]

NOTICE TO CONTRACTOR

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DATE: 11/19/2007
 DRAWN BY: [Name]
 CHECKED BY: [Name]

TEST TRENCH DATA FOR LOT 28
 FROM APPROVED PHASE 3 PLANS

Station	Depth	Remarks
1+00	1.00	18" DIA. MANHOLE
1+25	1.00	18" DIA. MANHOLE
1+50	1.00	18" DIA. MANHOLE
1+75	1.00	18" DIA. MANHOLE
2+00	1.00	18" DIA. MANHOLE
2+25	1.00	18" DIA. MANHOLE
2+50	1.00	18" DIA. MANHOLE
2+75	1.00	18" DIA. MANHOLE
3+00	1.00	18" DIA. MANHOLE
3+25	1.00	18" DIA. MANHOLE
3+50	1.00	18" DIA. MANHOLE
3+75	1.00	18" DIA. MANHOLE
4+00	1.00	18" DIA. MANHOLE
4+25	1.00	18" DIA. MANHOLE
4+50	1.00	18" DIA. MANHOLE
4+75	1.00	18" DIA. MANHOLE
5+00	1.00	18" DIA. MANHOLE
5+25	1.00	18" DIA. MANHOLE
5+50	1.00	18" DIA. MANHOLE
5+75	1.00	18" DIA. MANHOLE
6+00	1.00	18" DIA. MANHOLE
6+25	1.00	18" DIA. MANHOLE
6+50	1.00	18" DIA. MANHOLE
6+75	1.00	18" DIA. MANHOLE
7+00	1.00	18" DIA. MANHOLE
7+25	1.00	18" DIA. MANHOLE
7+50	1.00	18" DIA. MANHOLE
7+75	1.00	18" DIA. MANHOLE
8+00	1.00	18" DIA. MANHOLE
8+25	1.00	18" DIA. MANHOLE
8+50	1.00	18" DIA. MANHOLE
8+75	1.00	18" DIA. MANHOLE
9+00	1.00	18" DIA. MANHOLE
9+25	1.00	18" DIA. MANHOLE
9+50	1.00	18" DIA. MANHOLE
9+75	1.00	18" DIA. MANHOLE
10+00	1.00	18" DIA. MANHOLE
10+25	1.00	18" DIA. MANHOLE
10+50	1.00	18" DIA. MANHOLE
10+75	1.00	18" DIA. MANHOLE
11+00	1.00	18" DIA. MANHOLE
11+25	1.00	18" DIA. MANHOLE
11+50	1.00	18" DIA. MANHOLE
11+75	1.00	18" DIA. MANHOLE
12+00	1.00	18" DIA. MANHOLE
12+25	1.00	18" DIA. MANHOLE
12+50	1.00	18" DIA. MANHOLE
12+75	1.00	18" DIA. MANHOLE
13+00	1.00	18" DIA. MANHOLE
13+25	1.00	18" DIA. MANHOLE
13+50	1.00	18" DIA. MANHOLE
13+75	1.00	18" DIA. MANHOLE
14+00	1.00	18" DIA. MANHOLE
14+25	1.00	18" DIA. MANHOLE
14+50	1.00	18" DIA. MANHOLE
14+75	1.00	18" DIA. MANHOLE
15+00	1.00	18" DIA. MANHOLE
15+25	1.00	18" DIA. MANHOLE
15+50	1.00	18" DIA. MANHOLE
15+75	1.00	18" DIA. MANHOLE
16+00	1.00	18" DIA. MANHOLE
16+25	1.00	18" DIA. MANHOLE
16+50	1.00	18" DIA. MANHOLE
16+75	1.00	18" DIA. MANHOLE
17+00	1.00	18" DIA. MANHOLE
17+25	1.00	18" DIA. MANHOLE
17+50	1.00	18" DIA. MANHOLE
17+75	1.00	18" DIA. MANHOLE
18+00	1.00	18" DIA. MANHOLE
18+25	1.00	18" DIA. MANHOLE
18+50	1.00	18" DIA. MANHOLE
18+75	1.00	18" DIA. MANHOLE
19+00	1.00	18" DIA. MANHOLE
19+25	1.00	18" DIA. MANHOLE
19+50	1.00	18" DIA. MANHOLE
19+75	1.00	18" DIA. MANHOLE
20+00	1.00	18" DIA. MANHOLE
20+25	1.00	18" DIA. MANHOLE
20+50	1.00	18" DIA. MANHOLE
20+75	1.00	18" DIA. MANHOLE

Nottingham Hills Subdivision
Let Line Revision # Existing Lot 27
2 Lot Re-Subdivision of Lot 27
Prepared for Kristen Clarke P.E.

