

**STEVENS, HARRIS & GUERNSEY, P.C.**

ATTORNEYS AND COUNSELORS AT LAW

351 MAIN STREET

P. O. DRAWER 660

NIANTIC, CONNECTICUT 06357

RONALD F. STEVENS  
THEODORE A. HARRIS  
PAUL M. GUERNSEY

TEL (860) 739-6906  
FAX (860) 739-2997  
E-MAIL [shg-realestate@snet.net](mailto:shg-realestate@snet.net)

December 21, 2021

Mr. Gary Goeschel  
Inlands Wetlands Agency  
PO Box 519  
Niantic, CT 06357

RE; GDEL Residential B/Second Phase Residential Development at the Gateway Site

Dear Gary:

It is my understanding that yourself and various professionals, along with Dave Yetton, have reviewed the final stabilization of the site, and that you are satisfied with its condition. Accordingly, please accept this letter as the Applicant's request to formally release the existing bond for erosion and sedimentation control held by the Inland Wetlands Agency, and we request that this be placed on the next Wetlands Agenda for consideration by the Commission.

I thank you in advance for your cooperation.

Yours very truly,



Theodore A. Harris

TAH:jpl



An Employee-Owned Company

December 22, 2021

Gary A. Goeschel II  
Director of Planning / Inland Wetlands Agent  
Town of East Lyme  
PO Box 519  
108 Pennsylvania Avenue  
Niantic, Connecticut 06357

Dear Mr. Goeschell:

In order to stabilize the roadway surface and allow for construction activities to proceed for the Gateway Commons development the gravel roadway along the Eversource Easement across the Pattagansett River temporarily had material added to it. As part of closing out the project, the contractor has removed the temporary fill from the gravel roadway. The current roadway surface is in general conformance with the existing conditions prior to construction, this includes the elevations across the floodplain and the floodway.

Please do not hesitate to contact me if you have any questions or need additional information.

Sincerely,

Jessica A Bates, PE  
Principal Engineer, Principal

**EAST LYME INLAND WETLAND AGENCY  
PERFORMANCE BOND**

KNOW ALL MEN BY THESE PRESENTS THAT **GDEL Residential B, LLC AND Gateway Development/East Lyme, LLC**, as Principal, and Platte River Ins Co (name of Surety Company), is held and firmly bound unto the Town of East Lyme, 108 Pennsylvania Avenue, Niantic, Connecticut 06357, a municipal corporation located in the County of New London, and State of Connecticut, as Obligee, in the sum of **ONE HUNDRED FIFTY THOUSAND DOLLARS (\$150,000.00)** lawful money of the United States of America, for the payment whereof to the Obligee that Principals bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the East Lyme Inland Wetland Agency has granted a permit to conduct regulated activities for construction of 120 residential units, including but not limited to road improvements and construction of parking areas at property located at East Society Road, 286 Flanders Road (Assessor's Map#26.0, Lot#2), and Flanders Road (Assessor's Map#31.0, Lot#31) and the site development plans entitled "Town of East Lyme Inland Wetlands Agency Submission For Gateway Commons Residential Phase II Project, Flanders Road / E. Society Road, East Lyme, Connecticut, prepared for Gateway Development/East Lyme, LLC in Care of KGI, Flanders Road, East Lyme, CT, dated August 20, 2018" prepared by Michelle M. Carlson, P.E. of BL Companies and Scott P. Rabideau, Principal of Natural Resource Services, Inc", and that Principals post a bond in the amount of **ONE HUNDRED FIFTY THOUSAND AND NO DOLLARS (\$150,000.00)** to secure the obligations of the Principals.

NOW THEREFORE, the condition of this obligation is that if the Principals shall well and truly do the work herein described and comply with the terms of said permits, then this obligation is void, otherwise to remain in full force and effect.

FURTHER, if said work is not well and truly done within the period specified in said permits, said Commission may withdraw said sum from said account and provide for the completion of the work using said sum insofar as it may be necessary.

DATE, signed and sealed this 25<sup>th</sup> day of February, 2020.

Principal: R

DAVID YETTON

Witness: Jennifer Lindo

Jennifer Lindo

Its: \_\_\_\_\_

**EAST LYME INLAND WETLAND AGENCY  
PERFORMANCE BOND**

KNOW ALL MEN BY THESE PRESENTS THAT **GDEL Residential B, LLC AND Gateway Development/East Lyme, LLC**, as Principal, and Platte River Insurance Company (name of Surety Company), is held and firmly bound unto the Town of East Lyme, 108 Pennsylvania Avenue, Niantic, Connecticut 06357, a municipal corporation located in the County of New London, and State of Connecticut, as Oblige, in the sum of **ONE HUNDRED FIFTY THOUSAND DOLLARS (\$150,000.00)** lawful money of the United States of America, for the payment whereof to the Oblige that Principals bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the East Lyme Inland Wetland Agency has granted a permit to conduct regulated activities for construction of 120 residential units, including but not limited to road improvements and construction of parking areas at property located at East Society Road, 286 Flanders Road (Assessor's Map#26.0, Lot#2), and Flanders Road (Assessor's Map#31.0, Lot#31) and the site development plans entitled "Town of East Lyme Inland Wetlands Agency Submission For Gateway Commons Residential Phase II Project, Flanders Road / E. Society Road, East Lyme, Connecticut, prepared for Gateway Development/East Lyme, LLC in Care of KGI, Flanders Road, East Lyme, CT, dated August 20, 2018" prepared by Michelle M. Carlson, P.E. of BL Companies and Scott P. Rabideau, Principal of Natural Resource Services, Inc", and that Principals post a bond in the amount of **ONE HUNDRED FIFTY THOUSAND AND NO DOLLARS (\$150,000.00)** to secure the obligations of the Principals.

NOW THEREFORE, the condition of this obligation is that if the Principals shall well and truly do the work herein described and comply with the terms of said permits, then this obligation is void, otherwise to remain in full force and effect.

FURTHER, if said work is not well and truly done within the period specified in said permits, said Commission may withdraw said sum from said account and provide for the completion of the work using said sum insofar as it may be necessary.

DATE, signed and sealed this 21st day of February, 2020.

GDEL Residential B, LLC and  
Principal: Gateway Development/East Lyme, LLC

Witness:

BY: GATEWAY COMMONS ASSOCIATES, LLC,  
MEMBER

BY: SR COMMERCIAL CORPORATION, MANAGER

[Signature]  
Its: SCOTT J LYNCH, Vice President

[Signature]  
Director of Risk Management, The  
Somers Kennerly Company

Surety: Platte River Insurance Company

By: [Signature]  
Erik Partridge, Attorney-in-Fact

Witness: [Signature]

PLATTE RIVER INSURANCE COMPANY  
POWER OF ATTORNEY

41416545

KNOW ALL MEN BY THESE PRESENTS, That the PLATTE RIVER INSURANCE COMPANY, a corporation of the State of Nebraska, having its principal offices in the City of Middleton, Wisconsin, does make, constitute and appoint

----- BETTE A BOTTICELLO; KIMBERLEY S CONNOLLY; JAMES B NELSON; -----  
----- ERIK PARTRIDGE; ADAM MARTIN; MAUREEN PERO -----

its true and lawful Attorney(s)-in-fact, to make, execute, seal and deliver for and on its behalf, as surety, and as its act and deed, any and all bonds, undertakings and contracts of suretyship, provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed in amount the sum of

-----ALL WRITTEN INSTRUMENTS IN AN AMOUNT NOT TO EXCEED: \$20,000,000.00-----

This Power of Attorney is granted and is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of PLATTE RIVER INSURANCE COMPANY at a meeting duly called and held on the 8th day of January, 2002.

“RESOLVED, that the President, Executive Vice President, Vice President, Secretary or Treasurer, acting individually or otherwise, be and they hereby are granted the power and authorization to appoint by a Power of Attorney for the purposes only of executing and attesting bonds and undertakings, and other writings obligatory in the nature thereof, one or more resident vice-presidents, assistant secretaries and attorney(s)-in-fact, each appointee to have the powers and duties usual to such offices to the business of this company; the signature of such officers and seal of the Company may be affixed to any such power of attorney or to any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be valid and binding upon the Company, and any such power so executed and certified by facsimile signatures and facsimile seal shall be valid and binding upon the Company in the future with respect to any bond or undertaking or other writing obligatory in the nature thereof to which it is attached. Any such appointment may be revoked, for cause, or without cause, by any of said officers, at any time.”

In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.

In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner – Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

IN WITNESS WHEREOF, the PLATTE RIVER INSURANCE COMPANY has caused these presents to be signed by its officer undersigned and its corporate seal to be hereto affixed duly attested, this 3rd day of May, 2017.

Attest:

*John E. Rzepinski*  
John E. Rzepinski  
Vice President, Treasurer & CFO

*Suzanne M. Broadbent*  
Suzanne M. Broadbent  
Assistant Secretary



PLATTE RIVER INSURANCE COMPANY  
*Stephen J. Sills*  
Stephen J. Sills  
CEO & President

STATE OF WISCONSIN } S.S.:  
COUNTY OF DANE

On the 3<sup>rd</sup> day of May, 2017 before me personally came Stephen J. Sills, to me known, who being by me duly sworn, did depose and say: that he resides in the County of New York, State of New York; that he is President of PLATTE RIVER INSURANCE COMPANY, the corporation described in and which executed the above instrument; that he knows the seal of the said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors of said corporation and that he signed his name thereto by like order.



