



APPLICATION FOR PERMIT EAST LYME INLAND WETLANDS AGENCY

Office Use Only

Fee Paid _____ Date Submitted _____ Application # _____

Date of Receipt _____ Date Approved _____ Permit Number _____

Major Impact: YES NO Public Hearing: YES NO Agent Approved: YES NO

Note: In accordance with the Inland Wetland and Watercourses Regulations, Eleven (11) copies of all application materials must be submitted.

1. SITE LOCATION (Street) and Description: 99, 101, & 103 S. Beechwood Road, East Lyme, CT

Assessor's Map 07.14 Lot # 43, 42, & 41

Note: It is the applicant's responsibility to provide the correct site address, map/lot number for the legal notice. Provide a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands and watercourses to be disturbed, soil type(s), and wetland vegetation.

2. APPLICANT: Mr. Howard W. Hale

Address: 21 Dawn Drive
South Windsor, CT 06074

Phone: 860-436-4481

Fax: _____

Business: _____

Cell: 860-573-7641

Email: Halesfloorcovering@gmail.com

Applicant's interest in the land: Intent to purchase properties from current owner.

***If the applicant is a Limited Liability Corporation or a Corporation provide the managing member's or responsible corporate officer's name, address, and telephone number.*

3. OWNER: Habitat for Humanity of Eastern CT Inc.

Address: 377 Broad Street
New London, CT 06320

Phone: 860-442-7890

Fax: _____

Email: communication@habitatect.org

Cell: _____

***As the legal owner of the property listed on this application, I hereby consent to the proposed activities. And I hereby authorize the members and agents of the Agency to inspect the subject land, at reasonable times, during the pendency of the application and for the life of the permit.*

Owners Printed Name: Habitat for Humanity of Eastern CT, Inc.

Owners Signature: [Handwritten Signature] Date: 7/2/2021

4. Area of wetland to be disturbed: 1,729 sq. ft. or ac 0.04
 Area of watercourse to be disturbed: 0 sq. ft. or ac 0
 Upland review area to be disturbed: 6,501 sq. ft. or ac 0.15

Will fill be needed on site? Yes No

If yes, how much fill is needed? 80 +/- Cubic yards

5. The property contains (circle one or more)

WATERCOURSE WATERBODY WOODED-WETLAND SWAMP
 FLOODPLAIN OTHER: Wooded Wetland Soils

Description of soil types on site: Poorly drained soils within the wetland belong to the Ridgebury and Leicester soil series that have a seasonal high water table and shallow organic material.

Description of wetland vegetation: Red maple forested wetland corridor with understory shrubs including spicebush, winterberry, multiflora rose, and green briar.

Name of Soil Scientist(s) and date of survey: Mr. Ian T. Cole delineated wetlands 04-25-2015;
Site survey completion date 05-11-2015 to include flagged wetlands

6. Provide a written narrative of the purpose and a description of the proposed activity and proposed erosion and sedimentation controls and other best management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including, but not limited to, measures to (1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance and create productive wetland or watercourse resources. Depending on the complexity of the project, include the following: construction schedule, sequence of operations, drainage computations with pre and post construction runoff quantities and runoff rates, plans clearly showing the drainage areas corresponding to the drainage computation, existing wetland inventory and functional assessment, soils report, construction plans signed by a certified soils scientist, licensed surveyor, and licensed professional engineer.

7. Provide information of all alternatives considered. List all alternatives which would cause less or no environmental impact to wetlands or watercourses and state why the alternative as set forth in the application was chosen. All such alternatives shall be diagrammed on a site plan or drawing. (Attach plans showing all alternates considered). One alternative is to build houses on all 3 lots affecting most of the existing wetlands. Another is to not develop any lots, which is neither economically prudent or feasible for current and future property owners. Our proposal is prudent because we are proposing some development while providing sufficient wetland mitigation area on the adjacent lot #99 which will be combined with #101.

8. Attach a site plan showing the proposed activity and existing and proposed conditions in relation to wetlands and watercourses and identifying any further activities associated with, or reasonably related to, the proposed regulated activity which are made inevitable by the proposed regulated activity and which may have an impact on wetlands and watercourses.

9. Provide the name and mailing addresses of adjacent landowners (including across a street). Attach additional sheets if necessary.

Name/Address: See attached list of abutting property owners.
 Name/Address: _____
 Name/Address: _____

10. Attach a completed DEP reporting form.

The Agency shall revise or correct the information provided by the applicant and submit the form to the Commissioner of Environmental Protection in accordance with section 22a-30-14 of the Regulations of Connecticut State Agencies.

11. Name of Erosion Control Agent (Person Responsible for Compliance):

Suzanne P. Choate, PE, Design Professionals Inc.

Address: 21 Jeffrey Drive

Phone: 860-291-8755

South Windsor, CT 06074

Fax: _____

Email: schoate@dpinc.co

Cell: _____

12. Are you aware of any wetland violations (past or present) on this property? Yes No

If yes, please explain: _____

13. Are there any vernal pools located on or adjacent (within 500') to the property? Yes No

14. For projects that do not fall under the ACOE Category I general permit – Have you contacted the Army Corps of Engineers? Yes No

15. Is this project within a public water supply aquifer protection area or a watershed area? Yes No

16. If so, have you notified the Commissioner of the Connecticut Department of Public Health and the East Lyme Water and Sewer Department? Yes No (Proof of notification must be submitted with your application).

17. Attach the appropriate filing fee based on the fee schedule established in Section 19 of the Regulations.
Fee: \$1,510 (Make checks payable to "Town of East Lyme").

18. PUBLIC HEARINGS ONLY: The applicant must provide proof of mailing notices to the abutters prior to the hearing date.

The undersigned Applicant hereby consents to necessary and proper inspection of the above mentioned property by the East Lyme Inland Wetlands Agency and/or its agents at reasonable times both before and after the permit in question has been granted.

The Applicant affirms that the information supplied in this application is accurate to the best of his/her knowledge and belief. As the applicant I hereby certify that I am familiar with the information provided in this application and I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

Printed Name: HOWARD HALE Date: 7-6-21

Signature: _____

Please note:

Above notice to be published in legal section of newspaper having general circulation in the Town of East Lyme. Applicant to pay cost of publication. You or a representative must attend the Inland Wetlands Agency meeting to present your application.



July 2, 2021

To Whom it May Concern

Re: 99,101 and 103 South Beechwood Road, East Lyme, CT

Dear Sir or Madam:

This letter is to authorize Peter DeMallie of Design Professionals, Inc. to sign on behalf of HABILAT FOR HUMANITY all documents associated with the town, state and federal approvals required in connection with home development on 99, 101 and 103 South Beechwood Road in East Lyme, Connecticut.

A handwritten signature in blue ink that reads "Teri O'Rourke".

CEO

On behalf of HABILAT FOR HUMANITY





P.O. BOX 1167
21 JEFFREY DRIVE
SOUTH WINDSOR, CT 06074
PHONE: 860.291.8755
FAX: 860.291.8757
www.designprofessionalsinc.com

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS / PLANNERS / LANDSCAPE ARCHITECTS
Serving Connecticut, Massachusetts, & Rhode Island

July 6, 2021

Mr. Gary Goeschel, II, Director of Planning
Town of East Lyme Planning Department
108 Pennsylvania Avenue
Niantic, CT 06357

Re: Inland Wetlands Permit Application
99, 101 and 103 South Beechwood Road
Project Narrative

Dear Mr. Goeschel,

On behalf of our client, Howard Hale, we are submitting this brief project narrative demonstrating compliance with the Town of East Lyme Wetlands Regulations for the above referenced proposed development.

99, 101 and 103 South Beechwood Road are three existing house lots that Mr. Hale is interested in purchasing (from Habitat for Humanity of Eastern CT, Inc.) and utilizing for two new homes. The primary use of the development is housing/residential. Two new driveways are proposed to the new homes on South Beechwood.

There is an area pocket of wooded wetlands across the midsection of the parcels. A Wetland Delineation Report has been provided by Ian Cole, Registered Soil Scientist/Professional Wetland Scientist to describe the wetland soils. The proposed development includes filling of 0.04 acres of wetlands to build two houses on the three lots. The wetland disturbance is to be mitigated adjacent to the remaining wetland on the third lot. The lot with the mitigation and no proposed house will be combined with the center lot. The remainder of the area in the parcels outside of the wetlands are entirely within the upland review area where 0.15 acres of disturbance is proposed. The disturbance includes impacts for grading and development of a bioswale with a depression to attenuate the increase in stormwater flow from the development of the properties. Shrub plantings within the mitigation area will be native, fruit-bearing shrubs to support wildlife that inhabit the current ecosystem. Existing Multiflora Rose plants which are an invasive non-native plant will be eradicated within the mitigation area.

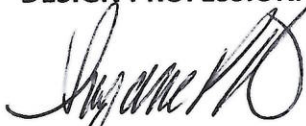
Alternatives considered were to build houses on all three lots which would further impact the wetlands and no development which is neither economically prudent or feasible to the current

and future property owners. Our proposal is a compromise between the two and includes wetland mitigation. We are also proposing storm water attenuation for the house development with a bioswale depression.

As such, we believe the proposed house development is appropriate for this property and does not introduce any adverse impacts.

We look forward to reviewing this application with Town Staff and the Commission and are available should you have any questions or comments.

Sincerely,
DESIGN PROFESSIONALS, INC.



Suzanne P. Choate, P.E.
Senior Project Manager/Director

99, 101, & 103 S. BEECHWOOD ROAD DIRECT ABUTTERS MAILING LIST

Parcel ID	Owner	Mailing Address	City	State	Zip
07.14 34	CORBETT JEFFREY W &	96 S BEECHWOOD RD	NIANTIC	CT	6357
07.14 49	GREENE ANDREA F	37 QUAIL DR	ROCKY HILL	CT	6067
07.14 35	HALE HOWARD W &	21 DAWN DR	SOUTH WINDSOR	CT	6074
07.14 36	KOMAROW BRUCE E & STACY L	104 S BEECHWOOD RD	NIANTIC	CT	6357
07.14 47	SAID MARIANNA	96 LAURELWOOD DR	NIANTIC	CT	6357
07.14 44	SAID MARIANNA	96 LAURELWOOD DR	NIANTIC	CT	6357
07.14 50	SHEA MATTHEW J	146 PATRIDGE DR	ROCKY HILL	CT	6067
07.14 48	SPIGARELLI JOANNE TR	18 ADVENT DR	WEST SPRINGFIELD	MA	1089
07.14 40	VANCOUR ROBERT E	107 S BEECHWOOD RD	NIANTIC	CT	6357

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1. Introduction

Howard Hale is proposing to develop three house lots with a total of 14,961 SF± (0.34 acre). located at 99, 101 and 103 S. Beechwood Road in East Lyme, Connecticut. The proposed work will disturb approximately 8,350 SF± (0.19 acre) of the parcels. The proposed development will include construction of two new single-family homes with associated paved driveways, subsurface utilities, and landscaping. The project also includes wetland mitigation and combination of two lots. Refer to the site plan drawings, entitled "99, 101 & 103 South Beechwood Road, Site Plan Application, East Lyme, Connecticut, prepared by Design Professionals, Inc, dated 7/6/2021, as amended, for information regarding the proposed property development.

2. Pre vs Post Development Comparisons

The surficial characteristics of the site can primarily be classified as woodland and house lot areas that are common for residential properties. The entire site drains north to south across the parcel.

To establish a hydrologic comparison between pre- and post-development conditions, an evaluation was performed to quantify the increase in stormwater volume for the parcel during a 10-year storm event. The Rational method as outlined in the ConnDOT Drainage Manual, was followed in predicting the peak rates of runoff and volumes. Hydraflow Hydrographs (version 2020) computer modeling software was used as application. Refer to **Appendix A** for the pre-developed conditions watershed computations.

3. Post Development Site Conditions

The two new homes proposed will increase the impervious coverage on the total area. To control the increase in stormwater volume due to increased impervious coverage, one bioretention swale depression is proposed. The depression was sized to provide a total storage volume equal to the projected increase in stormwater volume for both new homes during a the 10-year storm. Our analysis demonstrated an increase of about 371 cft across the parcel for this storm event. The proposed depression was sized to accommodate the increase and provides approximately 447 cft of storage. All proposed drainage watershed analysis computations can be found in **Appendix A**. The drainage area map is in **Appendix B**.