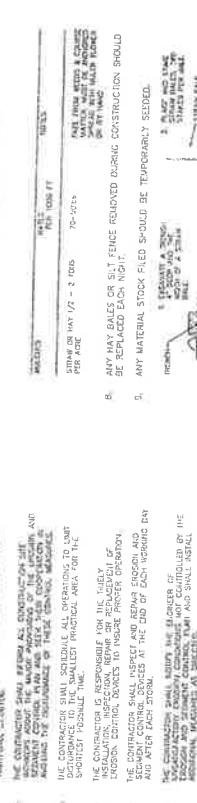
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SURVEYORS & ENGINEERS
19 CROWN ST., ANDOVER, MA 01810
OFFICE: 978-689-6600 FAX: 978-689-5833
www.gesick.com



Location Map
Scale: 1" = 2000'

- GENERAL CONSTRUCTION REQUIREMENTS - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
1. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 2. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

- SOIL AND EROSION CONTROL**
1. HAY BALES / SILT FENCE ARE TO BE INSTALLED PRIOR TO CONSTRUCTION.
 2. ONLY REMOVE TREES AND VEGETATION NECESSARY FOR CONSTRUCTION.
 3. CONSTRUCTION SHALL BE COMPLETED AS SOON AS POSSIBLE AFTER DATES ARE PAID TO JUNE 15 AND AUGUST 15.
 4. HAY BALES AND SILT FENCE TO BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 5. NO ERODED SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE OR WASH INTO THE CHANNAGE SYSTEM.
 6. IF SEDIMENT CANNOT BE REMOVED IMMEDIATELY, TEMPORARY MATING IS TO BE APPLIED IN ACCORDANCE WITH THE TABLE BELOW.



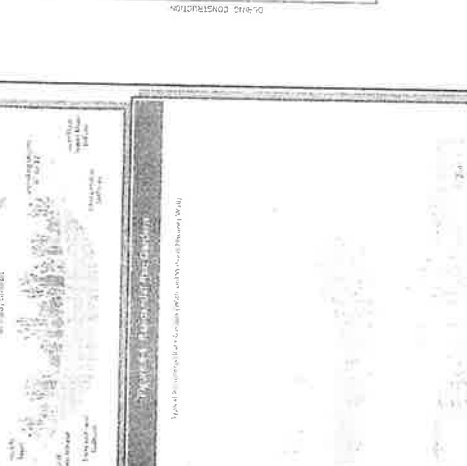
1. ALL ROAD SECTION EXHIBITS, EITHER CUT OR FILL, SHOULD BE FINISHED AT THE TOP OF THE SLOPE BY STAKED HAY BALES OR SILT FENCES.
2. CHANNELS AND DITCHES SHOULD BE INSTALLED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
3. CHANNELS AND DITCHES SHOULD BE INSTALLED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
4. CHANNELS AND DITCHES SHOULD BE INSTALLED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
5. CHANNELS AND DITCHES SHOULD BE INSTALLED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
6. CHANNELS AND DITCHES SHOULD BE INSTALLED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
7. CHANNELS AND DITCHES SHOULD BE INSTALLED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
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15. CHANNELS AND DITCHES SHOULD BE INSTALLED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.

SEPTIC SYSTEM DESIGN PROVIDED BY KRISTEN CLARKE P.E., MANAGER, ENGLISH HARBOUR ASSET MANAGEMENT LLC, PER CONNECTICUT PUBLIC HEALTH CODE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS:

THE BASIS OF THE DESIGN DESIGNATED ON THE PLAN REVISED OCTOBER 7, 2021 AS FOLLOWS:

- 1. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- 2. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- 3. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- 4. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
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- 14. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- 15. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

LOT #	AREA (SQ. FT.)	SEWER (GPD)	WATER (GPD)	WATER (GPD)	WATER (GPD)	WATER (GPD)	WATER (GPD)	WATER (GPD)	WATER (GPD)
1	10,000	100	100	100	100	100	100	100	100
2	10,000	100	100	100	100	100	100	100	100
3	10,000	100	100	100	100	100	100	100	100
4	10,000	100	100	100	100	100	100	100	100
5	10,000	100	100	100	100	100	100	100	100
6	10,000	100	100	100	100	100	100	100	100
7	10,000	100	100	100	100	100	100	100	100
8	10,000	100	100	100	100	100	100	100	100
9	10,000	100	100	100	100	100	100	100	100
10	10,000	100	100	100	100	100	100	100	100
11	10,000	100	100	100	100	100	100	100	100
12	10,000	100	100	100	100	100	100	100	100
13	10,000	100	100	100	100	100	100	100	100
14	10,000	100	100	100	100	100	100	100	100
15	10,000	100	100	100	100	100	100	100	100