*David J. Regele*  
David J. Regele  
Notary Public, Dane Co., WI  
My Commission Is Permanent

STATE OF WISCONSIN } S.S.:  
COUNTY OF DANE

I, the undersigned, duly elected to the office stated below, now the incumbent in PLATTE RIVER INSURANCE COMPANY, a Nebraska Corporation, authorized to make this certificate, DO HEREBY CERTIFY that the foregoing attached Power of Attorney remains in full force and has not been revoked; and furthermore, that the Resolution of the Board of Directors, set forth in the Power of Attorney is now in force.

Signed and sealed at the City of Middleton, State of Wisconsin this 21<sup>st</sup> day of February, 20 20



*Antonio Celii*  
Antonio Celii  
General Counsel, Vice President & Secretary

# Town of



# East Lyme

108 Pennsylvania Ave  
Niantic, Connecticut 06357  
Phone: (860) 691-4114  
Fax: (860) 860-691-0351

P.O. Drawer 519

Department of Planning &  
Inland Wetlands Agency

*Gary A. Goeschel II, Director of Planning /  
Inland Wetlands Agent*

February 12, 2020

David Yetton  
Gateway Development/East Lyme LLC  
10 Memorial Blvd, Suite 901  
Providence RI 02903

**RE: Inland Wetlands Application – GDEL Residential B, LLC., and Gateway Development/East Lyme LLC;** Construction of 120 residential units, including but not limited to road improvements and construction of parking areas at property located at East Society Road, 286 Flanders Road (Assessor's Map#26.0, Lot#2), and Flanders Road (Assessor's Map#31.0, Lot#31).

Dear Mr. Yetton,

The East Lyme Inland Wetlands Agency at a meeting held on Monday, November 19, 2018, at the East Lyme Town Hall, 108 Pennsylvania Avenue, Niantic, Connecticut, voted to **APPROVE** your application known as "GDEL Residential B, LLC., and Gateway Development/East Lyme LLC; Application for construction of 120 residential units, including but not limited to road improvements and construction of parking areas at property located at East Society Road, 286 Flanders Road (Assessor's Map#26.0, Lot#2), and Flanders Road (Assessor's Map#31.0, Lot#31) and the site development plans entitled "Town of East Lyme Inland Wetlands Agency Submission For Gateway Commons Residential Phase II Project, Flanders Road / E. Society Road, East Lyme, Connecticut, prepared for Gateway Development/East Lyme, LLC in Care of KGI, Flanders Road, East Lyme, CT, dated August 20, 2018" prepared by Michelle M. Carlson, P.E. of BL Companies and Scott P. Rabideau, Principal of Natural Resource Services, Inc.

One of the requirements of this approval is the posting of an erosion and sedimentation bond in an amount acceptable to the Inland Wetlands Agency, its Agent, and the Town Engineer.

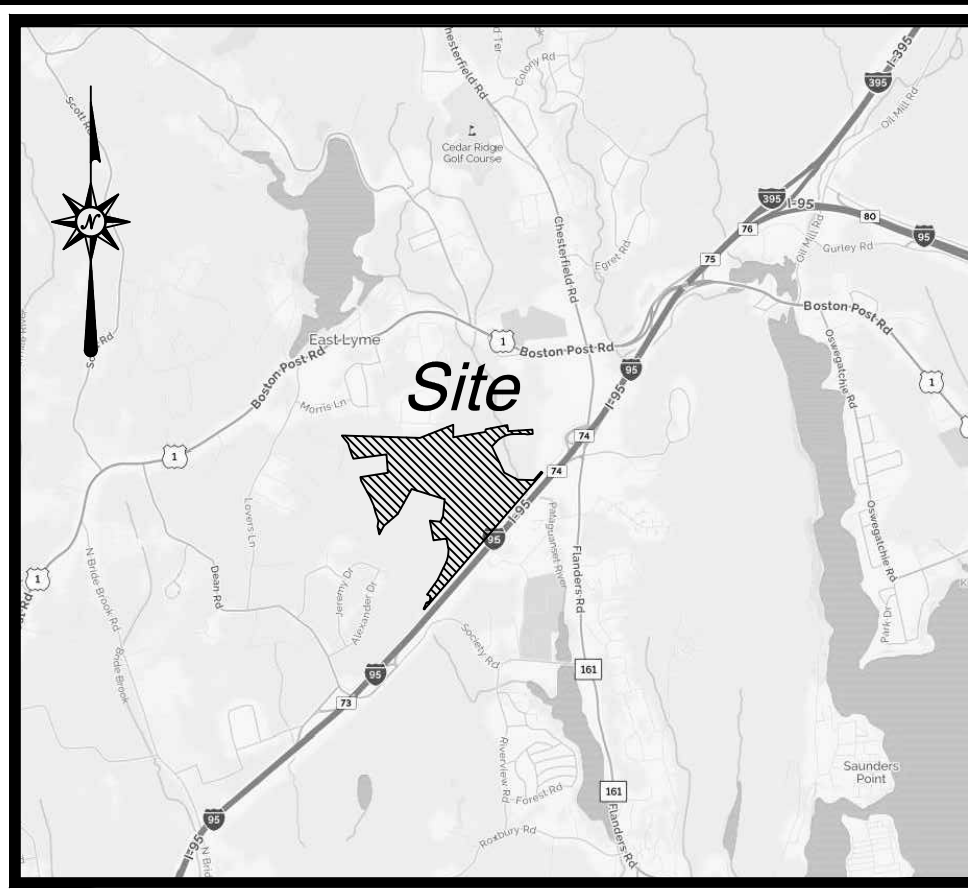
Your engineer and site contractor have provided an accepted amount of \$150,000.00 for this bond.

This bond must be posted with the Wetlands Agency prior to any work commencing on this project.

If you have any further questions regarding this letter or any of the Inland Wetland Regulations, please do not hesitate to contact me at (860) 691-4105 or visit our office.

Sincerely,

Gary A. Goeschel II  
Director of Planning/  
Wetlands Enforcement Officer



LOCATION MAP  
NOT TO SCALE

### MAP REFERENCES

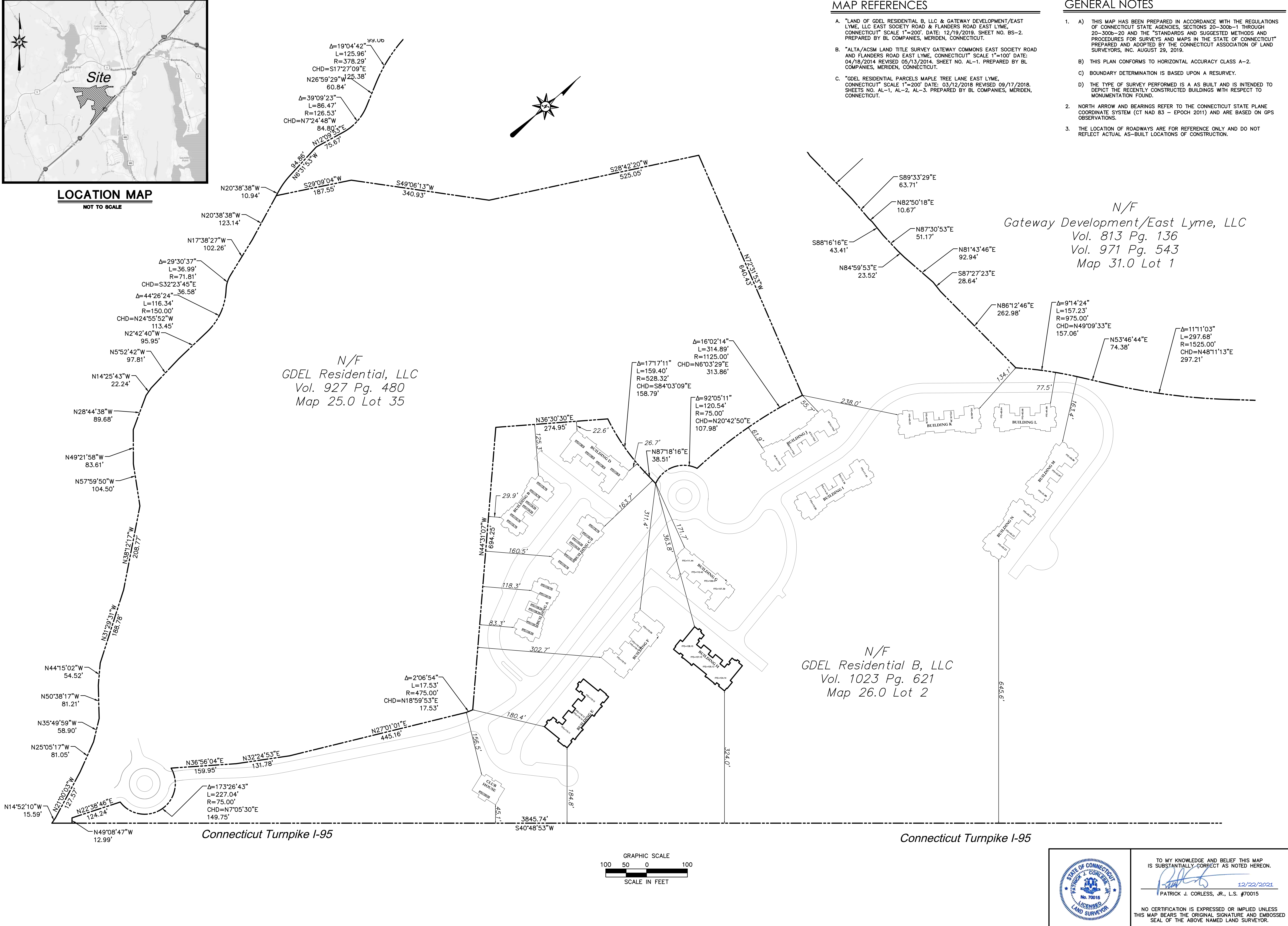
- A. "LAND OF GDEL RESIDENTIAL B, LLC & GATEWAY DEVELOPMENT/EAST LYME, LLC EAST SOCIETY ROAD & FLANDERS ROAD EAST LYME, CONNECTICUT" SCALE 1"=200'. DATE: 12/19/2019. SHEET NO. BS-2. PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.
- B. "ALTA/ACSM LAND TITLE SURVEY GATEWAY COMMONS EAST SOCIETY ROAD AND FLANDERS ROAD EAST LYME, CONNECTICUT" SCALE 1"=100'. DATE: 04/18/2014 REVISED 05/13/2014. SHEET NO. AL-1. PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.
- C. "GDEL RESIDENTIAL PARCELS MAPLE TREE LANE EAST LYME, CONNECTICUT" SCALE 1"=200'. DATE: 03/12/2018 REVISED 09/17/2018. SHEETS NO. AL-1, AL-2, AL-3. PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.