4. Analysis of Results

Hydraulic conditions related to storm drainage were evaluated for both proposed and existing conditions using Hydraflow Hydrographs (version 2020) computer modeling software to determine peak discharge rates of runoff leaving the developed site. Based on modeling from existing conditions, one discharge location was identified as a point of interest for assessing downstream effects. The following table contains the data generated from the Hydraflow software:

TABLE 1				
Peak Volume of Stormwater Discharge				
Runoff Volume				
Watershed Area	Storm Event (Year)	Pre-developed Condition (ft³)	Post-developed Condition (ft³)	Net Change Rate of Runoff (ft³)
DP#1 – Southern PL	10	1,009	1,380	+371

As indicated by the analysis results, the stormwater runoff volume is expected to increase because of the proposed development. The bioswale depression proposed will store the overall stormwater volume increase. Existing and Proposed Hydrographs are included in **Appendix A** of this report.

5. Conclusion

It is our opinion that the proposed stormwater management design as presented herein and on the accompanying site plans, will not pose any significant detrimental impacts to the environment surrounding the site.

APPENDIX A
Watershed Computations
(Pre & Post-Development Conditions)

Hydrograph Report

Hyd. No. 1

Existing

Hydrograph type	= Rational	Peak discharge	= 0.800 cfs
Storm frequency	= 10 yrs	Time to peak	= 21 min
Time interval	= 1 min	Hyd. volume	= 1,009 cuft
Drainage area	= 0.790 ac	Runoff coeff.	= 0.29*
Intensity	= 3.494 in/hr	Tc by User	= 21.00 min
IDF Curve	= SampleFHA.idf	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(0.250 x 0.60) + (0.330 x 0.15) + (0.210 x 0.15)] / 0.790



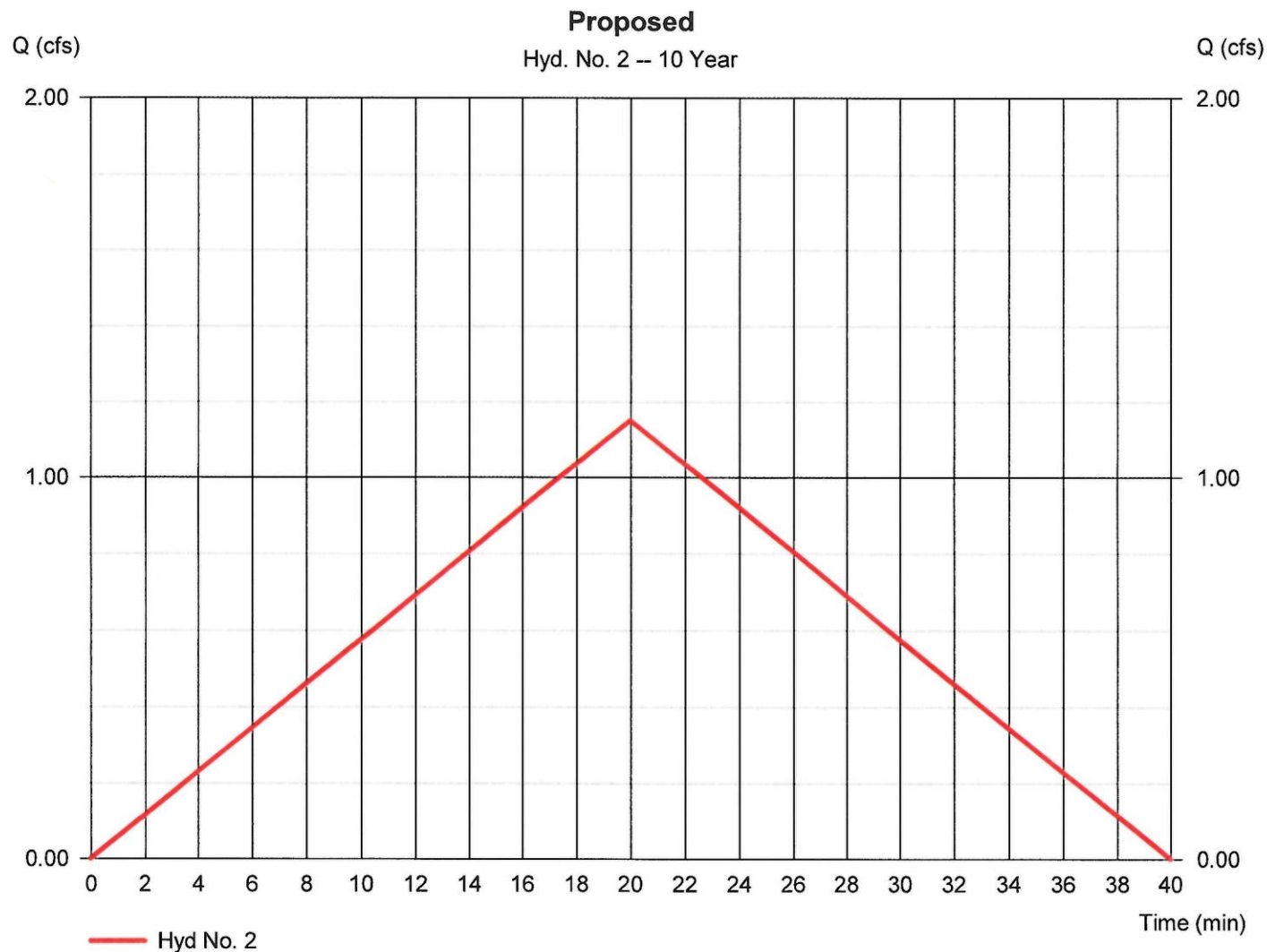
Hydrograph Report

Hyd. No. 2

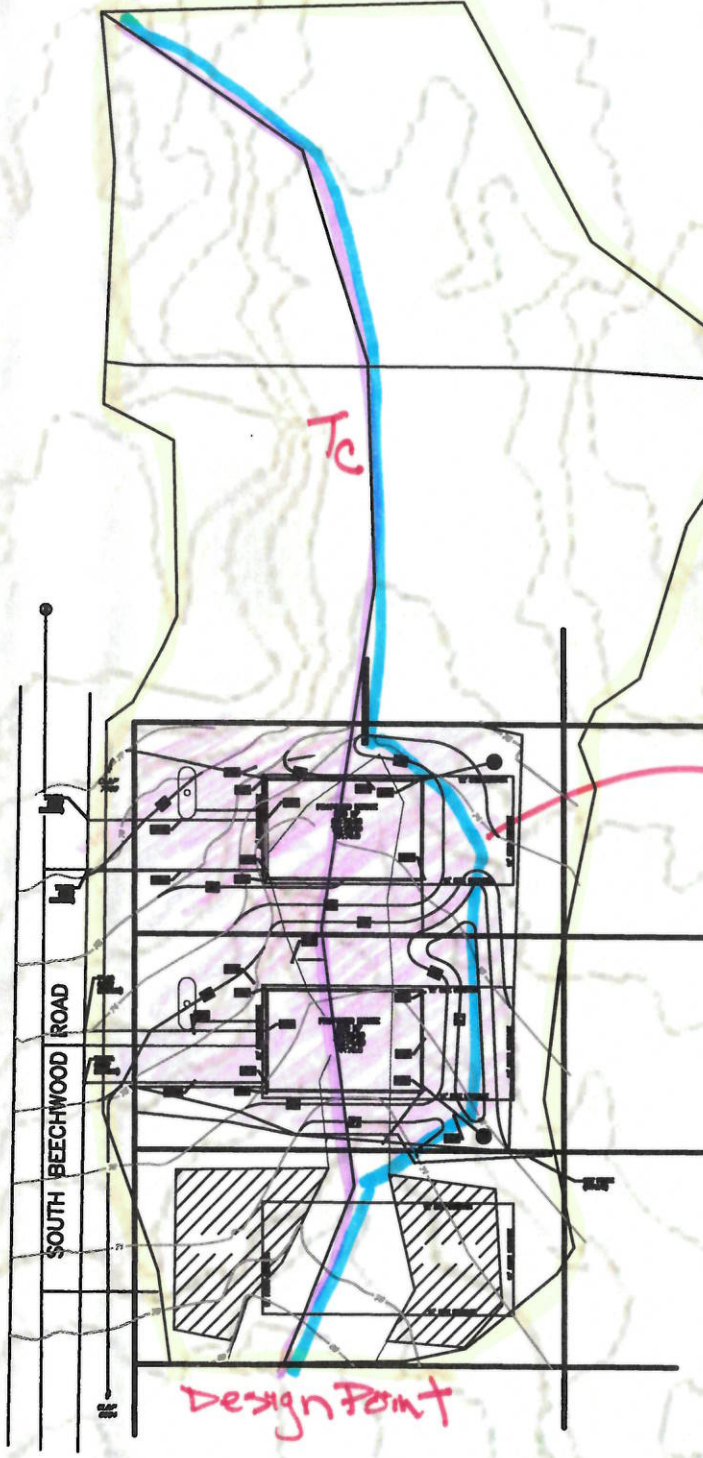
Proposed

Hydrograph type	= Rational	Peak discharge	= 1.150 cfs
Storm frequency	= 10 yrs	Time to peak	= 20 min
Time interval	= 1 min	Hyd. volume	= 1,380 cuft
Drainage area	= 0.800 ac	Runoff coeff.	= 0.4*
Intensity	= 3.595 in/hr	Tc by User	= 20.00 min
IDF Curve	= SampleFHA.idf	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = $[(0.250 \times 0.60) + (0.332 \times 0.15) + (0.192 \times 0.60) + (0.021 \times 0.15)] / 0.800$



APPENDIX B
Drainage Area



Area of change in Existing verses Proposed

Drainage Area

99, 101 & 103
South Beechwood Rd
East Lyme, CT
7/16/21 JPC
N.T.S.



Ian T. Cole

Registered Soil Scientist / Professional Wetland Scientist

6 Northwinds Drive

Ivoryton, CT 06442

[*Itcole@gmail.com*](mailto:Itcole@gmail.com)

860-514-5642

April 29, 2015

Robert D. Pfanner
J. Robert Pfanner & Associates P.C.
37 Grand Street
Niantic, CT 06357

RE: Wetland Delineation , #Lots 103, 101 & 99, South Beechwood Road, East Lyme, Connecticut

Dear Mr. Pfanner:

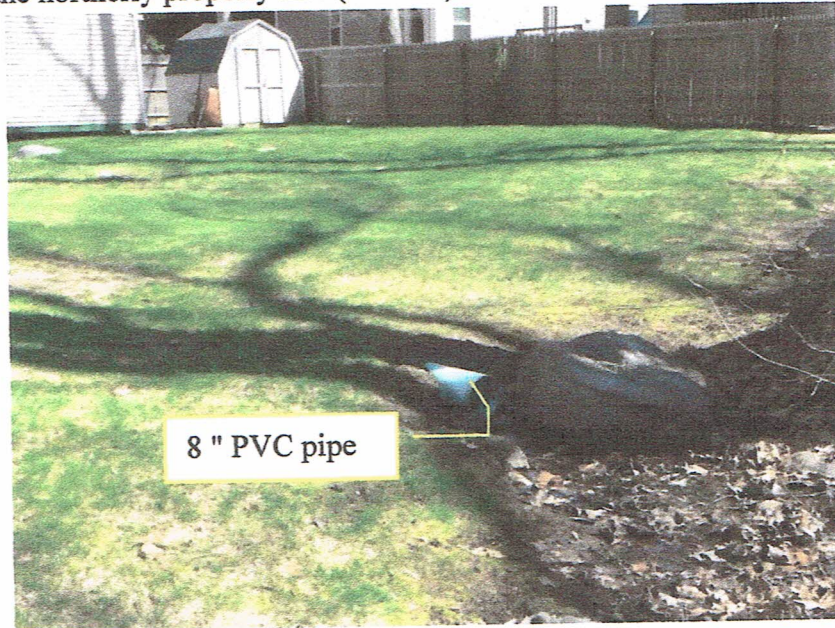
Wetland Delineation

I conducted a delineation of the wetlands present on the above referenced property in accordance with the standards of the Natural Resources Conservation Services (NRCS) National Cooperative Soil Survey and the definitions of inland wetlands and watercourses as found in the Connecticut General Statutes, Chapter 440, Sections 22a-36 through 22a-45 as amended. Wetlands, as defined by the Statute are those soil types designated as poorly drained, very poorly drained, floodplain or alluvial in accordance with the NRCS National Cooperative Soil Survey. Watercourses are defined as rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs, and all other bodies of water, natural or artificial, public or private, that are contained or flow through the state.