Water Quality Volume rainfall even 1" WQV rainfall

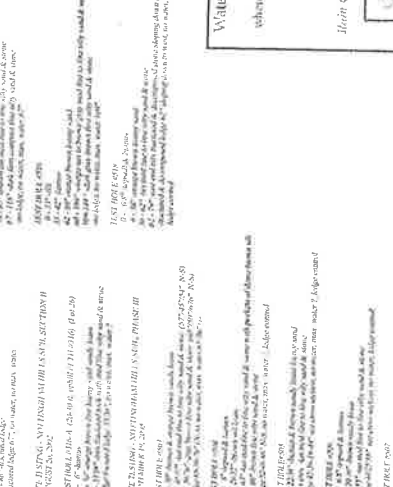
$P =$ design precipitation index (1" = 2.54 mm)

$A =$ drainage area (acres)

$V =$ runoff volume (cu ft)

$V = (1.103) P A (1.48) = 2.09 \text{ cu ft}$

Main Distribution Line: 10" PVC Schedule 40 SDR 35



RAIN GARDEN

20' x 40'

The rain garden is designed to capture and infiltrate runoff from the roof and driveway. It is located adjacent to the main distribution line and absorption units. The garden is filled with native plants and mulch to enhance water infiltration and reduce erosion.

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
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14. ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

EXHIBIT C



App No. _____
Check No. _____
Receipt No. _____
REVIEW FEE: see application Make check to LLHD or pay online at www.llhd.org rev 4/30/17

Promoting
healthy
communities

Application for Septic Plan Review

- Notes:**
1. Please provide a scaled site plan of the property with an accurate parcel address – one copy, two copies if state review is required.
 2. If requesting a septic design plan review, please submit building plans including floor plans of all levels and all structure.
 3. If requesting subdivision plan review for a town commission approval, please provide the date of the commission meeting under "Additional Information" below.

Date: 6/5/2020 Property Address: 11 Upper Kensington Drive Town: East Lyme
 Applicant Name: Kristen T. Clarke, P.E. Phone: 434-409-9515
 Email: kristentclarke@gmail.com Fax: _____
 Applicant Address (if different from above): 20 Risingwood Drive, Bow, NH 03304

Property Water Supply: Well (s) Public Water Both

- Type of Review Requested:
- Septic Design Plan - Single Lot (Fee: \$155 – includes 1 revision)
 - Revision of Septic Design Plan (beyond one revision) (Fee: Half of Plan Review Fee)
 - Subdivision Feasibility / commission review. Number of lots: 3 (Fee: \$150 per lot)
 - State DPH review (e.g., septic systems >2000 gpd; request for State exception) (Fee: \$100)

Additional Information:
re-subdivision of 11 Upper Kensington Drive (Nottingham Hills Subdivision
lot 26)

Signed: Kristen Clarke

Assigned to: _____ Title: _____

Date Received: _____

ENGLISH HARBOUR ASSET MANAGEMENT, LLC
1712 Pioneer Avenue, Suite 1939
Cheyenne, Wyoming 82001
(307) 256-7229

February 8, 2021

Via Email: dholmes@llhd.org
Danielle Holmes
Ledge Light Health District

Re: Re-Subdivision – Nottingham Hills subdivision 2 Lots
Lot Line Revision – Lot 26-B-100a

Dear Danielle:


I am having Paul Geraghty drop off at your New London office this morning a B-100a application for a lot line revision of existing lot 26 and a subdivision feasibility application for 2 new lots. This plan contemplates the recording of the mylar for the lot line revisions to lots 26, 27 and 28, the most recent revision of which was delivered to you on December 20, 2020.

For the moment I am using a draft working plan, Ex. A, which uses two previously approved (Nottingham Hills Subdivision Phase 3) code compliant system areas as follows:

- The B-100a application uses test holes 503, 504, 505 and 506 which were used for lot 28 in the phase 3 plan. I intend to provide two new perk tests but will include the one identified for lot 28 in the phase 3 plan.
- New lot 26-2 uses test holes 518, 316, 316a, 512 and 513 which were used to establish the code compliant system area for lot 26 in the phase 3 plans. I intend to provide one new perk test for this lot and propose to utilize the perk test identified for lot 26 in phase 3 plans.
- New lot 26-3 will require test holes and I have included the soil testing application as part of the package being delivered.