### GENERAL NOTES

- 1. A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
- C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- D) THE TYPE OF SURVEY PERFORMED IS A AS BUILT AND IS INTENDED TO DEPICT THE RECENTLY CONSTRUCTED BUILDINGS WITH RESPECT TO MONUMENTATION FOUND.
- 2. NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 2011) AND ARE BASED ON GPS OBSERVATIONS.
- 3. THE LOCATION OF ROADWAYS ARE FOR REFERENCE ONLY AND DO NOT REFLECT ACTUAL AS-BUILT LOCATIONS OF CONSTRUCTION.



355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406  
(203) 630-2615 Fax



**AS-BUILT MAP SHOWING  
GATEWAY/DEVELOPMENT**  
BUILDING FOUNDATIONS A THROUGH N & CLUBHOUSE  
EAST LYME, NEW LONDON COUNTY, CONNECTICUT

REVISIONS	
No.	Date
1.	12/22/2021
Drawn: JWW/J.S.	
Reviewed: PJC	
Scale: 1"=100'	
Project No.: 11C3944K	
Date: 08/07/2020	
Field Book: N/A	
CAD File: A811C3944K01abcd-eh	



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Patrick J. Corless, Jr.*  
12/22/2021  
PATRICK J. CORLESS, JR., L.S. #70015

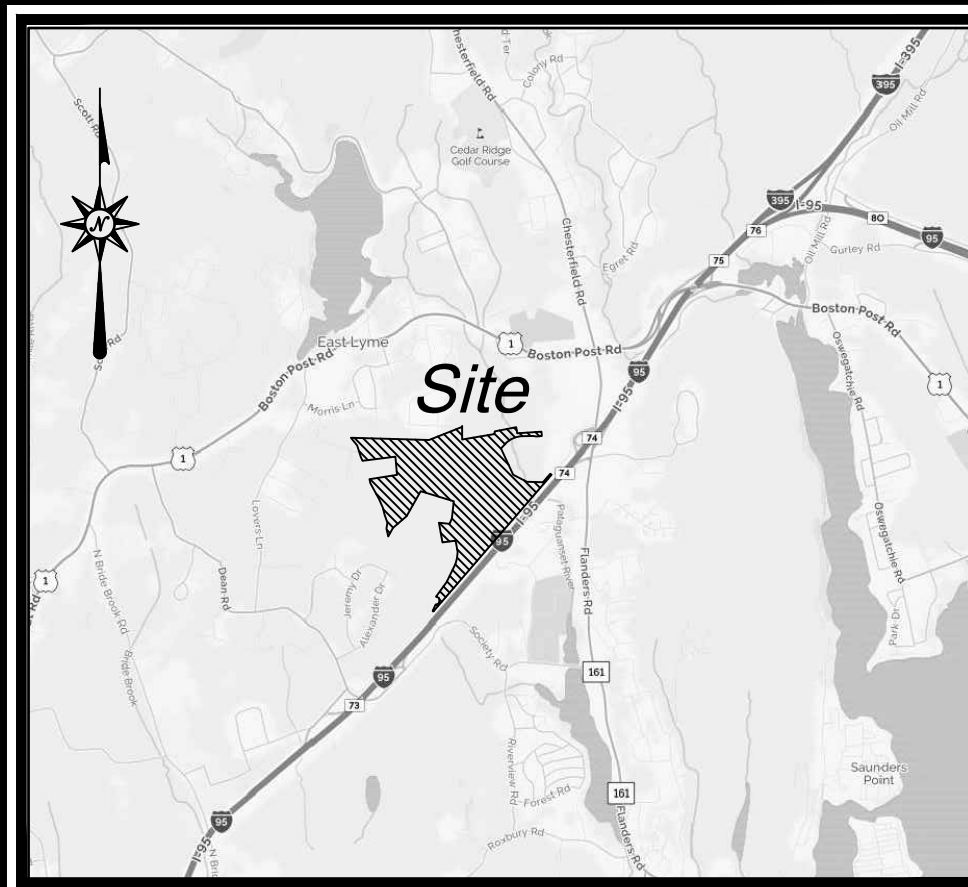
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.

TITLE  
IMPROVEMENT  
LOCATION  
SURVEY  
Sheet No.  
**AB-1**

Dec 21, 2021 4:38pm J:\cmg\maple CA\03811\11C3944K\DWG\A811C3944K01abcd-eh.dwg  
Layout: A81 24x36 SC100

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Xref (ft): X:\11C39441\A811C3944K01.dwg; X:\11C3944K\DWG\A811C3944K01abcd-eh.dwg; X:\11C3944K\DWG\A811C3944K01abcd-eh.dwg



LOCATION MAP  
NOT TO SCALE

LEGEND

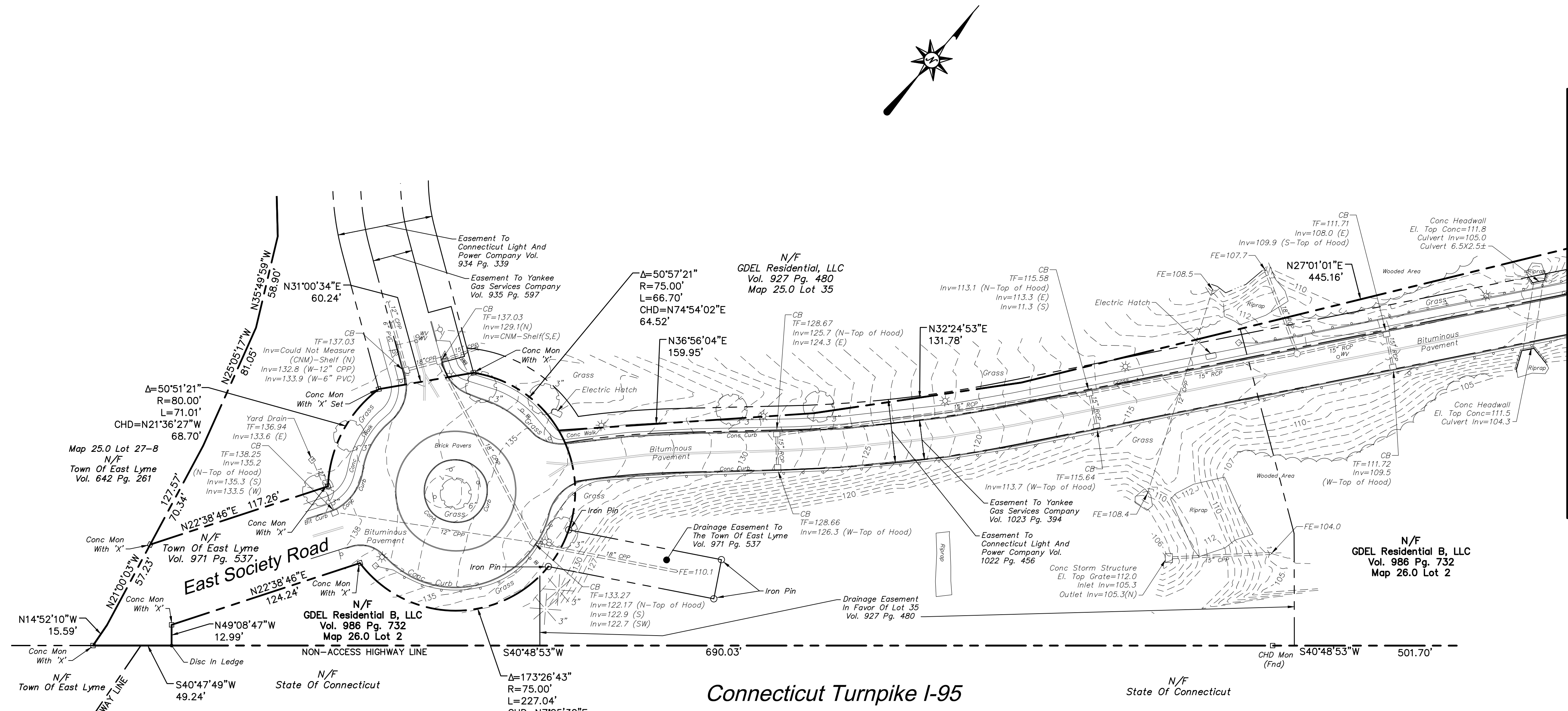
	Property Line		Handhole
	Easement Line		Light Pole
	Setback Line		Gas Valve
	Edge of Water		Catch Basin
	Treeline		Manhole
	Brushline		Manhole Plotted per Record Mapping
	Major Contour		Fire Hydrant
	Minor Contour		Water Valve
	Stone Wall		Sign
	Retaining Wall		Irrigation Control Box
	Fence		Shrub
	Underground Electric Line		Deciduous Tree
	Underground Sidelight/Streetlight Electric Line		Coniferous Tree
	Gas Line		
	Sanitary Sewer		
	Storm Sewer		

GENERAL NOTES

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
  - B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND A TOPOGRAPHIC CLASS T-2.
  - C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
  - D) THE TYPE OF SURVEY PERFORMED IS A AS BUILT AND IS INTENDED TO DEPICT THE RECENTLY CONSTRUCTED ROADWAYS AND UTILITIES WITH RESPECT TO MONUMENTATION FOUND, ROADWAYS, EASEMENTS AND CONTOURS.
2. NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 2011) AND ARE BASED ON GPS OBSERVATIONS.

