

Town of

P.O. Drawer 519
Zoning Commission



East Lyme

108 Pennsylvania Ave
Niantic, Connecticut 06357
Phone: (860) 691-4114
Fax: (860) 860-691-0351

January 4, 2021

Account #D20607

Advertising Department
The Day Publishing Co.
Eugene O'Neill Drive
New London, CT 06320

Please publish the following notice on January 9, and January 17, 2021

TOWN OF EAST LYME

FILED

ZONING COMMISSION

Notice of Public Hearing

DEC 31 2020 AT 1:30 AM/PM

Karen Mulvan
EAST LYME TOWN CLERK

The East Lyme Zoning Commission will hold a Public Hearing on January 21, 2021, at 7:30 p.m., via Zoom virtual meeting, (meeting instructions below) to consider the following:

1. Application of Theodore A. Harris, Esq., Agent for 159 Boston Post Road, LLC, Owner, for a special permit for Mixed Use (CA) pursuant to Section 8.2.2. and Section 25 at property located at 159 Boston Post Road, East Lyme Assessor's Map 31.1 Lot 32.
2. Application of Jonathan Tunsy, Senior Landscape Architect, todesign, for Town of East Lyme/Miracle League for the renovation of an existing play area and addition of a new bathroom/storage building at 171 Boston Post Road, subject to Section 5, 8, 24 and 25 of the East Lyme Zoning Regulations.

Join Zoom Meeting

<https://us02web.zoom.us/j/88916910946?pwd=U1NyUVZVQ0s1bm5lRUdJdVlyK1Y1UT09>

Meeting ID: 889 1691 0946 Passcode: 732068

A copy of the proposed Site Plan Approval and Zone Change is available on the East Lyme Town Website for Review and in the East Lyme Land Use Office.

Terence Donovan, Secretary



47 Eugene O'Neill Drive
New London, CT 06320
860-442-2200
www.theday.com

Classified Advertising Proof

Order Number: d00883207

EAST LYME ZONING BOARD OF APPEALS
PO BOX 519
NIANTIC, CT 06357
860-691-4114

Title: The Day | **Class:** Public Notices 010
Start date: 1/9/2021 | **Stop date:** 1/17/2021 |
Insertions: 2 | **Lines:** 0 ag

Title: Day Website | **Class:** Public Notices 010
Start date: 1/9/2021 | **Stop date:** 1/17/2021 |
Insertions: 2 | **Lines:** 0 ag

Title: Digital-Legal | **Class:** Public Notices 010
Start date: 1/9/2021 | **Stop date:** 1/9/2021 |
Insertions: 1 | **Lines:** 0 ag

A preview of your ad will appear between the two solid lines.

883207

**TOWN OF EAST LYME
ZONING COMMISSION
Notice of Public Hearing**

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Meeting ID: 889 1691 0946 Passcode: 732068

A copy of the proposed Site Plan Approval and Zone Change is available on the East Lyme Town Website for Review and in the East Lyme Land Use Office.

Terence Donovan, Secretary

Total Order Price: \$574.40

Please call your ad representative by 3PM today with any ad changes.

Salesperson: Matt Suraci | **Printed on:** 1/4/2021
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Town of East Lyme


P.O. DRAWER 519

NIANTIC, CONNECTICUT 06357



Town Engineer
Victor A. Benni, P.E.

860-691-4112
FAX 860-739-6930

To: William Mulholland, Zoning Official
From: Victor Benni, P.E., Town Engineer 
Date: December 15, 2020
Re: 171 Boston Post Road (Miracle League Field)
Site Plan Review

Information submitted by the Applicant which was considered in this review:

- (Drawing Set) Miracle League Field, East Lyme – Phase II, 171 Boston Post Road, East Lyme, Connecticut, Issue Date: October 9, 2020, Prepared for The Miracle League of Southeastern Connecticut, 7-Sheet Drawing Set, by: todesign, llc.
- Limits of Project, Miracle League Field, 167 Boston Post Road, East Lyme Connecticut, Date: 12/20/18, Sheet: S-1.0, by: J.Robert Pfanner & Associates, P.C.