I have also enclosed herein a copy of the check in the amount of \$475.00 and copies of the relevant Phase 3 plans that will accompany the documents and applications.

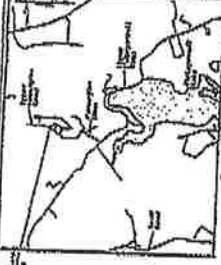
Sincerely,


Kristen Clarke PE

Cc Paul Geraghty, Esq

GESICK & ASSOCIATES, P.C.
 PRINCIPALS & ASSOCIATES
 1800 GARDEN GROVE AVE.
 SUITE 200, GAITHERSBURG, MD 20878
 (301) 251-1111
 www.gesick.com

DRAFT
 1 of 1



- NOTES:**
 1. See attached plat for subdivision map and lot boundaries.
 2. All dimensions are in feet and inches.
 3. All bearings are in degrees, minutes and seconds.
 4. All curves are in feet and inches.
 5. All areas are in square feet.
 6. All areas are rounded to the nearest square foot.
 7. All areas are to be used for residential purposes.
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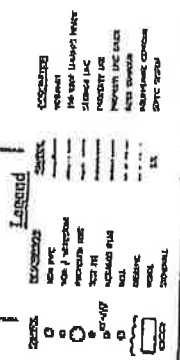
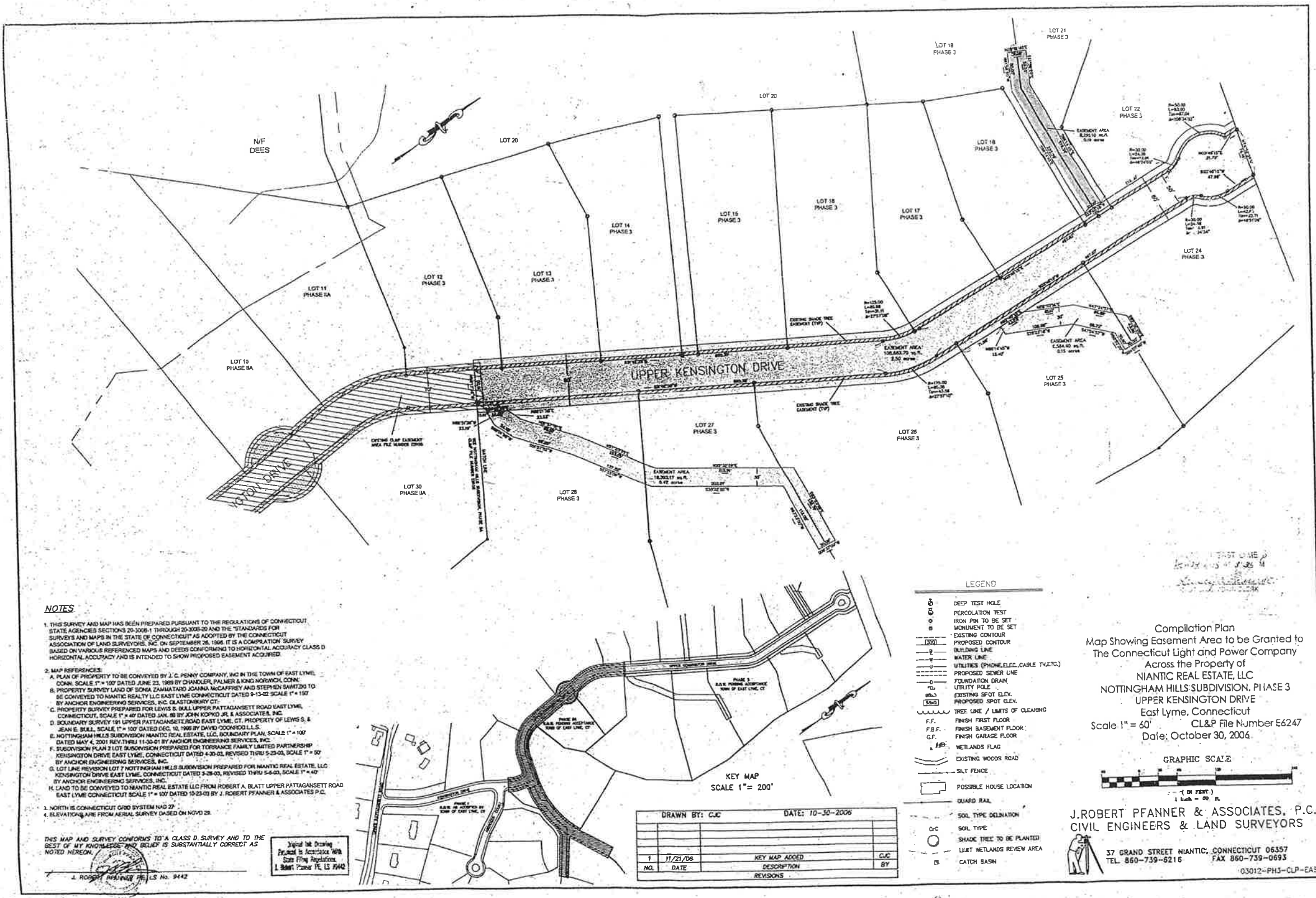