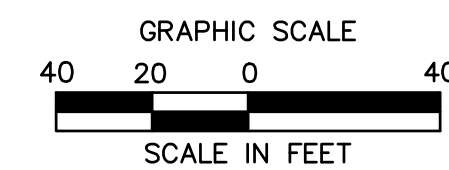
MAP REFERENCES

- A. "ALTA/NPS LAND TITLE SURVEY, GDEL RESIDENTIAL PARCELS, MAPLE TREE LANE, EAST LYME, CONNECTICUT", SCALE 1"=200' DATE: 03/12/2018 REVISED 09/17/2018. SHEETS NO. AL-1, AL-2, AL-3 PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.
- B. "LOT LINE MODIFICATION PLAN, LAND OF GDEL RESIDENTIAL B, LLC & GATEWAY DEVELOPMENT/EAST LYME, LLC, EAST SOCIETY ROAD & FLANDERS ROAD, EAST LYME, CONNECTICUT", SCALE 1"=200', DATE 12/19/2019, SHEET BS-2 PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.



MATCHLINE SEE SHEET 2 OF 2

Connecticut Turnpike I-95



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Patrick J. Corless, Jr.*  
12/22/2021  
PATRICK J. CORLESS, JR. L.S. #70015

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.

Dec 22, 2021 P:\540m\pccorless\G:\08831\A1\C1\11C3964\K02\DWG\AB11C3964K02.dwg  
Layout: AB2 24x36 102

© 2021 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.



355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406  
(203) 630-2615 Fax

AS-BUILT MAP SHOWING  
GATEWAY/DEVELOPMENT  
BUILDING FOUNDATIONS A, B, C, D, & CLUBHOUSE  
EAST LYME, NEW LONDON COUNTY, CONNECTICUT

REVISIONS

No.	Date

Surveyed TN/JW  
Drawn JW  
Reviewed X.X.X.  
Scale X"=X'  
Project No. 11C3964-K  
Date 12/11/2020  
Field Book N/A  
CAD File: AB11C3964K02

Title  
IMPROVEMENT  
LOCATION  
SURVEY

Sheet No. 1 Of 2

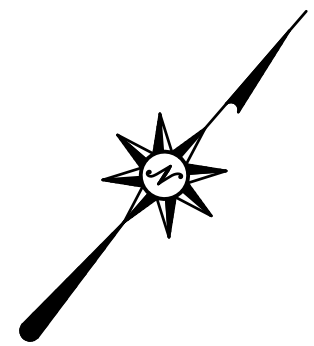
AB-2

Xref 01: X:\11C3964\K02\AB

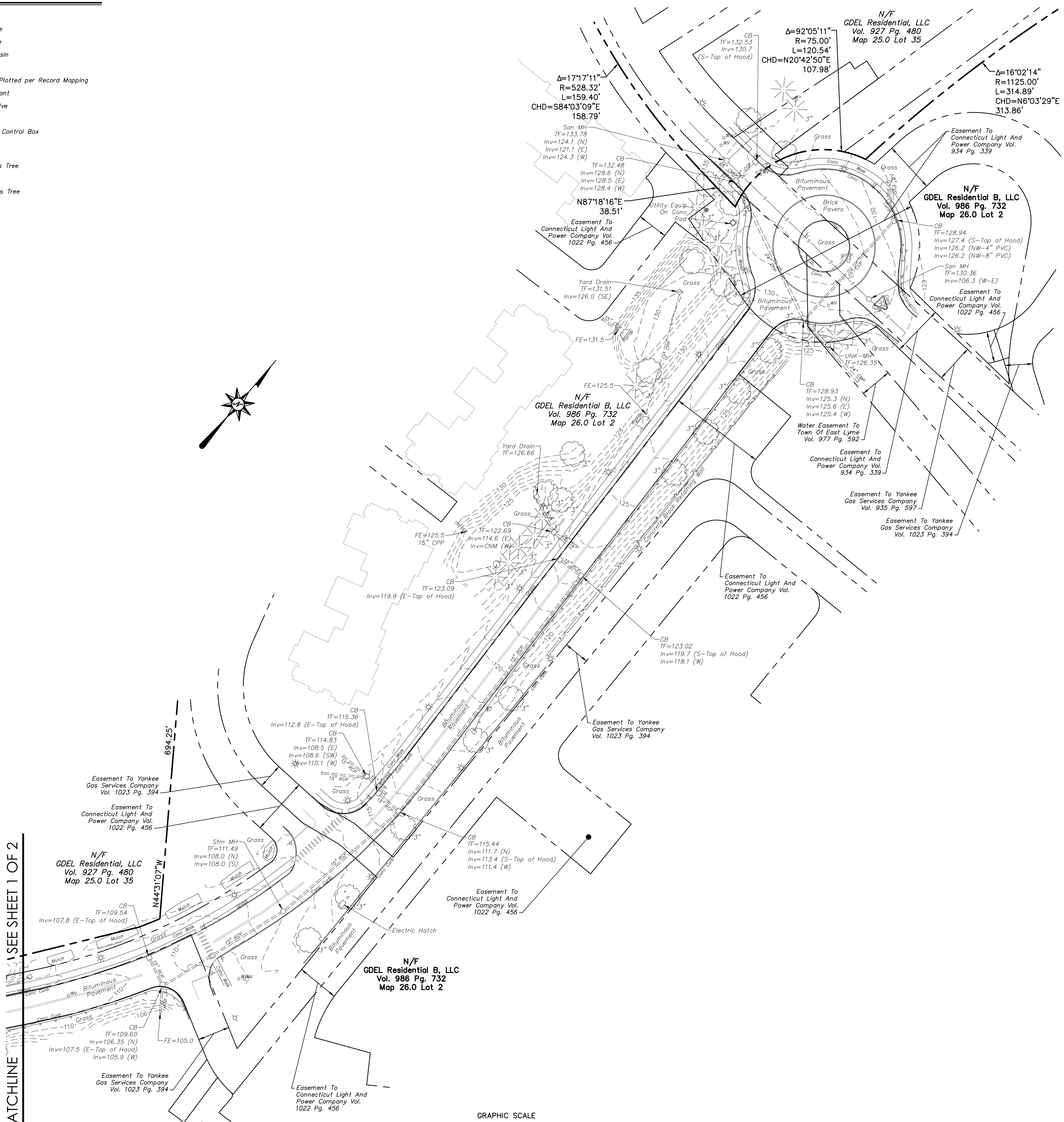


**LEGEND**

- Property Line
- - - Easement Line
- Setback Line
- Edge of Water
- Treeline
- Brushline
- - - 50' - Major Contour
- - - - Minor Contour
- Stone Wall
- Retaining Wall
- Guide Rail
- Fence
- Underground Electric Line
- Underground Sitalight/Streetlight Electric Line
- Gas Line
- Sanitary Sewer
- Storm Sewer
- Handhole
- ⊙ Light Pole
- Gas Valve
- CB
- MH
- MH(R)
- Fire Hydrant
- Water Valve
- Sign
- Irrigation Control Box
- Shrub
- Deciduous Tree
- Coniferous Tree



MATCHLINE SEE SHEET 1 OF 2



Dec 22, 2021 9:56am pcorres1 G:\0831\11C\11C3964\DWG\AB11C3964K02.dwg  
Layout: AB2 24/09/2021

REVISIONS	
No.	Date

Drawn: TN/JW  
Reviewed: X.X.X.  
Scale: X"=X'  
Project No.: 11C3964-K  
Date: 12/11/2020  
Field Book: N/A  
CAD File: AB11C3964K02