This office has reviewed the above referenced information and has the following comments:

1. Provide Pavement Restoration detail for work associated with the water connection in the parking lot. If applicable, include proper erosion control measures at any downslope catch basin inlets.
2. A detail was provided for the Construction Entrance; provide location on the Grading & Utility Plan (Sheet L-3.0).
3. The Erosion and Soil Sedimentation Control Notes and Details (Sheet ES-1) include a reference to the *2002 CT Guidelines for Soil Erosion and Sediment Control*. The E&S notes and details include siltfence & haybale barrier design & criteria, recommended temporary & permanent seeding applications, and a construction entrance detail.
4. An erosion & sedimentation bond in the amount of \$2,000 is recommended by this Department to control erosion & sedimentation, as specified on the applicant's certified plan, or as conditions may require.

EAST LYME ZONING DEPARTMENT

SITE PLAN REVIEW SHEET

TITLE OF APPLICATION: **Miracle League Field, East Lyme – Phase II, 171 Boston Post Road, East Lyme, Prepared by todesign, Site Design, October 9, 2020**

DATE DISTRIBUTED: December 9, 2020

	Application	Plans
John Way, Fire Marshall		Site Plan
Gary Goeschel, Planning Director/Inland Wetlands Agent		Site Plan
Victor Benni, Town Engineer		Site Plan
Brad Kargl, Utilities Engineer		Site Plan

PLEASE REVIEW AND PRESENT COMMENTS IN WRITING BY: **January 4, 2021**

THESE ARE NO KNOWN INLAND WETLANDS (WATERBODIES) WITHIN 300-FT OF THE PROPOSED DEVELOPMENT. IN ADDITION, THE PROPOSED MUNICIPAL IMPROVEMENT REQUIRES A REFERRAL TO THE PLANNING COMMISSION PURSUANT TO SEC. 8-27 OF THE CCS.

REVIEWED BY:  DATE: 12/9/20

Town of East Lyme

APPLICATION FOR SPECIAL PERMIT

Date of Application: 12/2/2020 Zone: CA/RU-40

Applicant's Name: JONATHAN TUNSKY

Applicant's Address: 114 WEST MAIN STREET, SUITE 202 Telephone: 860-612-1700
NEW BRITAIN, CT 06051

Location of Affected Premises: 171 BOSTON POST ROAD Assessor's Map/Block/Lot: 31.1/31///

Owner of Record: TOWN OF EAST LYME Volume/Page: 96/386

Owner's Address: PO BOX 519, NIANTIC, CT 06357-0519 Telephone: 860-739-5828 (DAVE PUTNAM)

DESCRIPTION OF SPECIAL PERMIT REQUESTED {Requires compliance with Zoning Regulations 24, 25 & 9 and all other applicable Zoning Regulations of the Town of East Lyme; also state which sections of Zoning Regulations Special Permit is subject to}:

RENOVATE EXISTING PLAY AREA AND ADD A NEW BATHROOM/STORAGE BUILDING AT 171 BOSTON POST ROAD.
SUBJECT TO SECTION 5, 8, 24 AND 25 OF THE ZONING REGULATIONS.

Signature of Owner: [Signature] SUPERINTENDENT OF SCHOOLS

Signature of Applicant: [Signature]

Attach a true copy of the Deed and a Site Plan {10 copies required}. A copy of the deeds for all affected properties and a site plan demonstrating compliance with all applicable zoning code requirements must accompany this application.

Proof of posting of Special Permit Application public notice sign (Section 25.4.3-1). Proof of posting of the Special Permit Application for Public Notice must be submitted.