EXHIBIT 6

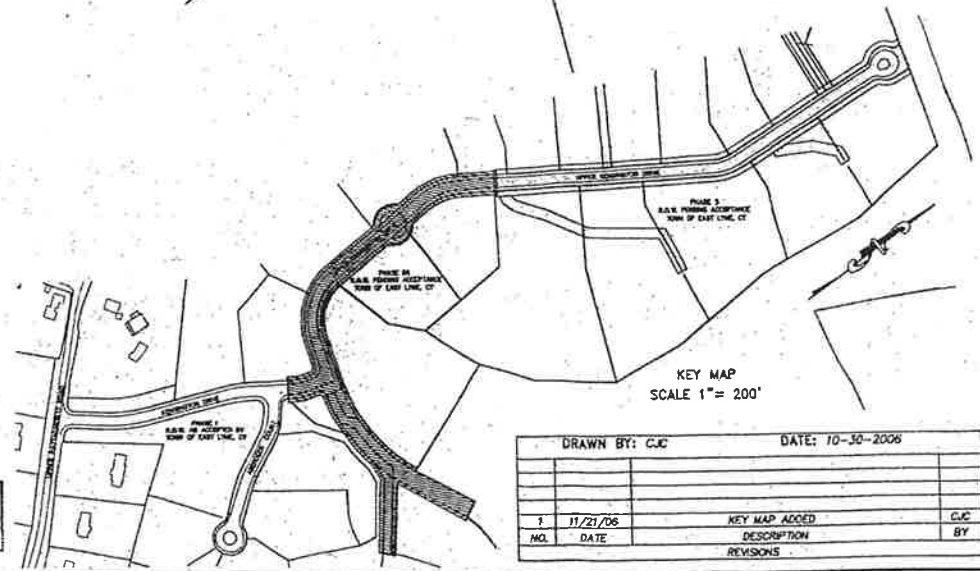


NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1966. IT IS A COMPILATION SURVEY BASED ON VARIOUS REFERENCED MAPS AND DEEDS CONFORMING TO HORIZONTAL ACCURACY CLASS B HORIZONTAL ACCURACY AND IS INTENDED TO SHOW PROPOSED EASEMENT ACQUIRED.
2. MAP REFERENCES:
 - A. PLAN OF PROPERTY TO BE CONVEYED BY J. C. PENNY COMPANY, INC. IN THE TOWN OF EAST LYME, CONN. SCALE 1" = 100' DATED JUNE 23, 1989 BY CHANDLER, PALMER & KING NORWICH, CONN.
 - B. PROPERTY SURVEY LAND OF SONJA ZAMANTARO JOANNA MCCAFFREY AND STEPHEN BARTIGO TO BE CONVEYED TO NIANTIC REALTY LLC EAST LYME, CONNECTICUT DATED 9-15-02 SCALE 1" = 100' BY ANCHOR ENGINEERING SERVICES, INC. CLASTONBURY, CT.
 - C. PROPERTY SURVEY PREPARED FOR LEWIS S. BALL UPPER PATTAGANSETT ROAD EAST LYME, CONNECTICUT, SCALE 1" = 40' DATED JAN. 89 BY JOHN KOPKO, JR. & ASSOCIATES, INC.
 - D. BOUNDARY SURVEY 191 UPPER PATTAGANSETT ROAD EAST LYME, CT. PROPERTY OF LEWIS S. & JEAN E. BALL, SCALE 1" = 100' DATED DEC. 10, 1986 BY DAVID DOONAN, L.L.S.
 - E. NOTTINGHAM HILLS SUBDIVISION NIANTIC REAL ESTATE, LLC. BOUNDARY PLAN, SCALE 1" = 100' DATED MAY 4, 2001 REVISED 11-30-01 BY ANCHOR ENGINEERING SERVICES, INC.
 - F. SUBDIVISION PLAN 2 LOT SUBDIVISION PREPARED FOR TORRANCE FAMILY LIMITED PARTNERSHIP KENSINGTON DRIVE EAST LYME, CONNECTICUT DATED 4-30-03, REVISED THIRD 5-23-03, SCALE 1" = 50' BY ANCHOR ENGINEERING SERVICES, INC.
 - G. LOT LINE REVISION LOT 7 NOTTINGHAM HILLS SUBDIVISION PREPARED FOR NIANTIC REAL ESTATE, LLC KENSINGTON DRIVE EAST LYME, CONNECTICUT DATED 3-28-03, REVISED THIRD 5-6-03, SCALE 1" = 40' BY ANCHOR ENGINEERING SERVICES, INC.
 - H. LAND TO BE CONVEYED TO NIANTIC REAL ESTATE LLC FROM ROBERT A. BLATT UPPER PATTAGANSETT ROAD EAST LYME, CONNECTICUT SCALE 1" = 100' DATED 10-23-03 BY J. ROBERT PFANNER & ASSOCIATES P.C.
3. NORTH IS CONNECTICUT GRID SYSTEM NAD 83.
4. ELEVATIONS ARE FROM AERIAL SURVEY DATED ON NOV 29.