Title: IMPROVEMENT LOCATION SURVEY

Sheet No. 2 of 2

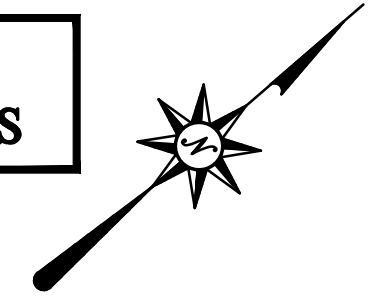
**AB-2**

**GATEWAY COMMONS RESI 2**  
**1 MAPLE TREE LANE**

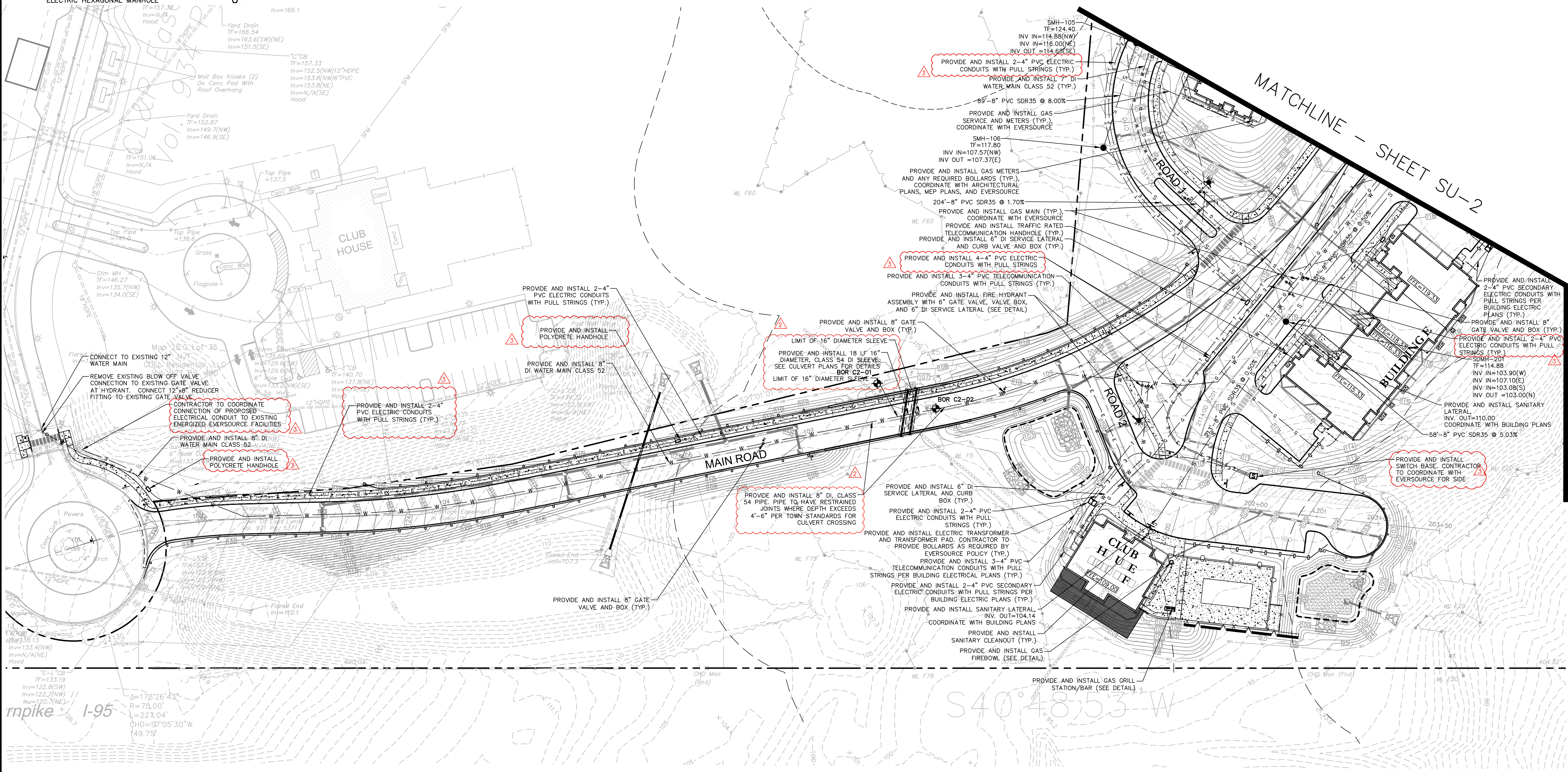
**CHERRY HILL CONSTRUCTION**  
**AS-BUILTS - SU.1**  
**MAY 21, 2021**

**NOTE:**  
 1. CONTRACTOR TO USE RESTRAINED JOINTS WHERE WATER MAIN PRESSURES ARE IN EXCESS OF TOWN STANDARDS  
 2. CONTRACTOR TO WRAP ALL WATERLINES, VALVES, AND FITTINGS PER TOWN STANDARDS

**REFER TO SHEET GN-1**  
**FOR SITE WORK GENERAL NOTES**



- SANITARY SEWER LINE — S
- SANITARY SEWER FORCE MAIN — SFM
- OVERHEAD LINE — OH
- TRANSFORMER — T
- HYDRANT — H
- UTILITY POLE — U
- SANITARY MANHOLE — M
- SANITARY CLEANOUT — CO
- WATER VALVE AND BOX — WV
- GATE VALVE AND BOX — GV
- THRUST BLOCK — TB
- TELECOMMUNICATIONS HANDHOLE — TH
- ELECTRIC HEXAGONAL MANHOLE — EH

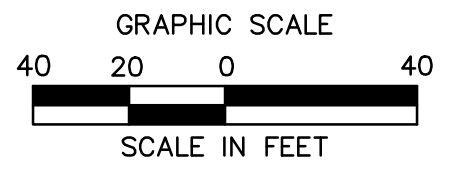


**GATEWAY COMMONS II**  
 FLANDERS ROAD AND EAST SOCIETY ROAD  
 EAST LYME, CONNECTICUT

REVISIONS	No.	Date	Desc.

Designed  
 Drawn  
 Reviewed  
 Scale  
 Project No.  
 Date  
 CAD File:  
 Title  
**UTILITIES PLAN**

Sheet No.  
**SU-1**



**GATEWAY COMMONS RESI 2  
1 MAPLE TREE LANE**

**CHERRY HILL CONSTRUCTION  
AS-BUILTS - SU.2  
MAY 21, 2021**

SANITARY SEWER FORCE MAIN  
NOTE: SUBBASE UNDERNEATH PAVEMENT  
AT MAIN ROAD, ROAD 1, AND ROAD 2

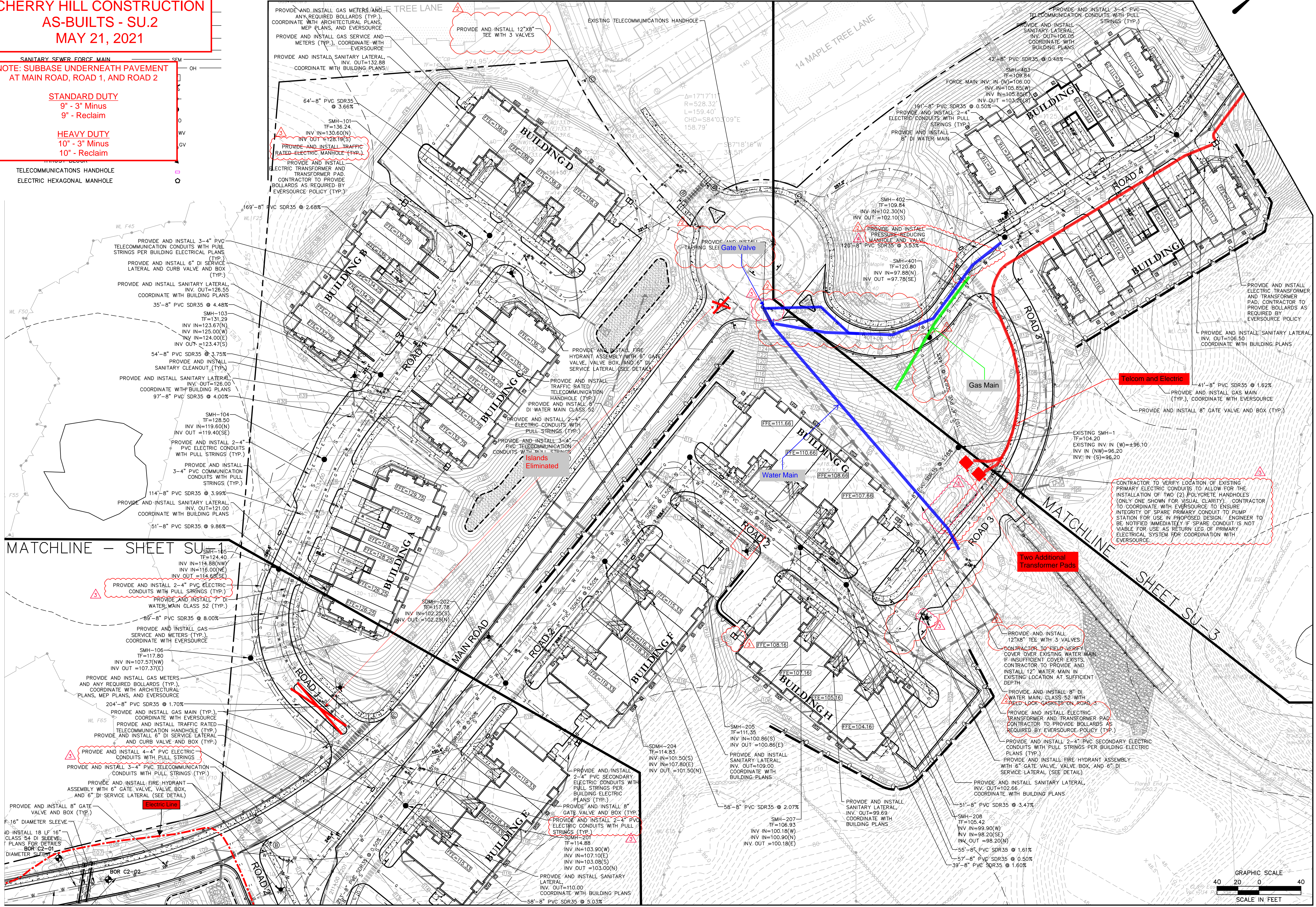
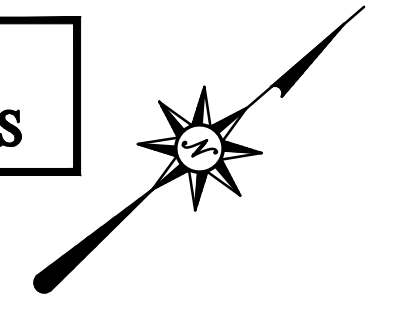
STANDARD DUTY  
9" - 3" Minus  
9" - Reclaim

HEAVY DUTY  
10" - 3" Minus  
10" - Reclaim

TELECOMMUNICATIONS HANDHOLE  
ELECTRIC HEXAGONAL MANHOLE

NOTE:  
CONTRACTOR SHALL CUT IN TEES AND INSTALL THE THREE-VALVE CLUSTERS  
AT THE TWO INTERSECTIONS WITHIN ONE FOUR-HOUR SHUTDOWN

**REFER TO SHEET GN-1  
FOR SITE WORK GENERAL NOTES**



**GATEWAY COMMONS II**  
FLANDERS ROAD AND EAST SOCIETY ROAD  
EAST LYME, CONNECTICUT

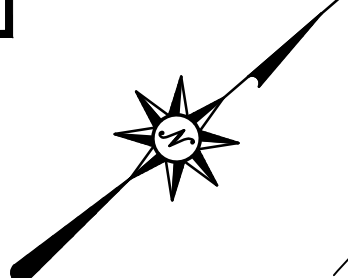
REVISIONS	No.	Date	Desc.
Designed			
Drawn			
Reviewed			
Scale			1"=40'
Project No.			
Date			
CAD File:			

**UTILITIES PLAN**

Sheet No.