Below this line for Office Use Only:

Deed Copies Attached:	YES	NO	PERMIT FEE:	SPECIAL PERMIT FEE	\$150.00	_____
				OUTDOOR DINING RENEWAL	\$20.00	_____
Site Plan Attached:	YES	NO	N/A	SITE PLAN FEE	\$300.00	_____
				STORM WATER	\$300.00	_____
				STATE FEE:	\$60.00	_____
CHECK #:	<u>2537</u>			TOTAL DUE:		<u>\$ 600.00</u>

Date Approved: _____	Date Denied: _____
Approval subject to conditions below:	
1.	_____
2.	_____
Approval to become effective upon publication and date of entry into the land records of the Town of East Lyme affecting the premises as described in this application.	
Date: _____	Attest _____
East Lyme Zoning Chairman	



SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

December 11, 2020

Miracle League Field East Lyme Phase 2 Narrative

The East Lyme Parks and Recreation/Youth Services in association with The Miracle League of Southeastern Connecticut is proposing to renovate an existing play area and add a small restroom and storage building at Flanders School.

The Miracle League of Connecticut Mission Statement:

The Miracle League of CT provides opportunities for Connecticut's children with physical and cognitive challenges to participate in recreation, educational and cultural activities in an accessible, nurturing and noncompetitive environment where families can come together to cultivate new friendships and experience the joy of play.

This past summer construction was completed on the first phase of the master plan which included improvements to the field which was approved about two years ago. The master plan called for two additional phases which we are going to combine for phase two. The existing play area will be renovated to include new equipment, a pavilion, poured in place rubber surfacing, a concrete walk, picnic tables and a plaza area. A small building about 20' by 23' will be erected which includes three family restrooms and a small storage area which can also be used to sell snacks and beverages during events. Nine trees will be planted to provide shade for the play area and screen the small building.

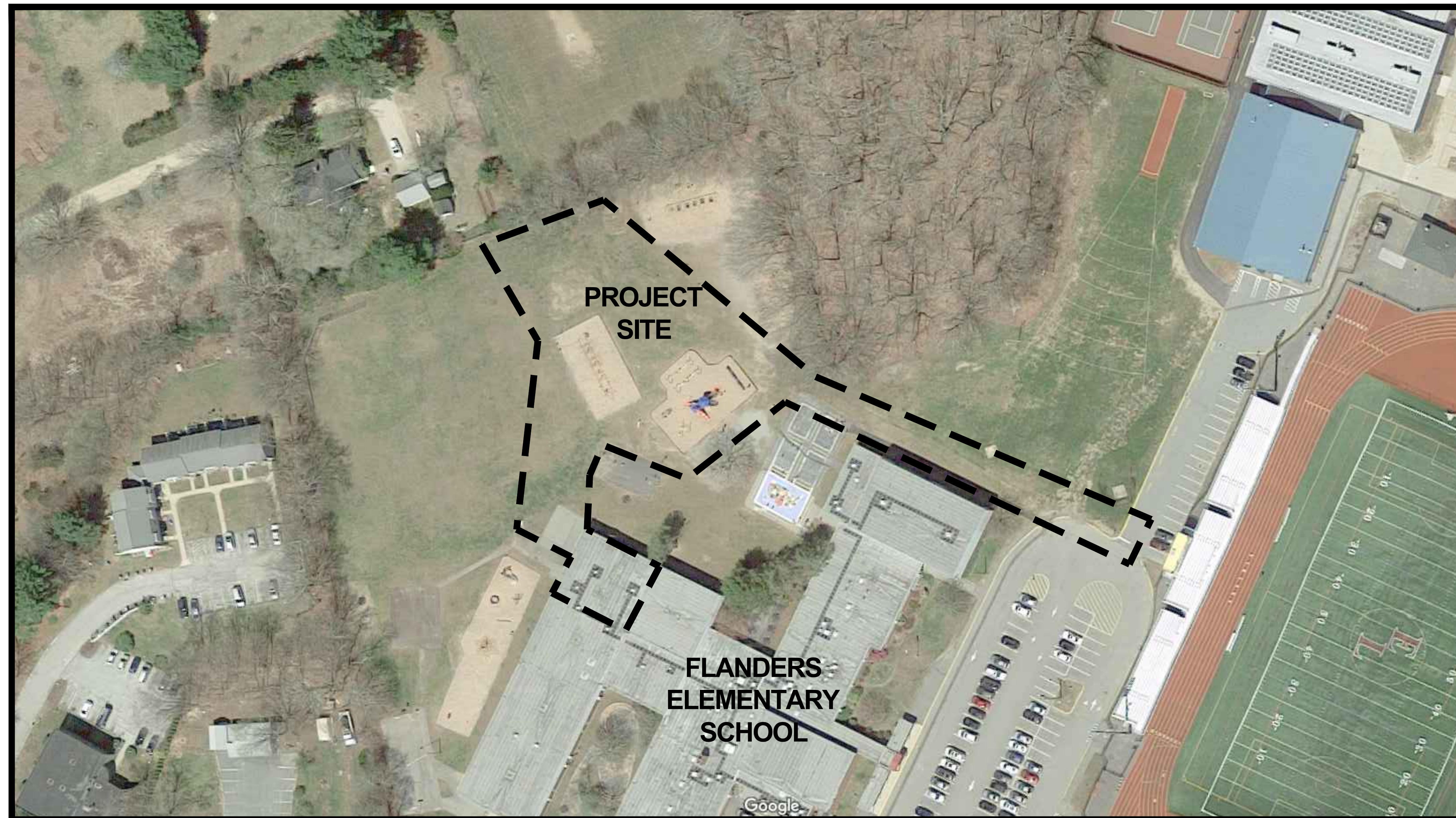
Parking will be shared with the school which now has 620 parking spaces. Three reserved handicap spaces were added as part of phase one. Events occur during off school hours April through October. No lighting will be provided.