A site visit was completed on April 25, 2015 to delineate the on-site wetland and watercourse boundaries using an auger to examine the upper 20" of the soil profile. Those areas meeting the criteria noted above were marked in the field with consecutively numbered (WF#1 - WF#18) pink wetland delineation flagging. Random soil profiles were observed across the property to verify the presence or absence of regulated wetland soil types. In accordance's with the Town's Inland Wetlands and Watercourses Regulations for the Town of East Lyme, CT (April, 2011), I offer the following documentation of site specific soil information defining the boundaries of the wetland soil types on the subject property:

Existing Wetland Conditions

A jurisdictional red maple (*Acer rubrum*) forested wetland corridor bisects the subject property in a north to south direction (Photo 2). A source of hydrology partly comes from an 8" PVC pipe on the adjacent property that conveys flows and discharges onto the property at the northerly property line (Photo 1).

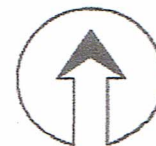


The wetland exhibits classic wooded swamp vegetation with red maple (*Acer rubrum*) dominating the forest overstory. The shrub stratum is dominated by spicebush (*Lindera benzoin*), winterberry (*Ilex verticillata*) with patches of multiflora rose (*Rosa multiflora*) and green briar (*Smilax spp.*).





The information depicted on this map is for planning purposes only. It is not adequate for legal boundary definition, regulatory interpretation, or parcel-level analyses.



1:480
1"=40'



3/31/2015 9:22:07 AM

Soils

The poorly drained soils within the wetland belong to the Ridgebury and Leicester soil series. Ridgebury and Leicester soils are found within drainageways and depressions on glacial till landscapes. Ridgebury and Leicester soils have a seasonal high water table at a depth of about 6 inches. Organic matter is relatively shallow in both of the soils discussed above. A typical soil profile along the wetland boundary consist of approximately 3-0 inches of intermediately decomposed organic material (Oi), followed by 0-5 inches of a thick dark topsoil horizon (A), underlain by 6-20 inches of a wet weakly developed grayish brown subsoil horizon (Bg) with few faint redoximorphic features (*Common medium distinct strong brown mottles, masses*) ranging from fine sandy loam to very fine sandy loam. This subsoil is underlain by a saturated fine sandy loam to loamy sand gray substratum (2Cg).

The remainder of the property is wooded (photo 2.) Based on field observations and information found in the Natural Resources Conservation Service Soil Survey, the upland soils on the property are mapped and classified as moderately well-drained stony Sutton upland soils. A high seasonal watertable can be a limiting factor for development in Sutton Soils.



Please do not hesitate to contact me at itcole@gmail.com or (860) 514-5642 if you have any questions or need any additional information.

Sincerely,



Ian T. Cole
Registered Professional Soil Scientist
Professional Wetland Scientist #2006

Attachments: Wetland Sketch



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions.
If completing by hand - please print and use the [pdf version](#).
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- CHOOSE ACTION TAKEN (see instructions for code): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (type name): EAST LYME
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (type name(s)): _____, _____
- LOCATION (click on hyperlinks for information): [USGS quad map name](#): NIANTIC or [quad number](#): 101
[subregional drainage basin number](#): 2000
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): MR. HOWARD HALE
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (type information): 99, 101, & 103 S. BEECHWOOD ROAD, EAST LYME
briefly describe the action/project/activity (check and type information): temporary permanent description: TWO PROPOSED HOUSE LOTS WITH WETLAND FILLING AND RESULTING WETLAND MITIGATION AREA.
- ACTIVITY PURPOSE CODE (see instructions for code): B
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 2, 10, 12
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, type acres or linear feet as indicated):
wetlands: 0.04 acres open water body: 0.00 acres stream: 0 linear feet
- UPLAND AREA ALTERED (type acres as indicated): 0.10 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.04 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

99, 101, & 103 SOUTH BEECHWOOD ROAD

SITE PLAN APPLICATION

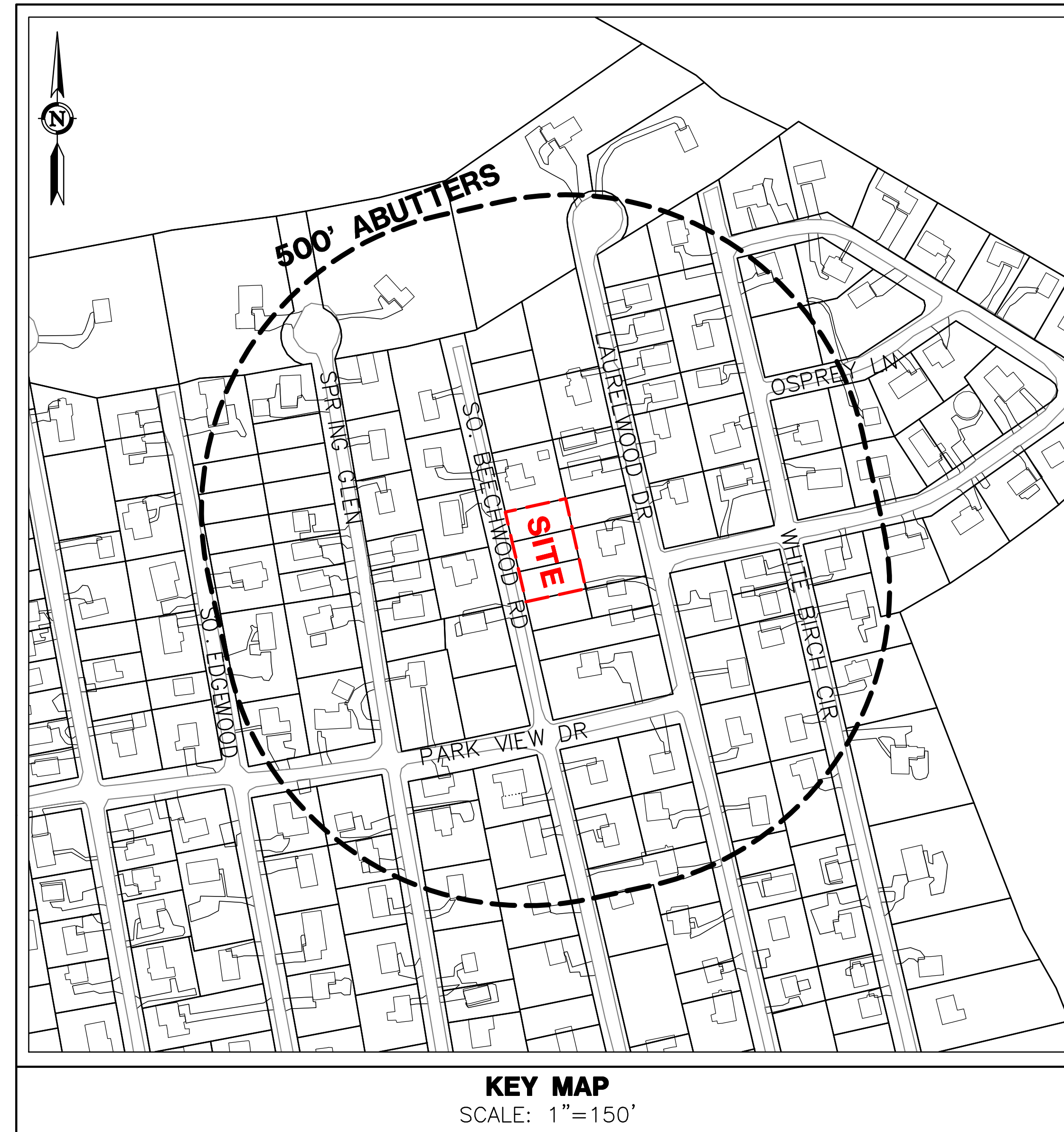
99, 101, & 103 SOUTH BEECHWOOD ROAD ~ EAST LYME ~ CT

MAP, BLOCK, LOT #07.14-41, 42, & 43

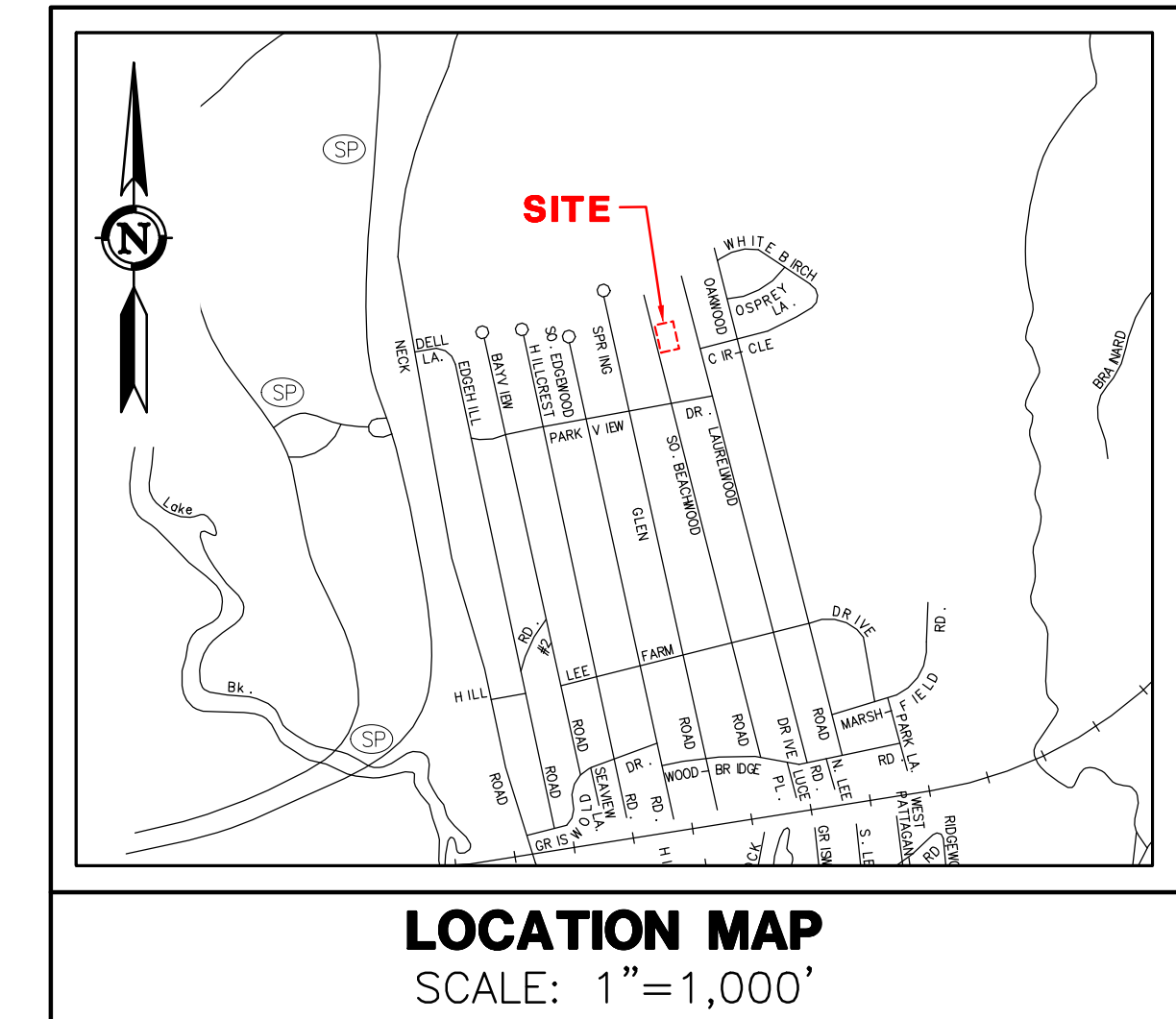
N/F 500' ABUTTERS

OWNER	PARCEL ID
ABATE DANYLE R	07.14 29
ALLEN ELIZABETH	07.14 15
BAKER KEITH W	07.14 23
BARTELT MICHAEL C	07.10 11
BRADBURY SUSAN A	07.10 2
BRIASCO MICHELLE E & ADAM T	07.14 61
CALABRESE JOSEPH & JESSICA F	07.14 53
CARLONE NICOLE A ETAL	07.14 26
CHEN YA-FEN	07.14 72
CHIASSON DAVID C & AMANDA S	07.14 19
COHEN BRUCE &	07.14 108
CONCANNON PAUL E & KAREN P	07.10 10-1
CORBETT JEFFREY W &	07.14 34
CORMIER MARIA Z & TOBY	07.14 28
COSTA JOSEPH A	07.14 31
COSTA JOSEPH A & ROSEMARY G	07.14 31-1
COVINO ERNEST & PATSY J	07.14 99
DALENTA ALICE G	07.10 3
DANEAULT JANICE L	07.14 113
DEFRONZO BARBARA A & FRANK E	07.14 57
DELUCCO JOANNE TR	07.14 87
DOW WAYNE G	07.14 103
DUDEK BERNARD	07.14 32
DUDEK BERNARD	07.14 33
DUNN ELIZABETH M	07.14 59
DUTHRIE MICHELE	07.14 37
ESZTERHAI EVA M	07.14 30
FABRIZI ROSEMARIE L	07.14 81
FALONE MARINA	07.10 5
FARRELL MARGARITA R &	07.14 74
FOGARTY MICHAEL S	07.14 18
GAL DEBRA M & LAWRENCE B	07.14 14
GAUNT ROBERT R	07.14 112
GIAMBALVO VINCENZO &	07.14 85
GOFF ROBERT & KELI C	07.14 62
GOLDBLATT MATTHEW D	07.14 60
GREENE ANDREA & ROBERT A	07.14 51
GREENE ANDREA F	07.14 49
HABITAT FOR HUMANITY OF	07.14 41
HABITAT FOR HUMANITY OF	07.14 42
HABITAT FOR HUMANITY OF	07.14 43
HALE HOWARD W &	07.14 35
HOLSAPPLE JEFFREY	07.14 89
JANTY STEPHEN C & DENEEN L	07.14 12
JANTY STEPHEN C & DENEEN L	07.14 13
KEEGAN MELISSA A	07.14 98
KOMAROW BRUCE E & STACY L	07.14 36
KONERU SREERAM	07.14 88
LAFOUNTAIN NICOLE M	07.14 80
LAROSA JOSEPH & JOAN A	07.14 95
LATOURETTE ROBERT A &	07.14 96