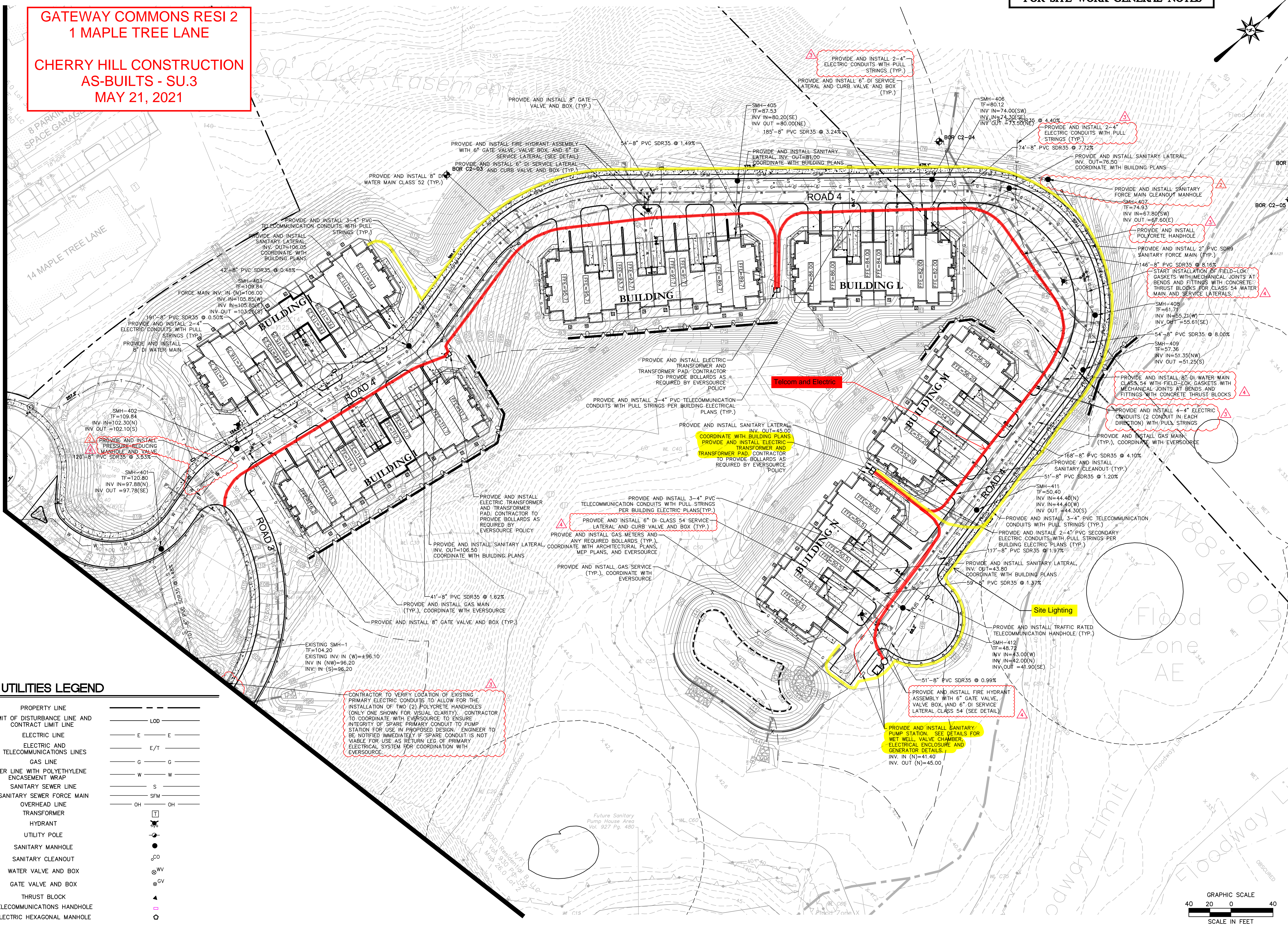
**SU-2**

REFER TO SHEET GN-1  
FOR SITE WORK GENERAL NOTES



**GATEWAY COMMONS RESI 2**  
**1 MAPLE TREE LANE**  
**CHERRY HILL CONSTRUCTION**  
**AS-BUILTS - SU.3**  
**MAY 21, 2021**

MATCHLINE - SHEET SU-2



**SITE UTILITIES LEGEND**

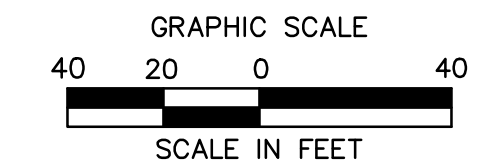
PROPERTY LINE	---	---
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	---	LOD
ELECTRIC LINE	---	E
ELECTRIC AND TELECOMMUNICATIONS LINES	---	E/T
GAS LINE	---	G
WATER LINE WITH POLYETHYLENE ENCASEMENT WRAP	---	W
SANITARY SEWER LINE	---	S
SANITARY SEWER FORCE MAIN	---	SFM
OVERHEAD LINE	---	OH
TRANSFORMER	⊠	
HYDRANT	⊙	
UTILITY POLE	⊙	
SANITARY MANHOLE	⊙	
SANITARY CLEANOUT	⊙	
WATER VALVE AND BOX	⊙	
GATE VALVE AND BOX	⊙	
THRUST BLOCK	▲	
TELECOMMUNICATIONS HANDHOLE	⊙	
ELECTRIC HEXAGONAL MANHOLE	⊙	

CONTRACTOR TO VERIFY LOCATION OF EXISTING PRIMARY ELECTRIC CONDUITS TO ALLOW FOR THE INSTALLATION OF TWO (2) POLYCRETE HANDHOLES (ONLY ONE SHOWN FOR VISUAL CLARITY). CONTRACTOR TO COORDINATE WITH EVERSOURCE TO ENSURE INTEGRITY OF SPARE PRIMARY CONDUIT TO PUMP STATION FOR USE IN PROPOSED DESIGN. ENGINEER TO BE NOTIFIED IMMEDIATELY IF SPARE CONDUIT IS NOT AVAILABLE FOR USE AS RETURN LEG OF PRIMARY ELECTRICAL SYSTEM FOR COORDINATION WITH EVERSOURCE.

COORDINATE WITH BUILDING PLANS PROVIDE AND INSTALL ELECTRIC TRANSFORMER AND TRANSFORMER PAD. CONTRACTOR TO PROVIDE BOLLARDS AS REQUIRED BY EVERSOURCE POLICY

Telcom and Electric

Site Lighting



**GATEWAY COMMONS II**  
FLANDERS ROAD AND EAST SOCIETY ROAD  
EAST LYME, CONNECTICUT

REVISIONS

No.	Date	Desc.

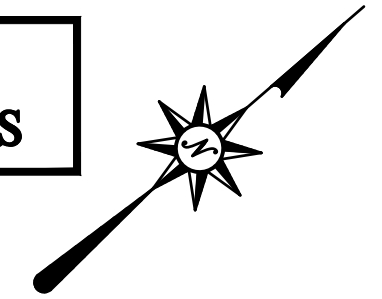
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Drawn  
Reviewed  
Scale 1"=40'  
Project No.  
Date  
CAD File:  
Title  
**UTILITIES PLAN**  
Sheet No.  
**SU-3**