This Miracle League Field Phase 2 will be a great addition to the town and serve Connecticut's children with physical and cognitive challenges for years to come.

MIRACLE LEAGUE FIELD EAST LYME - PHASE II

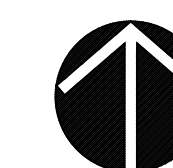
171 Boston Post Road

East Lyme, Connecticut



Project Site

NTS



CONTENTS

C	Cover
S-1.0	Survey
L-1.0	Demolition Plan
L-2.0	Layout Plan
L-3.0	Grading & Utility Plan
L-4.0	Planting Plan
L-5.0	Site Details
ES-1	Erosion and Soil Sedimentation Control Notes & Details
A-1.0	Restroom / Storage Building

SPECIAL PERMIT 10.9.2020

Prepared for The Miracle League of Southeastern Connecticut

Attention: David M. Putnum,
Executive Director of Parks and Recreation/Youth Services

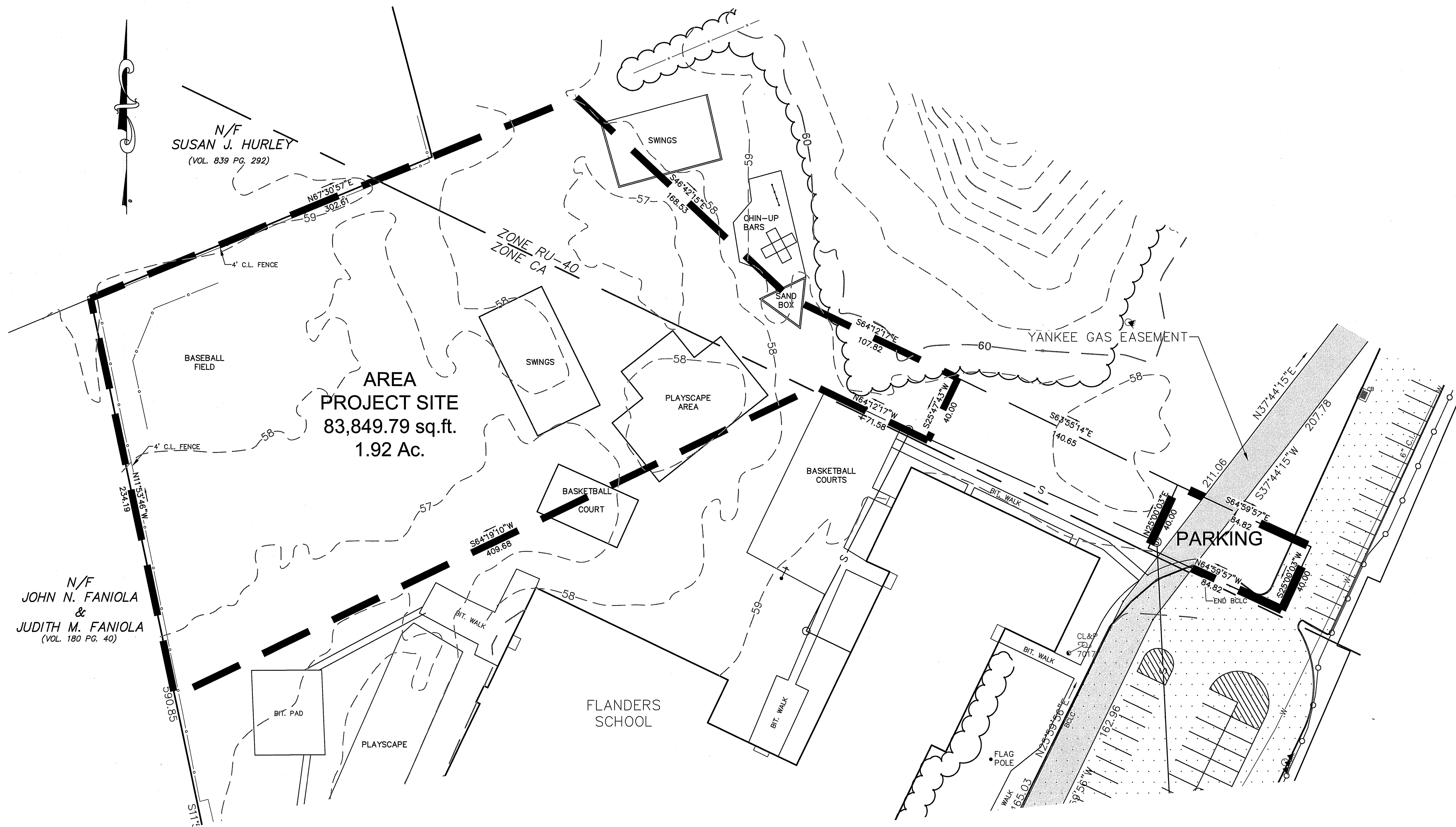
Prepared by:

todesign
SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

114 WEST MAIN STREET
SUITE 202
NEW BRITAIN, CT 06051
860-612-1700

todesignllc.com

CREATING MEANINGFUL OUTDOOR SPACES



AREA PROJECT SITE
 83,849.79 sq.ft.
 1.92 Ac.

N/F
 SUSAN J. HURLEY
 (VOL. 839 PG. 292)

N/F
 JOHN N. FANIOLA
 &
 JUDITH M. FANIOLA
 (VOL. 180 PG. 40)

LEGEND

	FIELD LIGHTS
	STREET LIGHTS
	CHAIN LINK FENCE
N/F	NOW OR FORMALLY
S	SEWER LINE
W	WATER LINE
U	UTILITIES (PHONE, ELEC. TV, ETC.)
D	FOUNDATION DRAIN
U	UTILITY POLE
	CIRCULAR CATCH BASIN
	RECTANGLE CATCH BASIN
	TREE LINE
	DRAINAGE M.H.
	SEWER M.H.
	PROJECT AREA

NOTES
 1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO SHOW THE PROJECT BOUNDARY.