OWNER	PARCEL ID
LAUGHLIN LAUREN N	07.14 10
LAURIA DOMINICK M	07.14 111
LIAPPE NORMA H	07.14 55
LIS JOSEPH S	07.10 12
LIS JOSEPH S & BARBARA J	07.10 13
MACLELLAN LORRAINE	07.14 106
MALCOM CHRISTINE M	07.10 6
MARTENS JOHN C &	07.14 22
MASON DANIEL & KELLY	07.14 38
MCCANN LOUISE M	07.14 86
MCFARLAND STEVEN L	07.14 46
MESKERS PATRICIA	07.14 73
MONTLEON THERESA	07.10 7
OLLHOFF STEVEN D &	07.10 1
OPPERT LEE R & DENISE L	07.14 58
PALMER MARLENA &	07.14 16
PARRETTE SHELLI M & RANDIL	07.10 18
PASSACANTANDO MARIA	07.14 20
PAUL LEONARD	07.14 107
PAZDAR JOANN TRUSTEE	07.14 27
PETERSON DENNIS R &	07.14 45
PITTMAN CAROLYN G	07.14 84
PLENZIO DEAN A	07.14 52
RINALDI AMANDA	07.14 70
ROBERTS GERALDINE A TR &	07.10 4
ROBERTS GERALDINE A TR &	07.14 39
ROBINSON AMY L	07.14 83
ROBINSON CONSTANCE	07.14 54
RYBA PETER H & MICHAEL H	07.14 104
SAID MARIANNA	07.14 47
SAID MARIANNA	07.14 44
SANZ-ROVIRA DAVID N &	07.10 16
SCHNEIDER CHRISTINE C	07.10 10
SCHREIBER TANNA C	07.10 9
SHEA MATTHEW J	07.14 50
SILVA EDUARDO M &	07.14 97
SMALLMAN WILLIAM J &	07.14 98-1
SOUTH SHORE HOLDING LLC	07.14 31-2
SPIGARELLI JOANNE TR	07.14 48
TERPSTRA JUDITH	07.14 17
TKACZUK ELIZABETH	07.14 63
VANASSE DANIEL J & KATIE L	07.14 21
VANCOUR ROBERT E	07.14 40
WALTERS DAVID L &	07.14 105
WELLER DONALD B & SUZAN S	07.14 71
WHAPLES CYNTHIA D & MICHAEL P	07.14 25
WHITTAKER BENJAMIN P &	07.14 11
WOSCZYNA JOHN A	07.10 8
WOSCZYNA NOEL K &	07.10 14
ZAGAJA JOSEPH J & ETAL	07.14 82



KEY MAP
SCALE: 1"=150'



LOCATION MAP
SCALE: 1"=1,000'

SHEET INDEX

ITEM	DESCRIPTION	COUNT
C-T1	COVER SHEET	1 of 6
C-GD1	SITE LAYOUT & GRADING PLAN	2 of 6
C-UT1	UTILITY PLAN & EROSION CONTROL PLAN	3 of 6
C-ES2	EROSION & SEDIMENTATION NOTES & DETAILS	4 of 6
C-LS1	LANDSCAPE PLAN	5 of 6
C-D1	NOTES, DETAILS, & LEGEND	6 of 6

ZONING TABLE

ITEM	REQUIRED/ ALLOWED	PROPOSED - 101 SOUTH BEECHWOOD RD	PROPOSED - 103 SOUTH BEECHWOOD RD
LOT SIZE	10,000 SF	10,020.25 SF	4,940.65 SF*
LOT FRONTAGE	80'	100'	49.34'
FRONT SETBACK	30'	31'	31'
SIDE SETBACK	12'	13'	13'
REAR SETBACK	12'	33.17'	33.13'
BUILDING HEIGHT	30'	<30'	<30'
LOT COVERAGE	25%	8.4%	17.0%

NOTE:
* EXISTING CONDITION, NON-CONFORMING

**PRELIMINARY
NOT FOR CONSTRUCTION**
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

CIVIL ENGINEER &
LANDSCAPE ARCHITECT:



CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

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PROPERTY OWNER:
HABITAT FOR HUMANITY
OF EASTERN CT INC
377 BROAD STREET
NEW LONDON, CT 06320

APPLICANT:
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SOUTH WINDSOR, CT 06074
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PROJECT NO. 4469
DATE 7/16/21
DRAWN BY
CHECKED BY
SCALE

99, 101, & 103 SOUTH BEECHWOOD ROAD
ROAD SITE PLAN APPLICATION
99, 101, AND 103 SOUTH BEECHWOOD ROAD
EAST LYME, CONNECTICUT
MBLU # 07.14-41, 42, & 43

REVISIONS

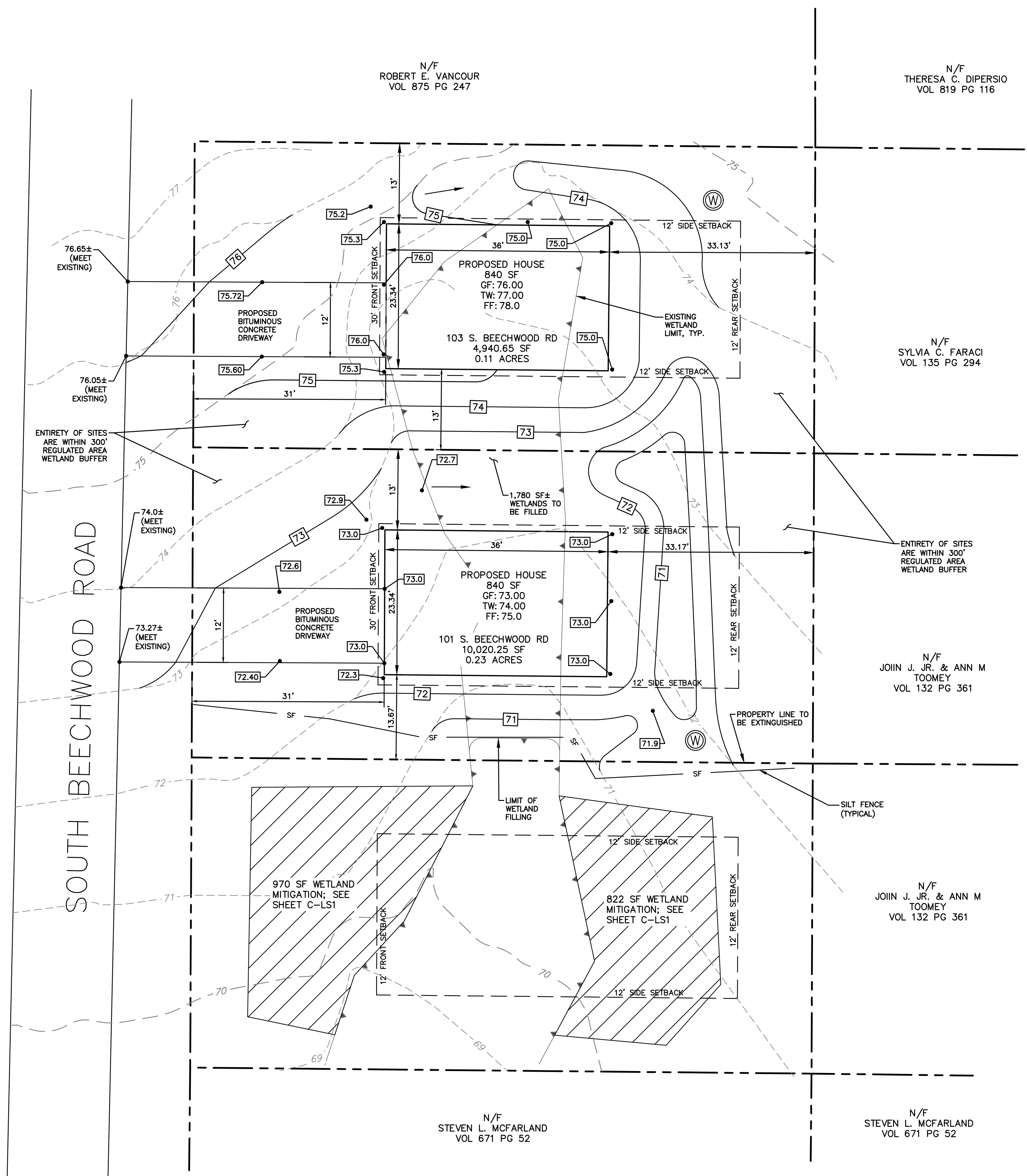
NO.	DATE	DESCRIPTION

TITLE

SHEET

C-T1

SHEET 1 OF 6



ZONING TABLE			
ZONE: R-10 RESIDENCE DISTRICT			
ITEM	REQUIRED/ ALLOWED	PROPOSED - 101 SOUTH BEECHWOOD RD	PROPOSED - 103 SOUTH BEECHWOOD RD
LOT SIZE	10,000 SF	10,020.25 SF	4,940.65 SF*
LOT FRONTAGE	80'	100'	49.34'*
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BUILDING HEIGHT	30'	<30'	<30'
LOT COVERAGE	25%	8.4%	17.0%

NOTE:
* EXISTING CONDITION, NON-CONFORMING

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY SURVEY, PROPERTY OF PRISCILLA A. TEITENBERG, 99, 101, 103 S. BEECHWOOD ROAD, NIANTIC, CONNECTICUT" DATED MAY 11, 2015 PREPARED BY J. ROBERT PFANNER & ASSOCIATES, P.C., CIVIL ENGINEERS & LAND SURVEYORS, 37 GRAND STREET, NIANTIC, CONNECTICUT, 06357

SITE LAYOUT PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

GRADING PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

PROPERTY OWNER:
HABITAT FOR HUMANITY
OF EASTERN CT INC
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NEW LONDON, CT 06320

APPLICANT:
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T: 860-436-4481



SITE LAYOUT & GRADING PLAN

SCALE: 1" = 10'