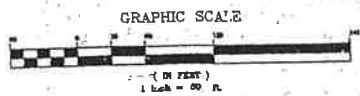
THIS MAP AND SURVEY CONFORMS TO A CLASS B SURVEY AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

J. ROBERT PFANNER & ASSOCIATES, P.C.
 37 GRAND STREET NIANTIC, CONNECTICUT 06357
 TEL. 860-739-6216 FAX 860-739-0693



- LEGEND**
- ⊗ DEEP TEST HOLE
 - PERCOLATION TEST
 - IRON PIN TO BE SET
 - MONUMENT TO BE SET
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - BUILDING LINE
 - WATER LINE
 - UTILITIES (PHONE, ELEC., CABLE, TV, ETC.)
 - PROPOSED SEWER LINE
 - FOUNDATION DRAIN
 - UTILITY POLE
 - EXISTING SPOT ELEV.
 - PROPOSED SPOT ELEV.
 - TREE LINE / LIMITS OF CLEARING
 - FINISH FIRST FLOOR
 - FINISH BASEMENT FLOOR
 - FINISH GARAGE FLOOR
 - WETLANDS FLAG
 - EXISTING WOODS ROAD
 - SILT FENCE
 - POSSIBLE HOUSE LOCATION
 - GUARD RAIL
 - SOIL TYPE DELINEATION
 - SOIL TYPE
 - SHADE TREE TO BE PLANTED
 - LIGHT WETLANDS REVIEW AREA
 - CATCH BASIN

Compilation Plan
 Map Showing Easement Area to be Granted to
 The Connecticut Light and Power Company
 Across the Property of
 NIANTIC REAL ESTATE, LLC
 NOTTINGHAM HILLS SUBDIVISION, PHASE 3
 UPPER KENSINGTON DRIVE
 East Lyme, Connecticut
 Scale 1" = 60' CL&P File Number E6247
 Date: October 30, 2006



J. ROBERT PFANNER & ASSOCIATES, P.C.
 CIVIL ENGINEERS & LAND SURVEYORS
 37 GRAND STREET NIANTIC, CONNECTICUT 06357
 TEL. 860-739-6216 FAX 860-739-0693
 03012-PH3-CLP-EASE

DRAWN BY: CJC		DATE: 10-30-2006	
NO.	DATE	DESCRIPTION	BY
1	11/21/06	KEY MAP ADDED	CJC
REVISIONS			



D&L #441

EXHIBIT 7

DRAINAGE EASEMENT

1554

NIANTIC REAL ESTATE LIMITED LIABILITY COMPANY, hereby grants, gives, conveys and sells unto the TOWN OF EAST LYME WITH WARRANTY COVENANTS, the following Easement:

The non-exclusive right and authority to perpetually maintain a drainage pipe and to drain, including the right to lay, maintain, operate, construct, alter, repair or replace the same in and through and into the following specific areas as hereinafter described as follows:

DRAINAGE EASEMENT 1

That certain piece or parcel of land shown on a map or plan entitled, "BOUNDARY LOT LAYOUT AND OPEN SPACE UPPER KENSINGTON DRIVE, NOTTINGHAM HILLS SUBDIVISION PHASE 3 NIANTIC REAL ESTATE, LLC, East Lyme, Connecticut SHEET SD2 AUGUST 1, 2005 REV. THRU 12/2/05", and more particularly bounded and described as follows:

Beginning at a point which point marks the southwesterly corner of the within described easement, and the northeasterly corner of Lot 22 as shown on said plan; thence running north 26° 13' 06" west, a distance of 50.00 feet to a point; thence turning and running north 63° 44' 54" east, a distance of 30.00 feet to a point; thence turning and running south 26° 15' 06" east, a distance of 76.43 feet to a point; thence turning and running north 74° 52' 39" west, a distance of 39.98 feet to the point and place of beginning.