MAP REFERENCE:
 BOUNDARY SURVEY TOWN OF EAST LYME EAST LYME HIGH SCHOOL & FLANDERS SCHOOL BOSTON POST ROAD AND CHESTERFIELD ROAD EAST LYME, CONNECTICUT DATED 6-14-17 SCALE 1" = 60', SHEETS 1-3 OF 3 BY J. ROBERT PFANNER & ASSOC. P.C.

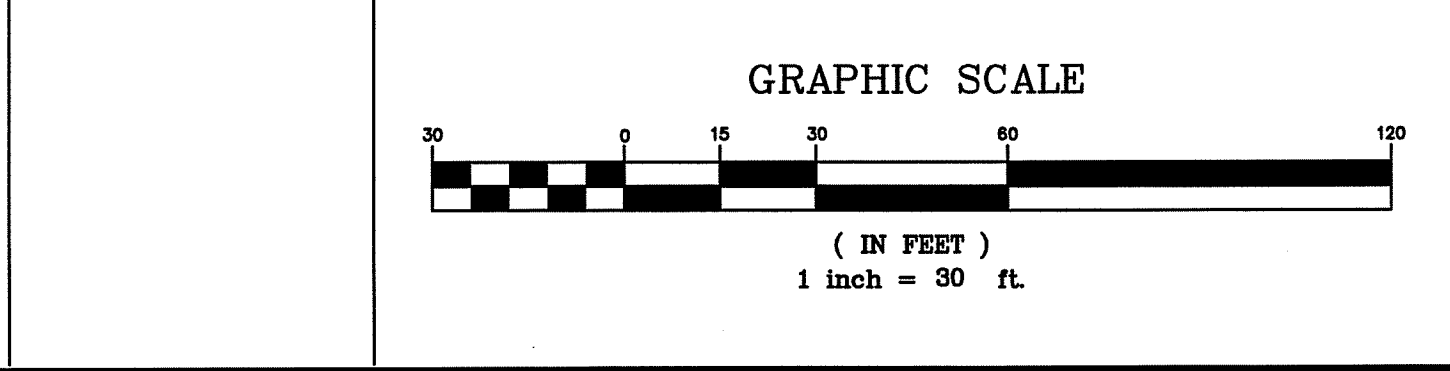
THIS MAP AND SURVEY CONFORMS TO A CLASS A-2 SURVEY AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS SUBSTANTIALLY CORRECT AS NOTED HEREON (SEE NOTE 1).

J. ROBERT PFANNER PE, LS No. 9442

DRAWN BY: JRP		DATE: 12-20-18	
<small>THESE PLANS ARE THE SOLE PROPERTY OF J. ROBERT PFANNER & ASSOCIATES P.C. AND HAVE BEEN PREPARED SOLELY FOR THIS OWNER ON THIS SITE. ANY REPRODUCTION OF THESE PLANS WITHOUT WRITTEN PERMISSION FROM J. ROBERT PFANNER & ASSOCIATES P.C. MAY BE AN INFRINGEMENT OF THE FEDERAL COPYRIGHT ACT.</small>			
NO.	DATE	DESCRIPTION	BY
REVISIONS			