SHEET
C-GD1
SHEET 2 OF 6

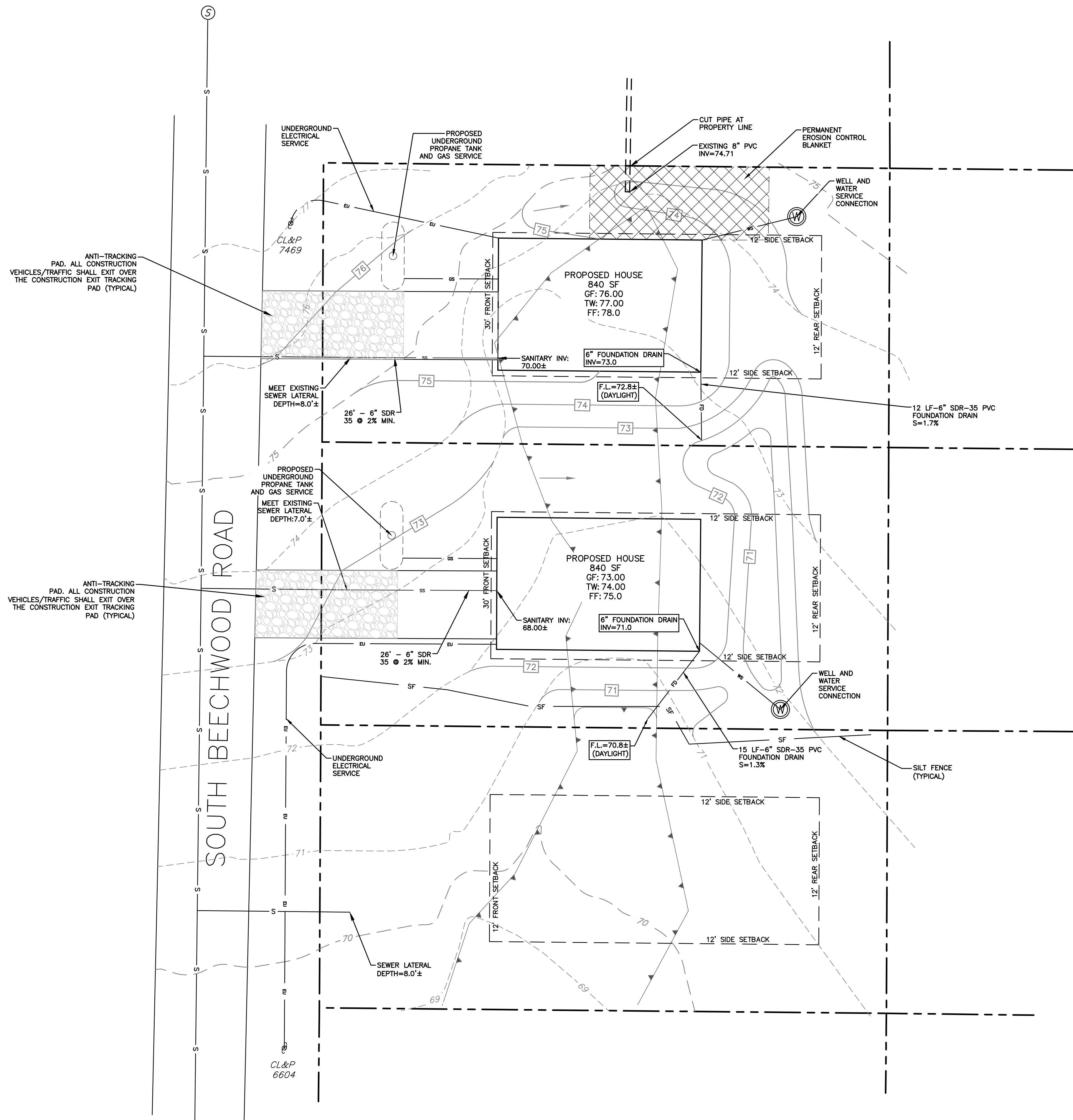
NO. DATE REVISIONS

99, 101, & 103 SOUTH BEECHWOOD ROAD SITE PLAN APPLICATION
99, 101, AND 103 SOUTH BEECHWOOD ROAD
EAST LYME, CONNECTICUT
MBLU # 07-14-41, 42, & 43

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design professionals
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 THIS PLAN REFERS TO THE FOLLOWING:
 1. PLAN ENTITLED "PROPERTY SURVEY, PROPERTY OF PRISCILLA A. TEITENBERG, 99, 101, 103 S. BEECHWOOD ROAD, NANTIC, CONNECTICUT" DATED MAY 11, 2015 PREPARED BY J. ROBERT PFANNER & ASSOCIATES, P.C. CIVIL ENGINEERS & LAND SURVEYORS, 37 GRAND STREET, NANTIC, CONNECTICUT, 06357

UTILITY PLAN NOTES:
 1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
 2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY
 3. REFER TO NOTES SHEET FOR UTILITY NOTES

DRAINAGE PLAN NOTES:
 1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
 2. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY
 3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES



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PREPARED FOR:
 Mr. Howard Hale
 21 Dawn Drive
 South Windsor, CT 06074
 T: 860-436-4481

PROJECT NO:
 4649
 DATE:
 7/6/21
 DRAWN BY:
 CHM
 CHECKED BY:
 SPC

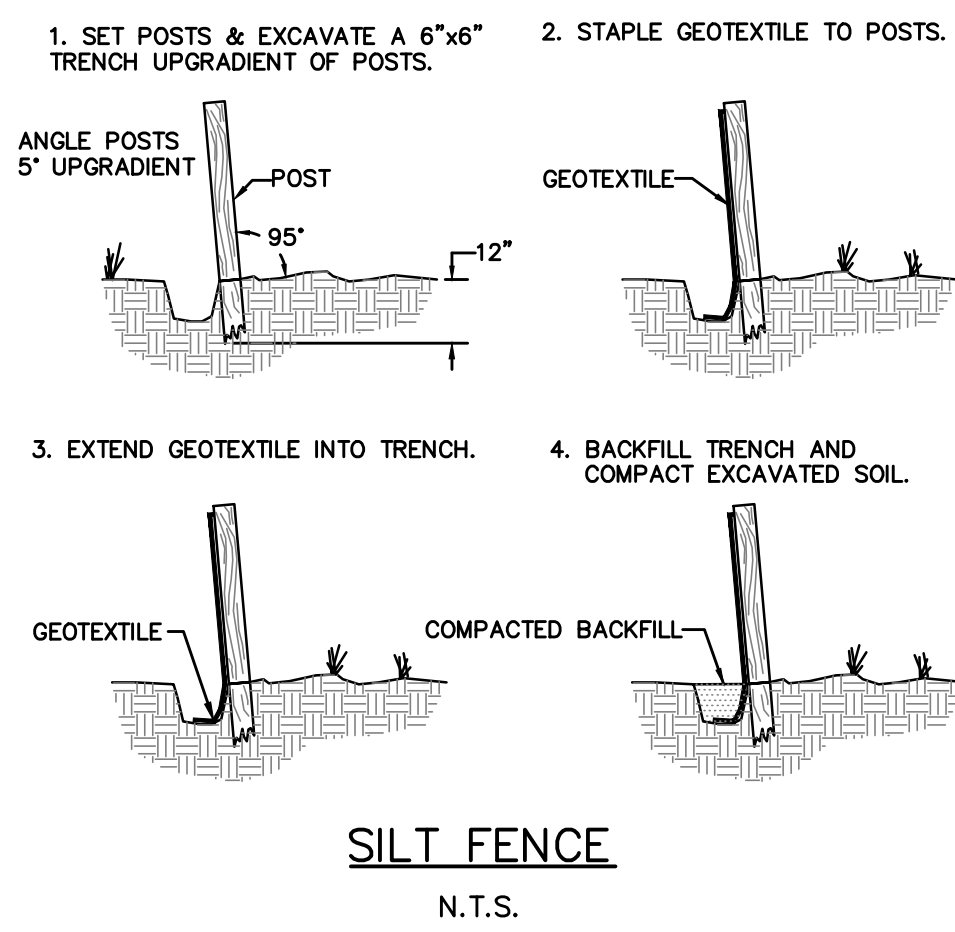
99, 101, & 103 SOUTH BEECHWOOD ROAD SITE PLAN APPLICATION
 ROAD SITE PLAN APPLICATION
 99, 101, AND 103 SOUTH BEECHWOOD ROAD
 EAST LYME, CONNECTICUT
 MBLU # 07-14-41, 42, & 43

NO.	DATE	REVISIONS

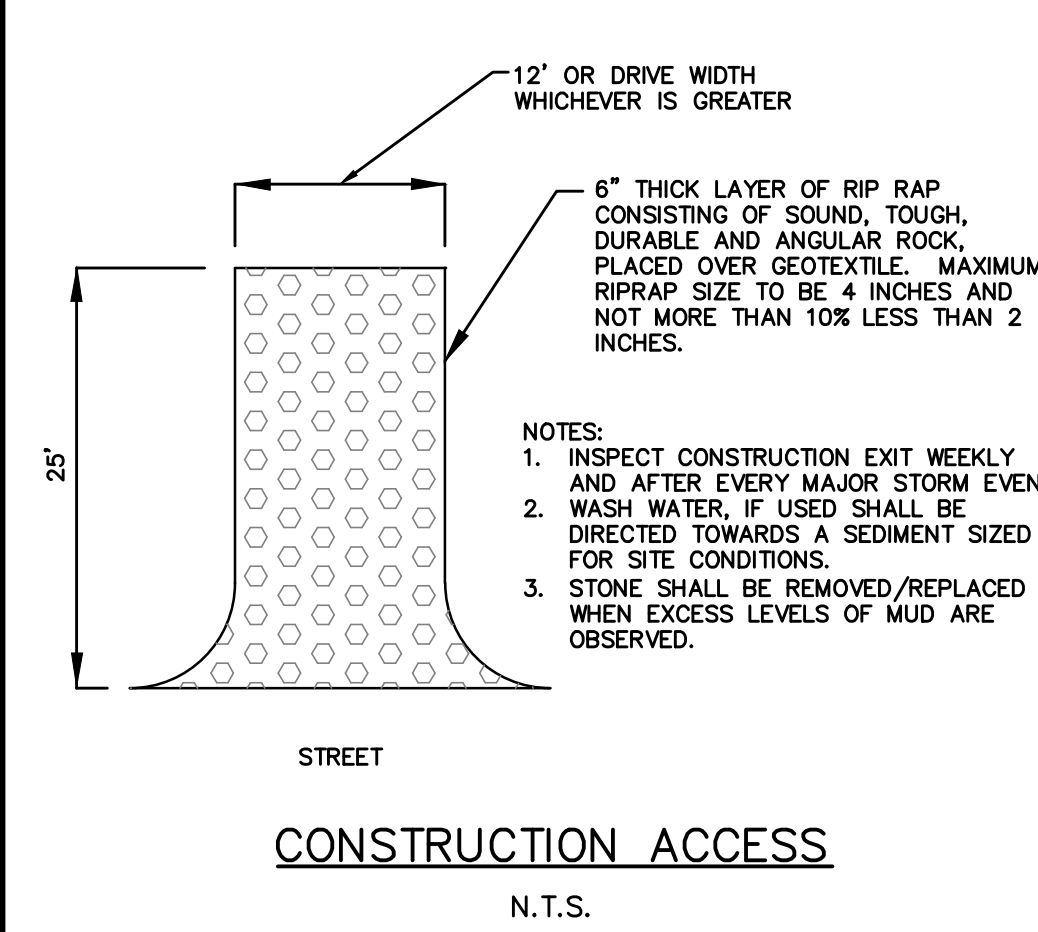
UTILITY & EROSION CONTROL PLAN

SCALE: 0 5' 10' 20'
 T = 10'

SHEET
C-UT1
 SHEET 3 OF 6



SILT FENCE
N.T.S.



CONSTRUCTION ACCESS
N.T.S.

CONSTRUCTION SEQUENCE:

- INSTALL CONSTRUCTION EXIT AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJACENT PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
- STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
- CONSTRUCT TEMPORARY SEDIMENT BASINS AND/OR TRAPS AS SHOWN ON THE PLANS.
- REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
- ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
- CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
- ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
- INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH INLET PROTECTION AS SHOWN IN THE DETAILS.
- INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
- AFTER STABILIZATION OF UPGRADIENT CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASINS AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
- MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
- ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, DETENTION BASIN, AND UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS AND ASSOCIATED RIPRAP SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

CATCHBASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR, ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

OUTLET STRUCTURE: SHALL BE INSPECTED ANNUALLY AND SUMP CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OF RAIN OR MORE) THE OUTLET STRUCTURE SHALL BE INSPECTED TO ENSURE PROTECTIVE SCREENS ARE CLEAR OF ANY DEBRIS OR OBSTRUCTING ITEMS.

UNDERGROUND DETENTION/INFILTRATION SYSTEM: SHALL BE INSPECTED BI-ANNUALLY. REFER TO MANUFACTURING MAINTENANCE REQUIREMENTS.

INFILTRATION BASINS, DETENTION BASINS, AND SEDIMENT FOREBAYS: SHALL BE INSPECTED BIANNUALLY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

WATER QUALITY BASIN: SHALL BE INSPECTED TWICE PER YEAR. ALL WOODY, NON LANDSCAPE GROWTH SHALL BE REMOVED. ANY EROSION/RILLS NOTED WITHIN THE BASIN SHALL BE REPAIRED TO PROVIDE STABILIZED SURFACES. ANY EROSION OR OTHER NOTED DEFICIENCIES THAT WOULD AFFECT THE OPERATION OF THE BASIN OR CAUSE RESOURCE AREA IMPACTS SHALL BE REMEDIATED IMMEDIATELY. THE BASIN SHALL BE MONITORED TO ASSURE PROPER DEWATERING/EMPTYING OF STORMWATER. BASIN SHALL COMPLETELY DEWATER/EMPTY WITH 72 HOURS AFTER A STORM EVENT. IF STANDING WATER IS OBSERVED AFTER THIS 72 HOUR PERIOD, THE BOTTOM OF BASIN SHALL BE EXCAVATED TO THE UPPER LAYER OF THE FILTER FABRIC/SUB-DRAIN, AND REPLACE WITH 4" OF LOAM AND SEED.