DRAINAGE EASEMENT 2

A certain piece or parcel of land shown as "20' Drainage Easement" on a map or plan entitled, "BOUNDARY LOT LAYOUT AND OPEN SPACE UPPER KENSINGTON DRIVE, NOTTINGHAM HILLS SUBDIVISION PHASE 3 NIANTIC REAL ESTATE, LLC, East Lyme, Connecticut SHEET SD2 AUGUST 1, 2005 REV. THRU 12/2/05", and more particularly bounded and described as follows:

Beginning at a point in the westerly line of Upper Kensington Drive, which point marks the northeasterly corner of the within described easement, and the southeasterly corner of Lot 13, as shown on said plan; thence running north 57° 48' 47" west, a distance of 78.73 feet to a point; thence running north 75° 25' 58" west, a distance of 238.90 feet to a point; thence turning and running north 18° 24' 45" east, a distance of 10.00 feet to a point as shown on said plan; thence turning and running north 75° 25' 58" west, a distance of 40.00 feet to a point; thence turning and running south 18° 24' 45" west, a distance of 40.00 feet to a point; thence turning and running south 75° 25' 58" east, a distance of 40.00 feet to a point; thence turning and running north 18° 24' 45" east, a distance of 10.00 feet to a point; thence turning and running south 75° 25' 58" east, a distance of 238.90 feet to a point; thence running south 57° 48' 47" east, to a point in the westerly line of Upper Kensington Drive; thence turning and running along the westerly line of Upper Kensington Drive, a distance of 20.00 feet to the point and place of beginning.

DRAINAGE EASEMENT 3

That certain piece or parcel of land designated as "Drainage Easement" on a map or plan entitled, "LOT LAYOUT NOTTINGHAM HILLS SUBDIVISION PHASE II A NIANTIC REAL ESTATE, LLC East Lyme, Connecticut SHEET SD2 April 10, 2014", and more particularly bounded and described as follows:

Beginning at a point which point marks the northeasterly corner of the within described Drainage Easement in the westerly line of Upper Kensington Drive; thence running south 03° 35' 19"

NO

CONVEYANCE TAXES COLLECTED

Lesly A. Blain
TOWN CLERK OF EAST LYME

VOL 0948 PAGE 530

east, a distance of 30.00 feet to a point; thence running southerly and southeasterly following an arc of a curve, having a radius of 185 feet, a distance of 85.56 feet to a point; thence turning and running south 60° 07' 28" west, a distance of 131.44 feet to a point; thence turning and running north 23° 09' 42" west, a distance of 57.26 feet to a point; thence running north 03° 35' 19" west, a distance of 70.89 feet to a point; thence turning and running north 71° 07' 00" east, a distance of 58.86 feet to the point and place of beginning.

DRAINAGE EASEMENT 4

That certain piece or parcel of land designated as "Drainage Easement" on a map or plan entitled, "LOT LAYOUT NOTTINGHAM HILLS SUBDIVISION PHASE II A NIAN TIC REAL ESTATE, LLC East Lyme, Connecticut SHEET SD2 April 10, 2014", and more particularly bounded and described as follows:

Beginning at a point which point marks the northwesterly corner of the within described easement and the easterly line of Upper Kensington Drive; thence running north 73° 59' 34" east, a distance of 45.00 feet to a point; thence running south 08° 44' 53" east, a distance of 49.19 feet to a point; thence turning and running south 62° 00' 12" west, a distance of 39.87 feet to a point in the easterly line of Upper Kensington Drive; thence running northerly following the arc of a curve, having a radius of 135 feet, a distance of 57.51 feet to the point and place of beginning.

Reserving to the Grantor, its successors and assigns, all rights in and to the Easement Area not inconsistent with the rights herein granted.

Dated at Niantic this 13th day of February, 2015.