**GATEWAY COMMONS RESI 2  
1 MAPLE TREE LANE**

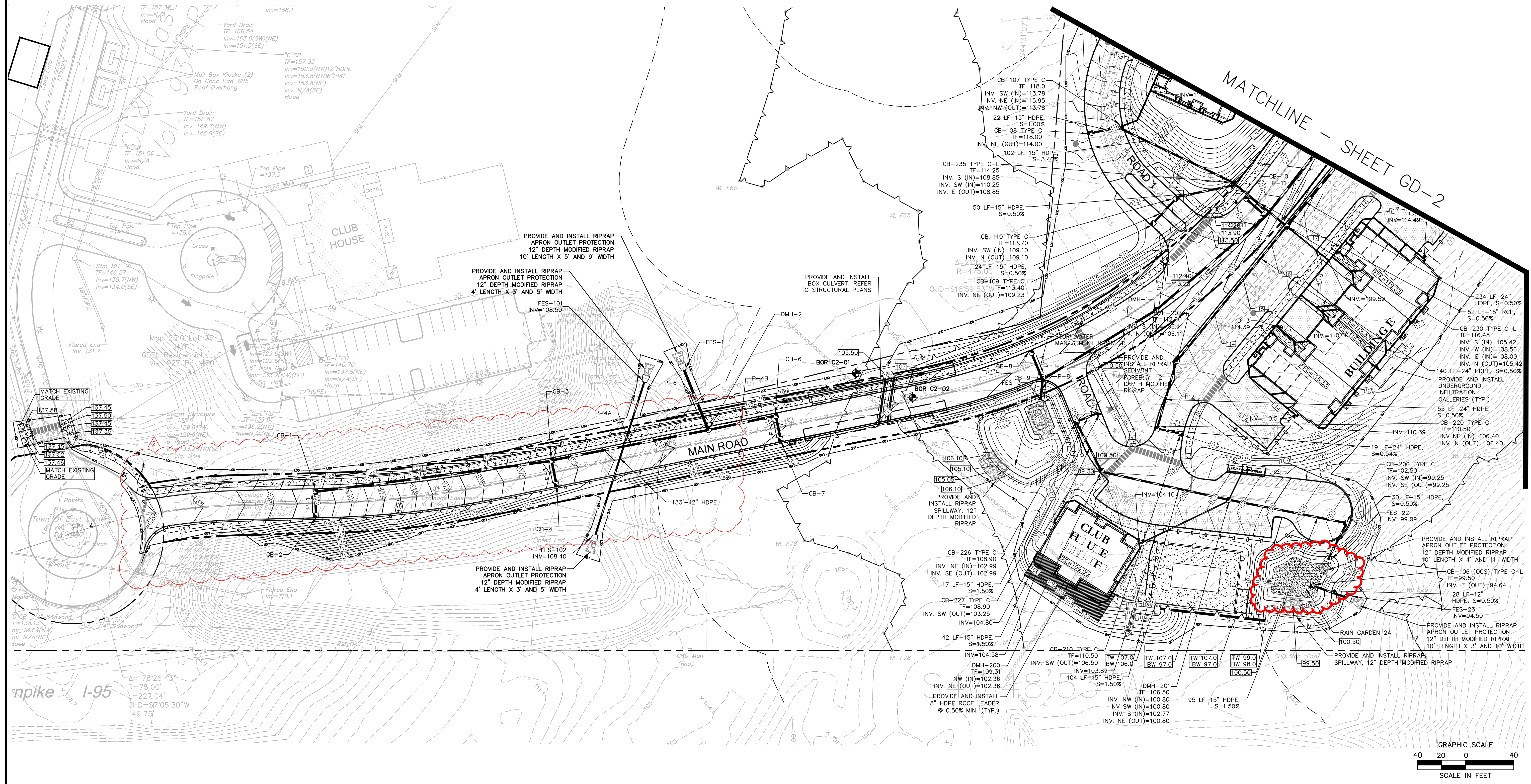
**CHERRY HILL CONSTRUCTION  
AS-BUILTS - SU.4  
MAY 21, 2021**

NOTE: REFER TO GRADING ENLARGEMENT PLANS  
FOR GRADING AT BUILDINGS AND POOL.

**REFER TO SHEET GN-1  
FOR SITE WORK GENERAL NOTES**



- HYDRODYNAMIC SEPARATOR
- PROPOSED CONTOUR LINE
- PROPOSED SPOT GRADE
- ABBREVIATIONS
  - TC=TOP OF CURB
  - BC=BOTTOM OF CURB
  - TW=TOP OF WALL
  - BW=BOTTOM OF WALL
- PROPOSED SURFACE SLOPE



**GATEWAY COMMONS II  
FLANDERS ROAD AND EAST SOCIETY ROAD  
EAST LYME, CONNECTICUT**

SK11(CB94-001) 1831(CB94-002)

REVISIONS

No.	Date	Desc.

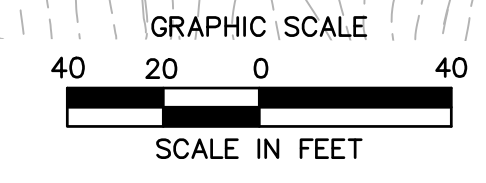
Designed  
Drawn  
Reviewed  
Scale  
Project No.  
Date  
CAD File:

Title

**GRADING AND  
DRAINAGE  
PLAN**

Sheet No.

**GD-1**

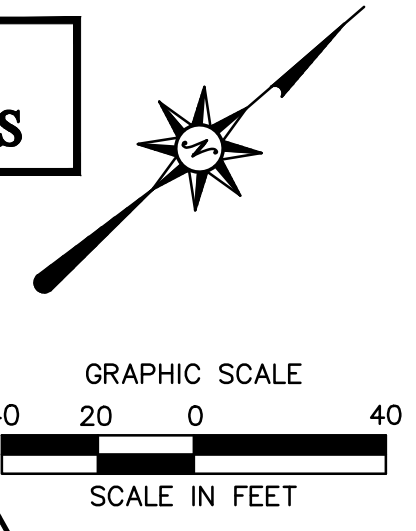


**GATEWAY COMMONS RESI 2  
1 MAPLE TREE LANE**

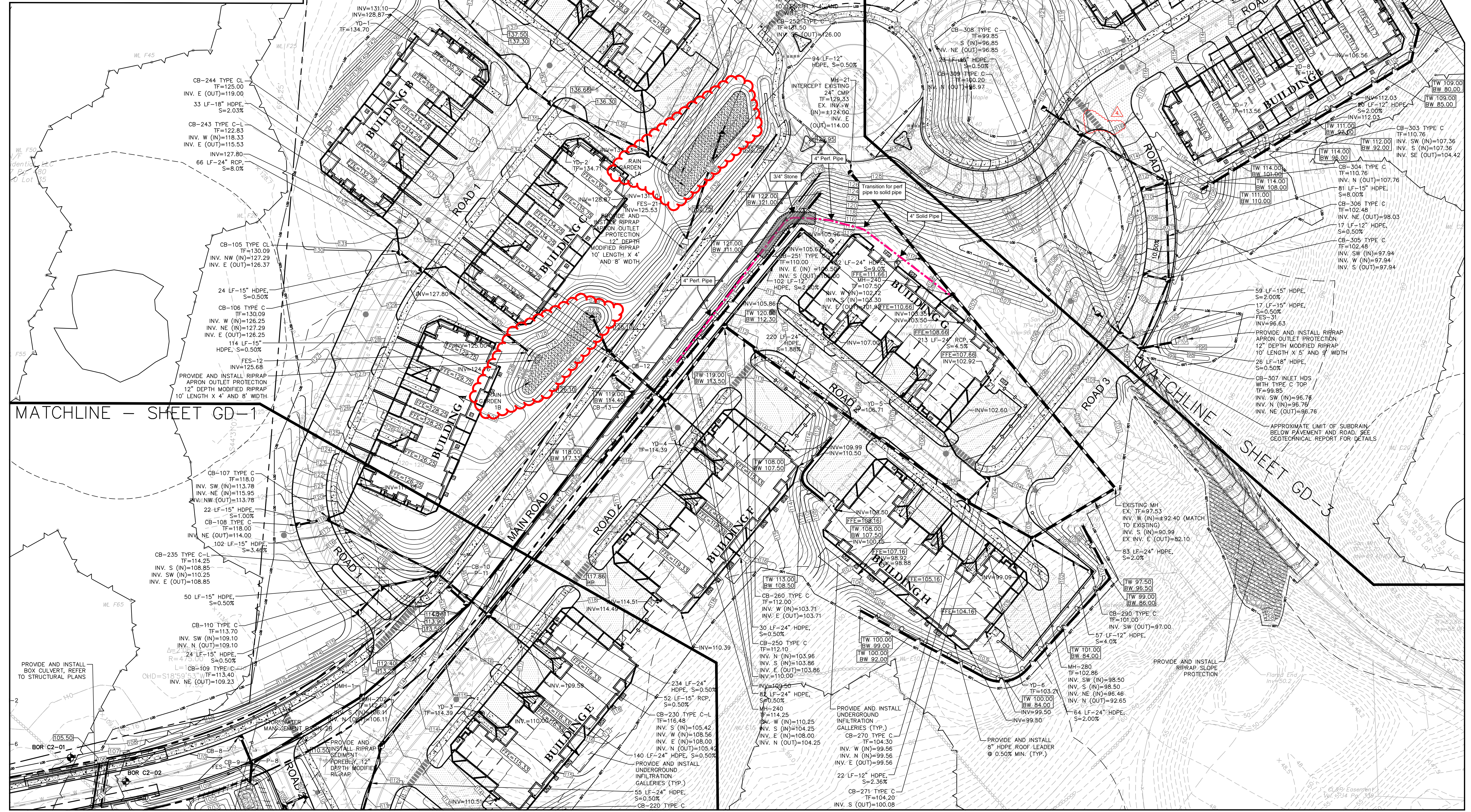
**CHERRY HILL CONSTRUCTION  
AS-BUILTS - UNDERDRAIN  
MAY 21, 2021**

NOTE: REFER TO GRADING ENLARGEMENT PLANS  
FOR GRADING AT BUILDINGS.