WATER QUALITY UNIT: UNIT SHALL BE INSPECTED POST-CONSTRUCTION, PRIOR TO BEING PUT INTO SERVICE. INSPECT EVERY SIX MONTHS FOR THE FIRST YEAR OF OPERATION TO DETERMINE THE OIL AND SEDIMENT ACCUMULATION RATE. IN SUBSEQUENT YEARS, INSPECTIONS CAN BE BASED ON FIRST-YEAR OBSERVATIONS OR LOCAL REQUIREMENTS. CLEANING IS RECOMMENDED ONCE THE SEDIMENT DEPTH REACHES 15% OF STORAGE CAPACITY, (GENERALLY TAKING ONE YEAR OR LONGER). REFER TO MANUFACTURING MAINTENANCE REQUIREMENTS.

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM (WEEKLY CONSTRUCTION REPORTS):

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER, IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GREATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.

EROSION & SEDIMENTATION CONTROL NARRATIVE

- PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
- AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZED WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WATER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A THICKER PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:
MULCH: RATE: 90# / 1000 S.F.
TEMPORARY SEEDING: RATE: PERENNIAL RYEGRASS 1.0# / 1000 S.F.

ESTIMATED CONSTRUCTION START DATE	FALL 2021
ESTIMATED COMPLETION DATE	SUMMER 2022

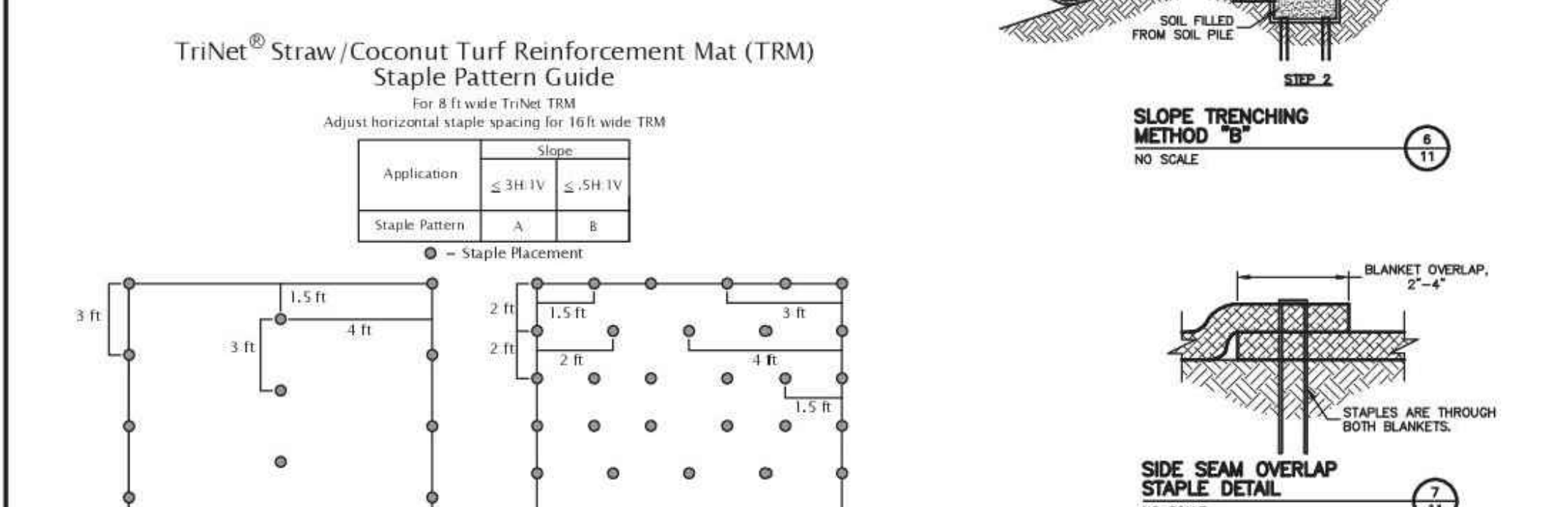
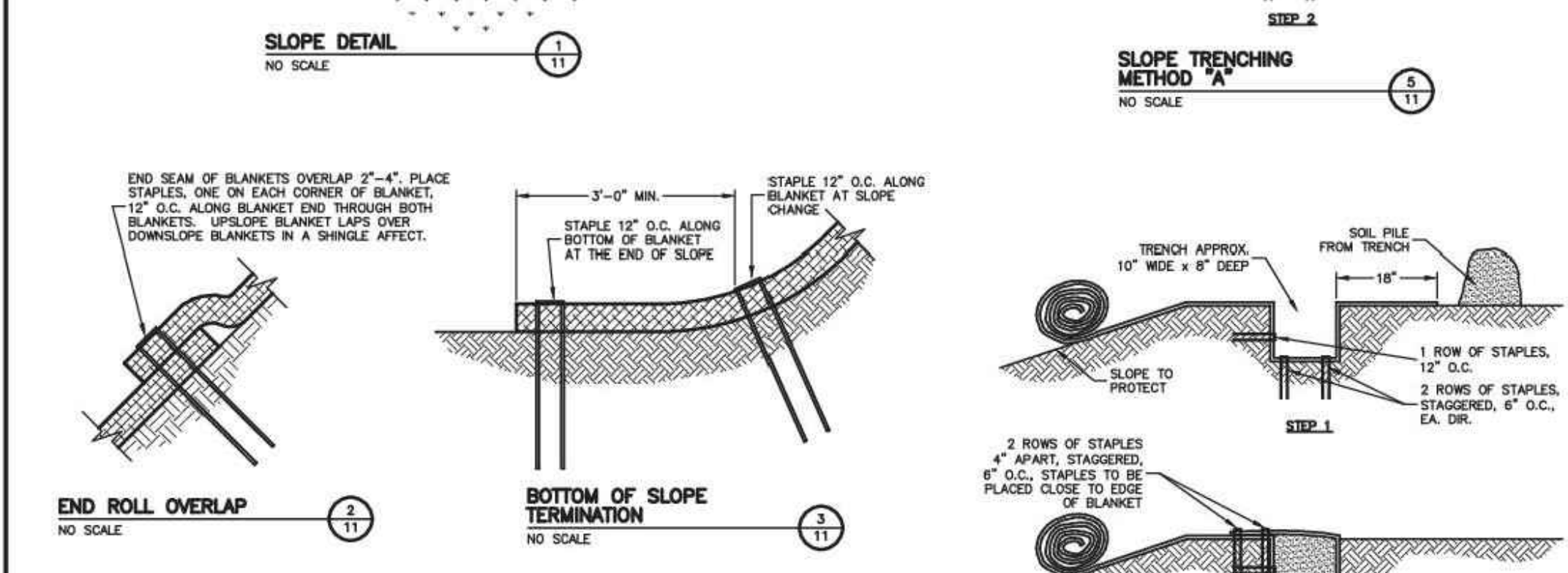
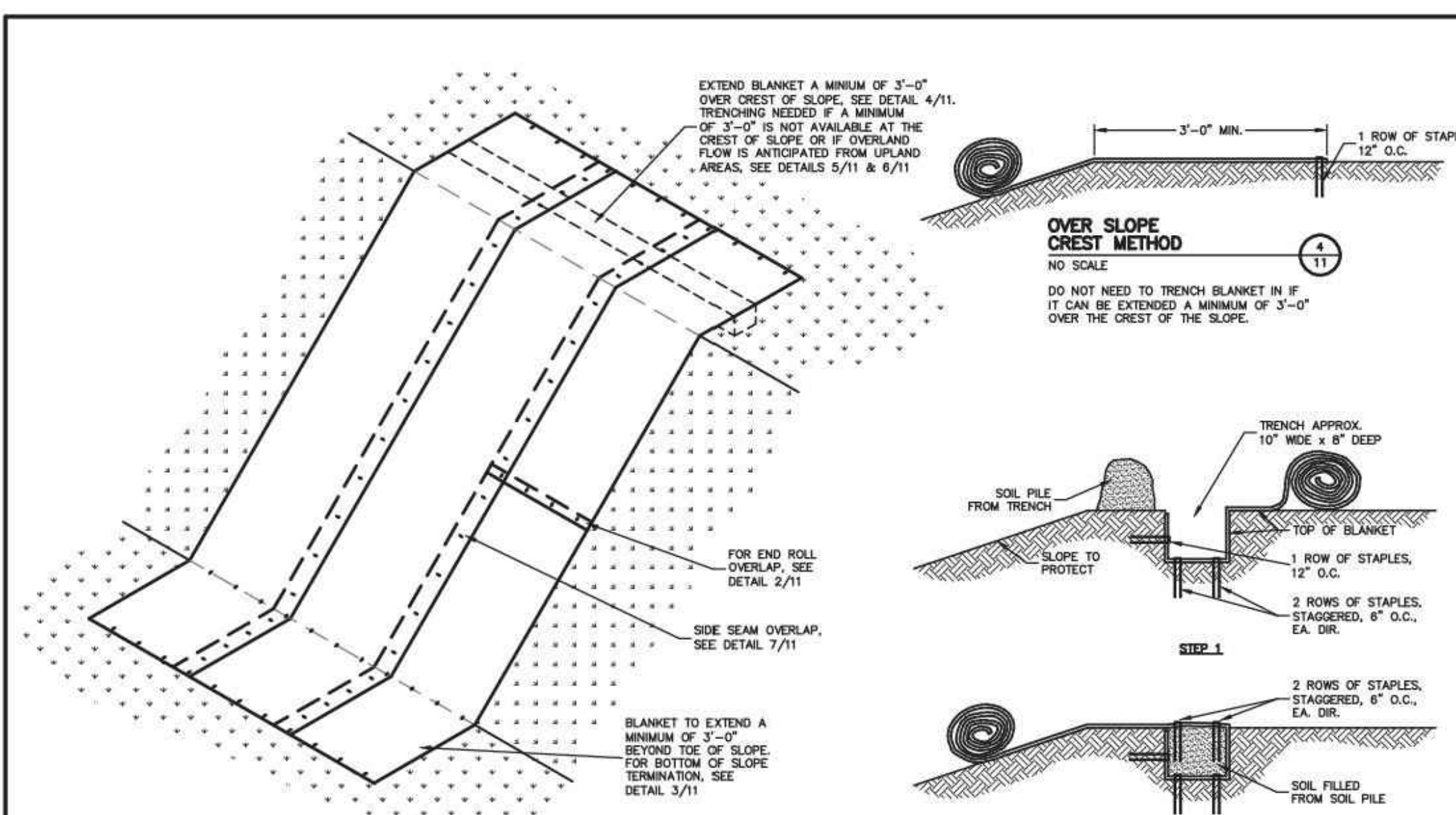
CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOILS PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE SOLUTIONS SHALL BE NONASPHALTIC, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

PROJECT CONTACT INFO:
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860-573-7641
(CELL NO.)

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377 BROAD STREET
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APPLICANT:
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T: 860-436-4481



TriNet® Straw/Coconut Turf Reinforcement Mat (TRM) Staple Pattern Guide
For 8 ft wide TriNet TRM
Adjust horizontal staple spacing for 16 ft wide TRM

Application	Staple Pattern A	Staple Pattern B
Slope	≤ 3H:1V	≤ 5H:1V

Notes:
1. For cohesive soil use a 6 in wire staple and for non cohesive soil use an 8 in wire staple.
2. For best results insert staples so heads are parallel to the flow of water.

AMERICAN EXCELSIOR COMPANY ARLINGTON, TEXAS	SHEET DESCRIPTION TriNet® STRAW/COCONUT SLOPE APPLICATION DETAIL	DATE 12/06/18	DRAWN BY
		SCALE NONE	PROJECT NO. SHEET NO.
			32

EROSION CONTROL BLANKET
N.T.S.