NIAN TIC REAL ESTATE LIMITED LIABILITY COMPANY

Cordelia R. Graves
Cordelia R. Graves
Theodore A. Blawie

By: *J.P. Torrance*
Jeffrey P. Torrance, Managing Member
Duly Authorized

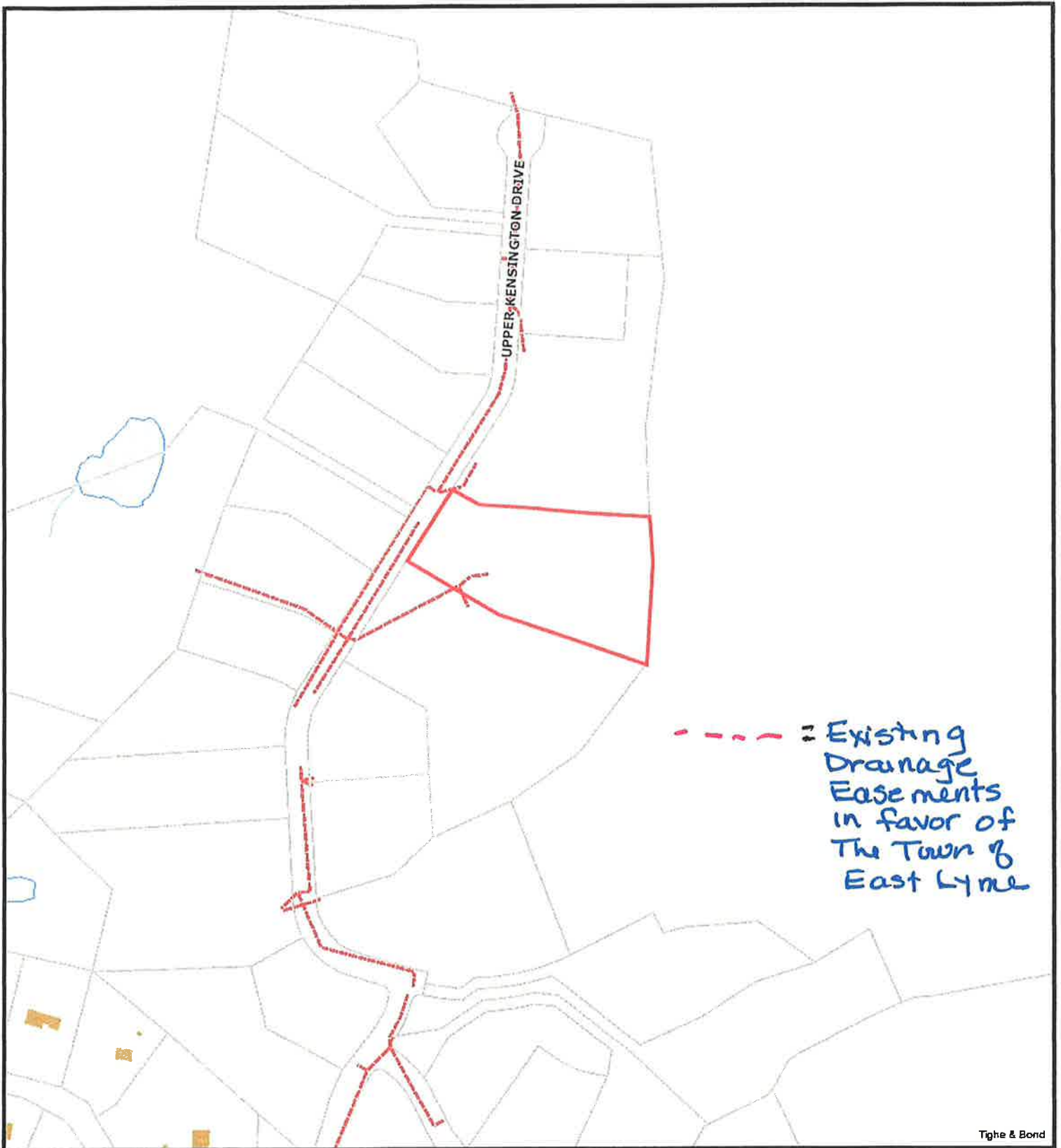
STATE OF CONNECTICUT)
) ss: Niantic
COUNTY OF NEW LONDON)

Personally appeared *Jeffrey P. Torrance, Managing Member* of NIAN TIC REAL ESTATE LIMITED LIABILITY COMPANY, duly authorized, signer and sealor of the foregoing instrument, and acknowledged the same to be his free act and deed and the free act and deed of the said NIAN TIC REAL ESTATE LIMITED LIABILITY COMPANY, before me.

Cordelia R. Graves
Cordelia R. Graves
Notary Public
My commission expires
June 30, 2017

Recorded *June 17, 2015*
AMI
1:31 *(PMA) Lisby A. Blawie*
East Lyme Town Clerk

EXHIBIT 8



Tighe & Bond

4/12/2022 8:46:41 AM

Scale: 1"=300'

Scale is approximate

The information depicted on this map is for planning purposes only. It is not adequate for legal boundary definition, regulatory interpretation, or parcel-level analyses.



EXHIBIT 9