**REFER TO SHEET GN-1  
FOR SITE WORK GENERAL NOTES**



- OUTLET CONTROL STRUCTURE
- HYDRODYNAMIC SEPARATOR
- PROPOSED CONTOUR LINE
- PROPOSED SPOT GRADE
- ABBREVIATIONS
  - TC=TOP OF CURB
  - BC=BOTTOM OF CURB
  - TW=TOP OF WALL
  - BW=BOTTOM OF WALL
- PROPOSED SURFACE SLOPE



MATCHLINE - SHEET GD-1

MATCHLINE - SHEET GD-3

**GATEWAY COMMONS II  
FLANDERS ROAD AND EAST SOCIETY ROAD  
EAST LYME, CONNECTICUT**

REVISIONS	No.	Date	Desc.

Designed  
Drawn  
Reviewed  
Scale  
Project No.  
Date  
CAD File:

Title  
**GRADING AND  
DRAINAGE  
PLAN**

Sheet No.

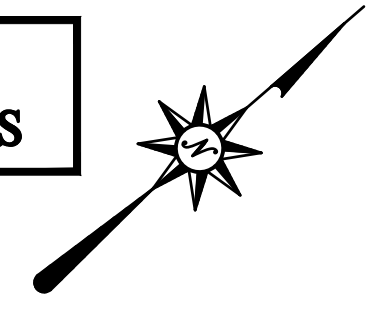
**GD-2**

**GATEWAY COMMONS RESI 2  
1 MAPLE TREE LANE**

**CHERRY HILL CONSTRUCTION  
AS-BUILTS - UNDERDRAIN  
MAY 21, 2021**

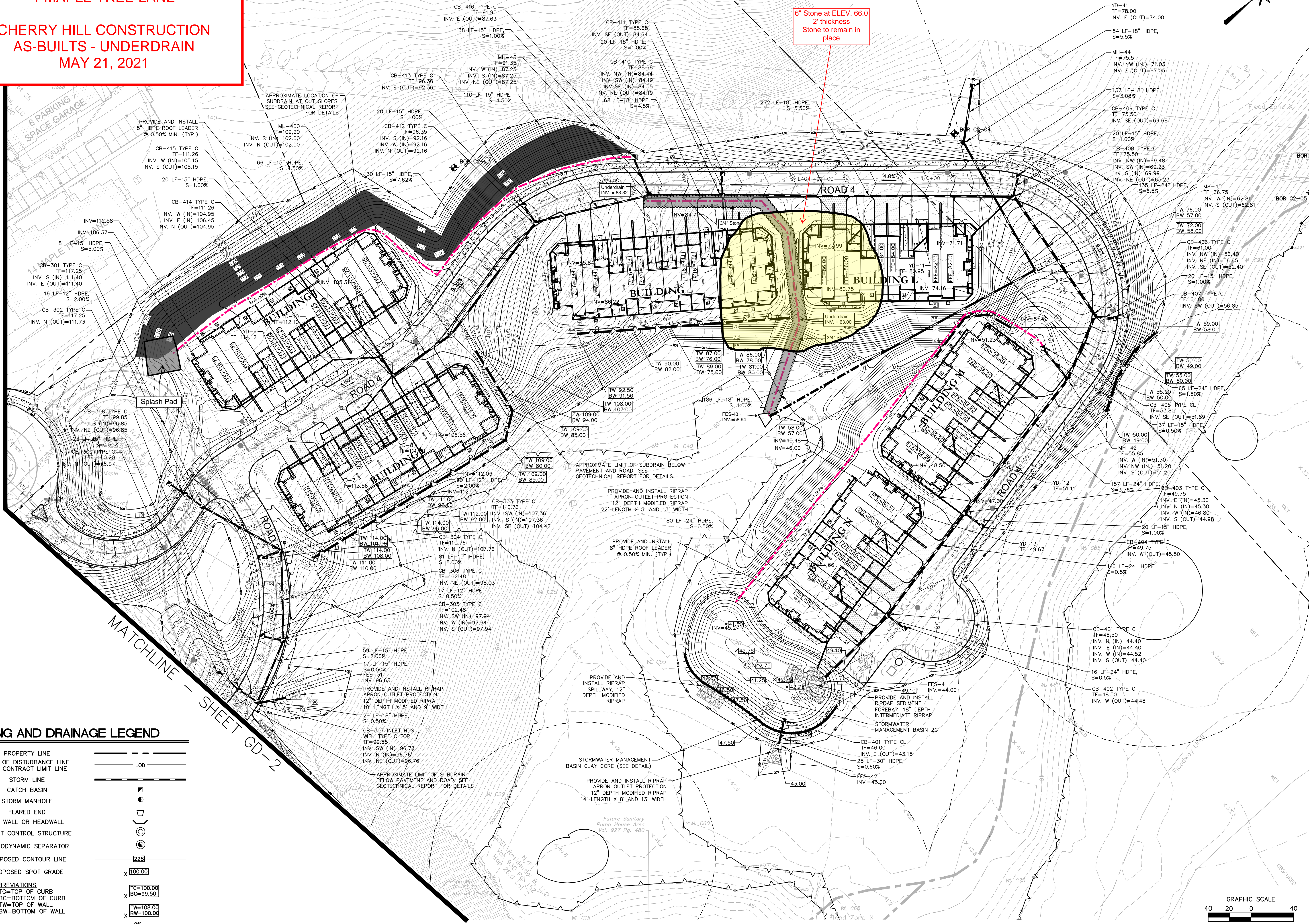
NOTE: REFER TO GRADING ENLARGEMENT PLANS  
FOR GRADING AT BUILDINGS.

**REFER TO SHEET GN-1  
FOR SITE WORK GENERAL NOTES**



MATCHLINE - SHEET GD-2

**GATEWAY COMMONS II**  
FLANDERS ROAD AND EAST SOCIETY ROAD  
EAST LYME, CONNECTICUT



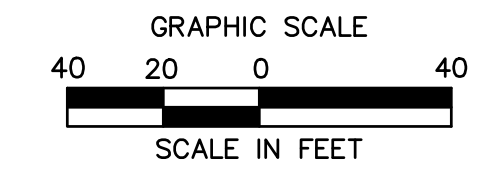
**GRADING AND DRAINAGE LEGEND**

PROPERTY LINE	---
LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE	---
STORM LINE	---
CATCH BASIN	□
STORM MANHOLE	○
FLARED END	○
END WALL OR HEADWALL	○
OUTLET CONTROL STRUCTURE	○
HYDRODYNAMIC SEPARATOR	○
PROPOSED CONTOUR LINE	---(228)---
PROPOSED SPOT GRADE	x 100.00
<b>ABBREVIATIONS</b>	
- TC=TOP OF CURB	x 100.00
- BC=BOTTOM OF CURB	x 99.50
- TW=TOP OF WALL	x 108.00
- BW=BOTTOM OF WALL	x 100.00
PROPOSED SURFACE SLOPE	2%

REVISIONS

No.	Date	Desc.

Designed  
Drawn  
Reviewed  
Scale  
Project No.  
Date  
CAD File:  
Title  
**GRADING AND DRAINAGE PLAN**  
Sheet No.



**GD-3**

GATEWAY COMMONS RESI 2  
1 MAPLE TREE LANE

DEMARS LANDSCAPING  
AS-BUILTS - IRRIGATION  
MAY 21, 2021

# AS BUILT

## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL
	Hunter MP Strip PROS-04
	Hunter MP1000 PROS-04
	Hunter MP2000 PROS-04
SYMBOL	MANUFACTURER/MODEL
	Hunter PGP-ADJ
	Hunter PGP-ADJ
SYMBOL	MANUFACTURER/MODEL
	Hunter PGV-101G 1"
	Hunter PGV-151 Globe 1-1/2"
-Not Shown-	Hunter (2C-0800-PL W/ EZD Module (To Be Located)
	Pump (By Others)
	Irrigation Lateral Line: Polyethylene Pipe
	Irrigation Lateral Line: Polyethylene Pipe
	Irrigation Lateral Line: PVC Class 200 SDR 21
	Irrigation Mainline: PVC Class 200 SDR 21
	Pipe Sleeve: PVC Class 200 SDR 21

### General Notes

IRRIGATION DRAWINGS ARE DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT PLACED IN THE FIELD WILL BE APPROVED BY THE OWNER OR ITS REPRESENTATIVE.  
CONTRACTOR RESPONSIBLE FOR VERIFICATION OF EQUIPMENT QUANTITY.  
DUE TO THE SCALE, ACCURACY OR CONDITION OF SITE PLANS, CONTRACTOR WILL MODIFY PATTERN TO GUARANTEE 100% COVERAGE OF INDICATED AREAS IN CASES WHERE SITE DIMENSIONS CONFLICT WITH DRAWING.

No.	Revision/Issue	Date

**CENTRAL**  
TURF & IRRIGATION SUPPLY

**DESIGN SERVICES**  
PHONE: (914) 347-9656 EXT. 1027  
E-MAIL: DESIGN@CENTRALTIS.COM

### CENTRAL LOCATIONS

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FAX: (860) 296-4947  
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1 SEIR HILL ROAD  
NORWALK, CT 06850  
STORE: (203) 845-0075  
FAX: (203) 845-0078  
EMAIL: NORWALK@CENTRALTIS.COM

59 HALLOWEEN BLVD.  
STAMFORD, CT 06902  
STORE: (203) 658-8484  
FAX: (203) 658-8486  
EMAIL: STAMFORD@CENTRALTIS.COM

### DEMARS LANDSCAPING, LLC.

Project Name and Address  
**GATEWAY COMMONS II**  
FLANDERS ROAD AND EAST SOCIETY ROAD  
EAST LYME, CONNECTICUT  
-RECORD DRAWING-

Project	17 - Stamford - Gateway Commons AsBuilt	Sheet	<b>IR-01</b>	
Date	05/10/21			
Drawn by:	OG	Checked by:		JP
Scale	1" = 50'-0"			

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