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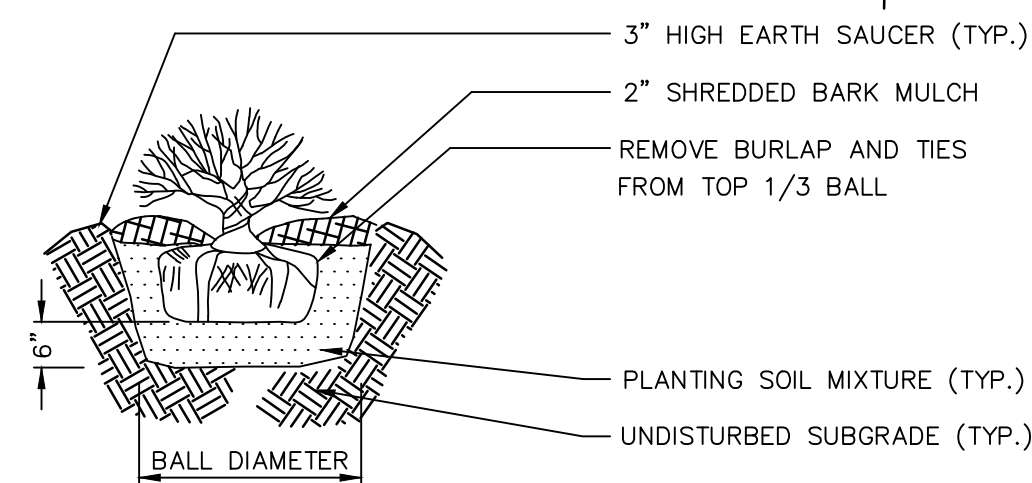
PROJECT NO. 4649
DATE 7/16/21
DRAWN BY CHM
CHECKED BY
SCALE NONE

99, 101, & 103 SOUTH BEECHWOOD ROAD SITE PLAN APPLICATION
99, 101, AND 103 SOUTH BEECHWOOD ROAD
EAST LYME, CONNECTICUT
MBLU # 07-14-41, 42, & 43

NO.	DATE	REVISIONS

EROSION & SEDIMENTATION DETAILS & NOTES

SHEET
C-ES2
SHEET 4 OF 6



1 SHRUB PLANTING DETAIL

Not to Scale

WETLAND MITIGATION PLANTING SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
LC	6	Lonicera canadensis	American Fly Honeyuckle	3 Gallon	Full and Dense
VC	18	Vaccinium corymbosum	Highbush Blueberry	3 Gallon	Full and Dense
VA	15	Viburnum acerfolium	Mapleleaf Viburnum	3 Gallon	Full and Dense
VL	8	Viburnum lantanoides	Hobblebush	3 Gallon	Full and Dense

LANDSCAPE NOTES:

- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL AREAS.
- ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH. WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARD OF NURSERY STOCK." PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY STOCK, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT Voids AND OPEN SPACES. BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR PLANT RECOVERY OF PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE.
- BARE-ROOT PLANTS: DUG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORM THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- CONTAINER STOCK SHALL NOT BE POT BOUND.
- ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED WITHOUT APPROVAL IN WRITING BY THE OWNER.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
 - BARK MULCH/COMPOST 10%-12%
 - COARSE SAND 40%-50%
 - TOPSOIL 45%-50%
- PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- LIME SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MAXIMUM OF 60% OXIDE. (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
- NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN PLANTING TO PREVENT WETTING AND DETERIORATION.
- DELAY MIXING FERTILIZER IF PLANTING TO FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED TO DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY REGULATORY AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS.
- MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSEYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING.
- INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL. THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLAN SHALL GOVERN.
- STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES; PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ALKALINE, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
 - REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
 - MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
 - PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
 - ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
 - MULCH TO BE APPLIED AS FOLLOWS:
 - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
 - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
 - APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
 - MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS:
- MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
- INSECTS AND DISEASES:
 - MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
 - INSECTS AND DISEASES:
 - RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
 - CORRECT DEFECTIVE WORK AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
 - WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
 - REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTEE SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
 - LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 - LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
 - LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
 - CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
 - ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
 - TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
 - THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

WETLAND MITIGATION PLANTING NOTES:

- LOCATE ALL EXISTING MULTIFLORA ROSE (ROSA MULTIFLORA) PLANTS IN MITIGATION AREAS. CUT PLANTS DOWN TO STUMPS AND APPLY A HERBICIDE WHICH IS EFFECTIVE AT KILLING MULTIFLORA ROSE ON EACH STUMP.
- INSTALL NATIVE SHRUBS AS NOTED ON PLAN. MODIFY PLANT LOCATIONS AS NEEDED ON SITE TO AVOID TO EXISTING TREES.

SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
 - BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
 - CHEWINGS RED FESCUE 30% OF MIXTURE
 - PERENNIAL RYEGRASS 20% OF MIXTURE
 - APPLICATION RATE: 4.50 LBS. PER 1000 S.F.
- SEEDING MIXTURE TYPE IV (SWALE BOTTOM):
 - PERENNIAL RYEGRASS 10% OF MIXTURE
 - CREeping RED FESCUE 10% OF MIXTURE
 - ALSKIE CLOVER 5% OF MIXTURE
 - RED TOP 5% OF MIXTURE
 - TURF-TYPE TALL FESCUE 70% OF MIXTURE
 - APPLICATION RATE: 5.00 LBS PER 1,000 S.F.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDING AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

PROPERTY OWNER:
HABITAT FOR HUMANITY
OF EASTERN CT INC
377 BROAD STREET
NEW LONDON, CT 06320

APPLICANT:
MR. HOWARD HALE
21 DAWN DRIVE
SOUTH WINDSOR, CT 06074
T: 860-436-4481

REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:
- PLAN ENTITLED "PROPERTY SURVEY, PROPERTY OF PRISCILLA A. TEITENBERG, 99, 101, 103 S. BEECHWOOD ROAD, NANTIC, CONNECTICUT" DATED MAY 11, 2015 PREPARED BY J. ROBERT PFANNER & ASSOCIATES, P.C., CIVIL ENGINEERS & LAND SURVEYORS, 37 GRAND STREET, NANTIC, CONNECTICUT, 06357

LANDSCAPE PLAN NOTES:

- CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY.
- REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

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PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Mr. Howard Hale
21 Dawn Drive
South Windsor, CT 06074
T: 860-436-4481

PROJECT NO. 4649
DATE 7/16/21
DRAWN BY CHM
CHECKED BY JSP
SCALE 1" = 10'

99, 101, & 103 SOUTH BEECHWOOD ROAD SITE PLAN APPLICATION
99, 101, AND 103 SOUTH BEECHWOOD ROAD
EAST LYME, CONNECTICUT
MBLU # 07-14-41, 42, & 43

NO.	DATE	REVISIONS

LANDSCAPE PLAN
SCALE: 0 5' 10' 20'
T = 10'

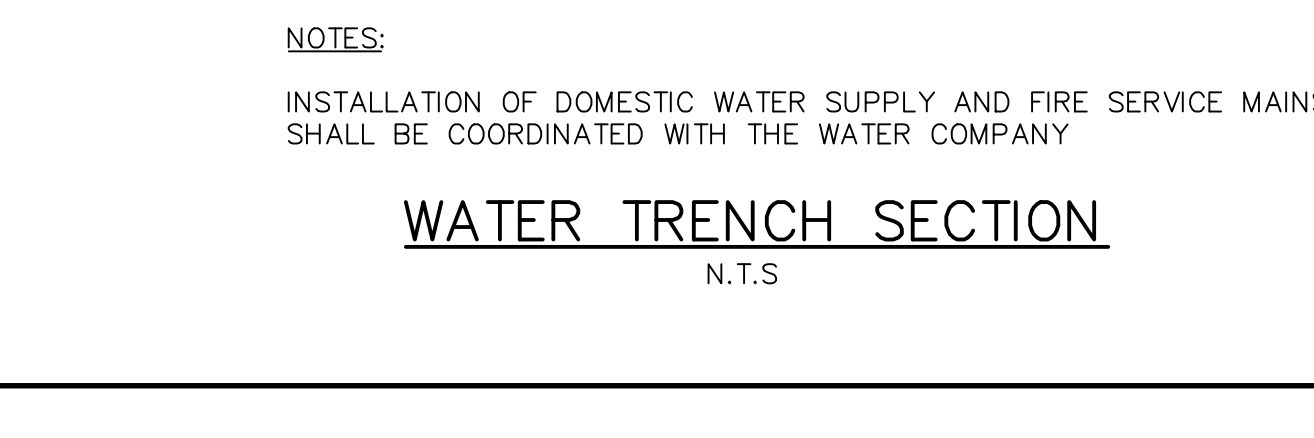
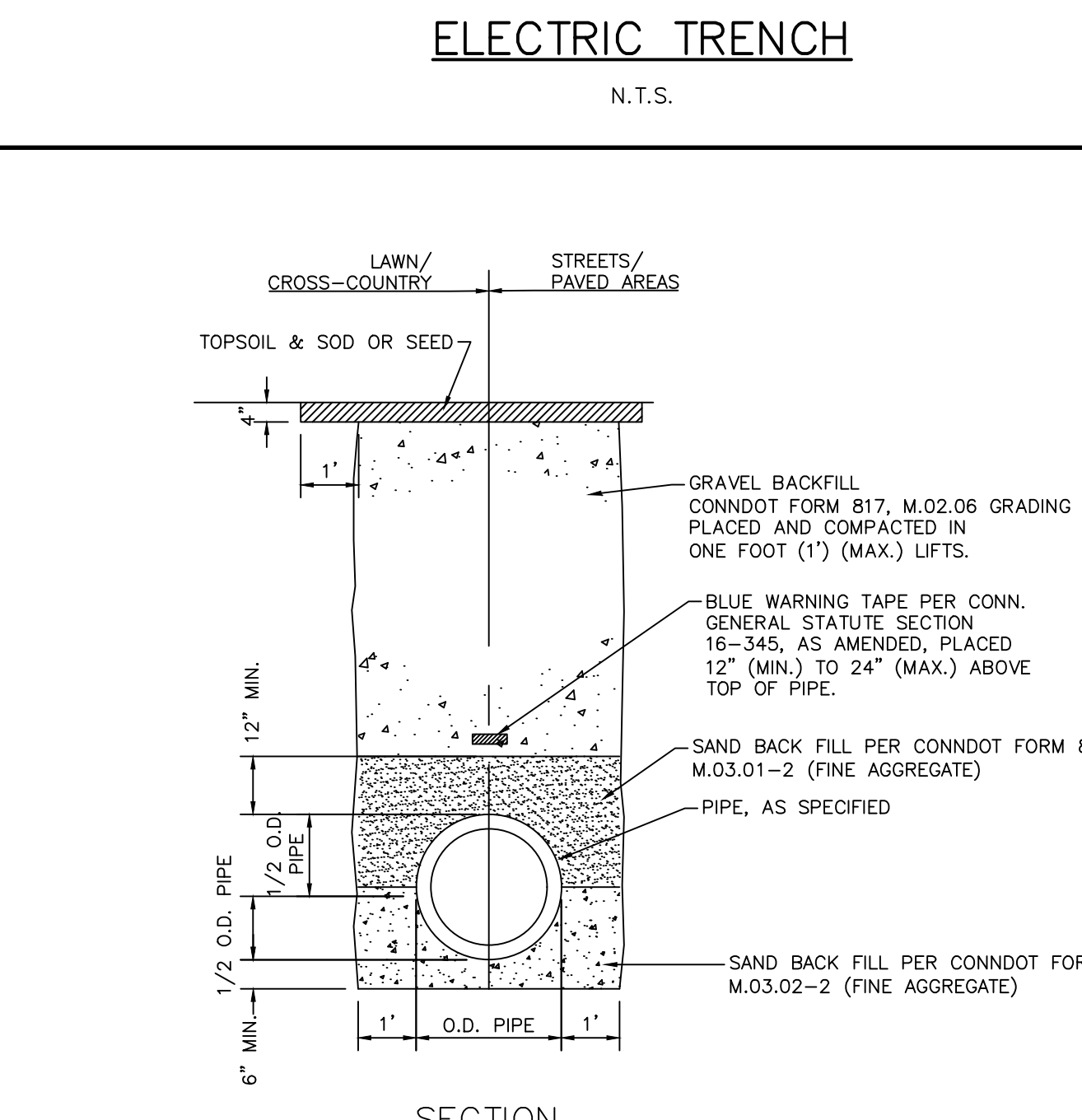
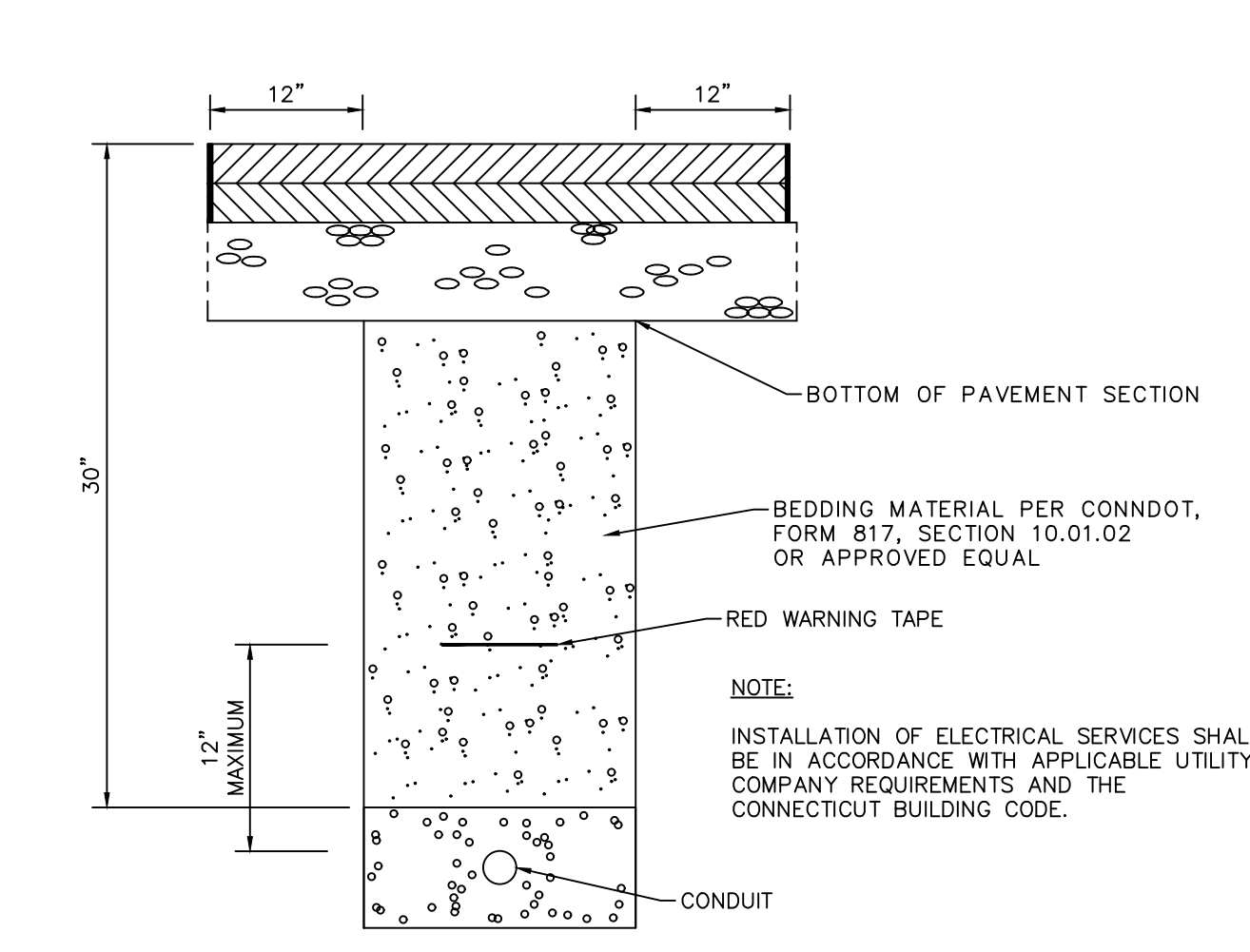
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SHEET 5 OF 6

CONSTRUCTION NOTES:

- At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- The contractor must comply, to the fullest extent, with the latest Occupational Safety and Health (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and approval conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, the local health department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- No work, including but not limited to tree clearing, beyond the limits of disturbance shown shown on the approved plans shall be completed without approval. No trees and/or vegetation outside the limits shown on the drawings shall be removed. Any items desired to be removed outside the limits shown must be approved in writing by the engineer and the local authorities having jurisdiction. All equipment and construction activities must be confined to the property, right-of-way, and designated work space.
- The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with

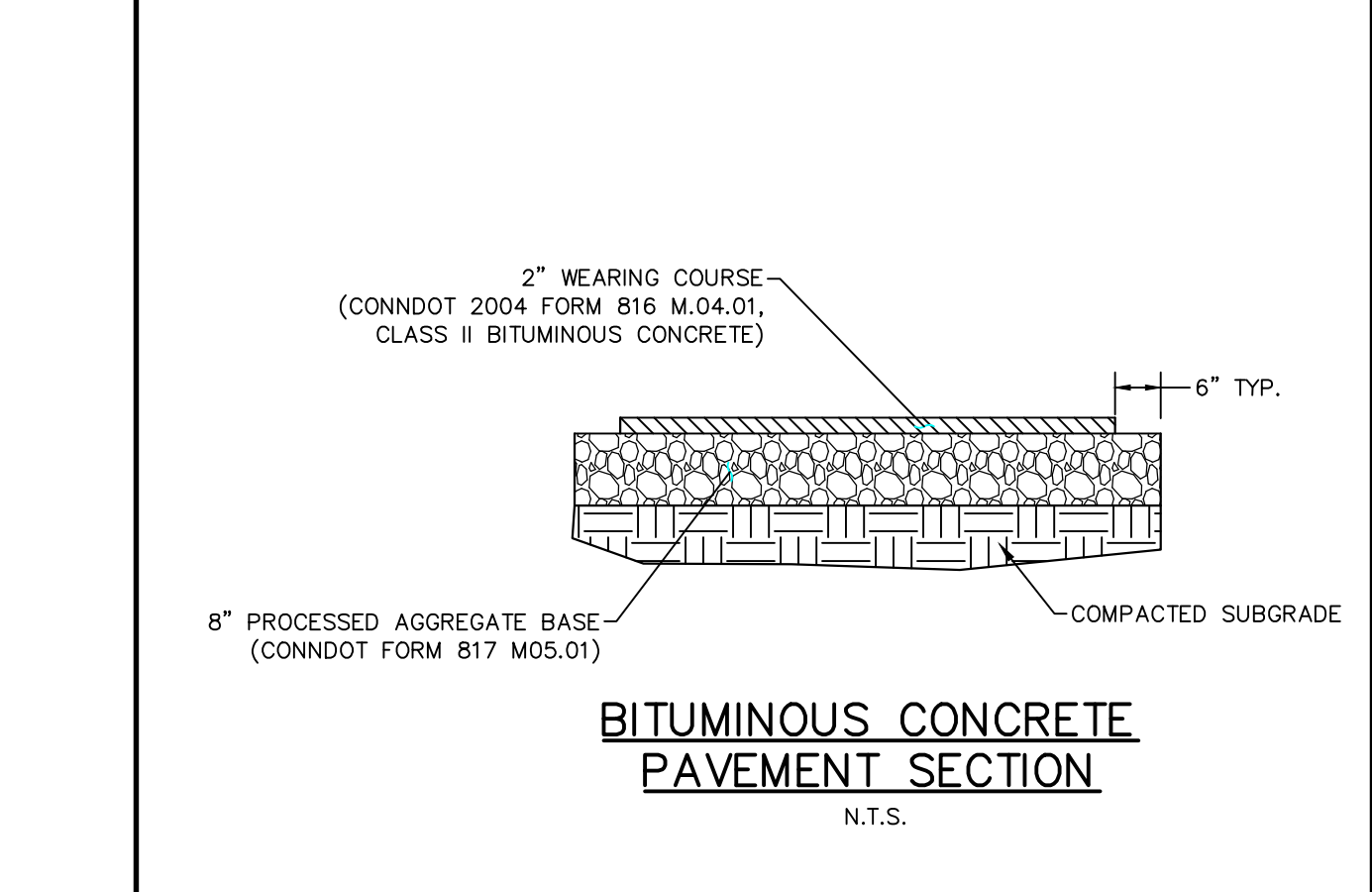
- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
- Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
- Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
- The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
- The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.
- All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
- The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
- All property monumentation shall be protected during construction. It is the contractor's sole responsibility to protect all property monumentation. If monumentation is disturbed, it is the contractor's responsibility to have a licensed land surveyor in the State of Connecticut replace the monumentation to town or state standards.
- All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
- All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
- The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
- Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
- The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
- Where retaining walls (whether or not they meet the jurisdictional definition) are shown on plans, elevations identified herein are for the exposed portion of the wall. Wall footings/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
- Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
 - Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
 - High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
 - Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
- Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
- Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
- Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
- Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
- Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and

- water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DI) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
- The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
 - Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
 - For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the facade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
 - Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
 - All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
 - Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
 - All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
 - The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
 - All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
 - The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.
 - All pumped discharge must utilize silt-soc or approved equal. Monitor to ensure dewatering activities do not cause erosion downstream. Stabilize area utilizing winter stabilization if appropriate for season of construction. Dewatering activities shall be completed in accordance with the 2002 CT Guidelines for Soil Erosion and Sediment Control.
- AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:**
- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
 - Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
 - Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
 - A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
 - Curb ramps- shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
 - The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
IP	BORING / TEST PIT LOCATION	IP
---	UNDERGROUND COMMUNICATION LINES	C
---	WATER MAIN	W
---	WATER SERVICE	WS
---	FIRE SERVICE LINE	F
---	NON-POTABLE WATER LINE	NPW
WV	WATER VALVE / FIXTURES	WV
▲	FIRE HYDRANT	▲
---	MAIN LIQUID FUEL LINE	LF
---	LIQUID FUEL SERVICE LINE	ufs
---	LIQUID FUEL LINE, ABANDONED	ufs
---	IRRIGATION LINES	I
☆ / ◀	POLE / GROUND MOUNTED LIGHT	☆ / ◀
---	GAS MAIN	G
---	GAS SERVICE LINE	gs
---	ELECTRICAL LINES, OVERHEAD	EO
---	ELECTRICAL LINES, UNDERGROUND	EU
---	UTILITY POLE	UP
---	PROPERTY LINE	---
---	EASEMENT LINE	---
○	IRON PIPE	○
●	IRON ROD	●
■	MONUMENT	■
---	GUARD RAIL	---
---	SILT FENCE	SF
---	4" DOUBLE SOLID YELLOW LINE	DSYL
---	4" SINGLE SOLID WHITE LINE	SSWL
---	BIT. CONC. LIP CURB	BCLC
---	PRECAST CONCRETE CURB	PCC
---	SANITARY SEWER MAIN	S
---	SANITARY SEWER SERVICE LINE	SS
⊙	SANITARY SEWER MANHOLE	⊙
---	STORM DRAIN PIPE	---
---	ROOF LEADER	RL
---	UNDERDRAIN	UD
⊙	STORM DRAIN MANHOLE	⊙
⊠	CURB INLET	⊠
⊠	CATCH BASIN	⊠
⊙	YARD DRAIN	⊙
---	CONTOUR	95
X 61.95	SPOT ELEVATION	195
---	RAMP	R
---	LANDSCAPE AREA	LSA



PROPERTY OWNER:
DCK LEASING COMPANY, LLC
6 PPG PLACE, SUITE 700
PITTSBURGH, PA 15222

APPLICANT:
SCANNELL PROPERTIES #405, LLC
8801 RIVER CROSSING BLVD.
SUITE 300
INDIANAPOLIS, IN 46240
763-331-8853

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PREPARED FOR:
Mr. Howard Hale
21 Dawn Drive
South Windsor, CT 06074
T: 860-436-4481

PROJECT NO. 4649
DATE 7/16/21
SCALE AS SHOWN
DRAWN BY
CHECKED BY
DATE

99, 101, & 103 SOUTH BEECHWOOD ROAD SITE PLAN APPLICATION
99, 101, AND 103 SOUTH BEECHWOOD ROAD
EAST LYME, CONNECTICUT
MBLU # 07-14-41, 42, & 43

NO.	DATE	REVISIONS

NOTES, LEGEND, & DETAILS

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TOWN OF EAST LYME
INLAND WETLANDS AGENCY
Notice of Public Hearing

The East Lyme Inland Wetlands Agency will hold a Public Hearing on August 9, 2021, at 7:00 p.m., at the East Lyme Town Hall, 108 Pennsylvania Avenue, Niantic, Connecticut, to consider the following:

1. Application of Howard W Hale, Applicant, Habitat for Humanity, Owner, to conduct regulated activities, including but not limited to construction of two new proposed single-family dwellings and associated appurtenances at property identified in the application as 99, 101, and 103 S Beechwood Road, East Lyme Assessor's Map 07.14, Lots 43, 42 and 41.

A copy of the proposal is available in the Land Use offices.

Gary Goeschel, Inland Wetlands Agent

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Department of Planning &
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*Gary A. Goeschel II, Director of Planning /
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July 15, 2021

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Please publish the following notice on July 28 and August 5, 2021

TOWN OF EAST LYME

INLAND WETLANDS AGENCY

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Gary Goeschel, Inland Wetlands Agent

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EAST LYME TOWN CLERK