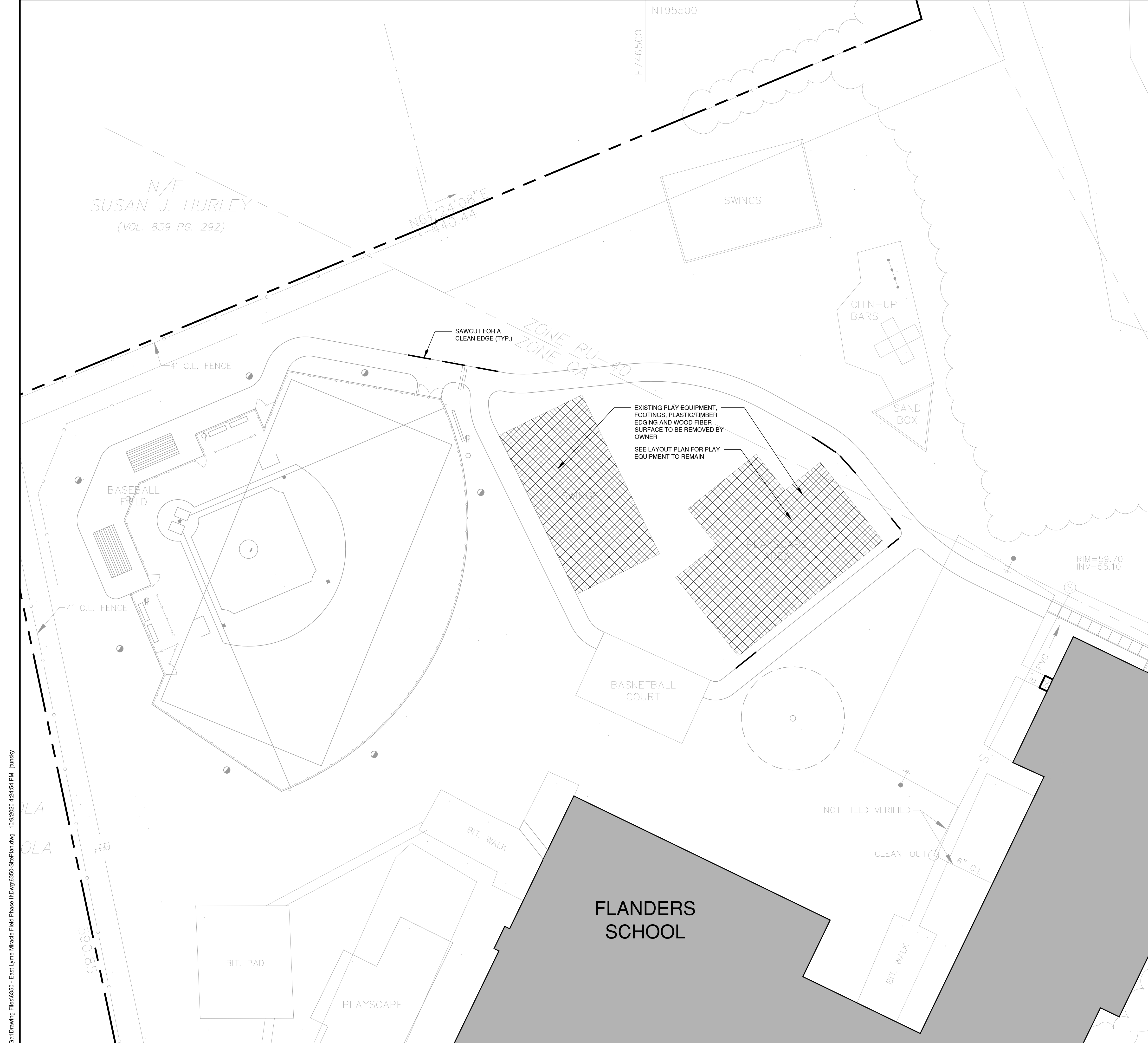
J. ROBERT PFANNER & ASSOCIATES, P.C.
 CIVIL ENGINEERS & LAND SURVEYORS

37 GRAND STREET NIANTIC, CONNECTICUT 06357
 TEL. 860-739-6216 FAX 860-739-0693



LIMITS OF PROJECT
 MIRACLE LEAGUE FIELD
 167 BOSTON POST ROAD
 EAST LYME, CONNECTICUT

SHEET NUMBER
S-1.0
 17014



DEMOLITION NOTES

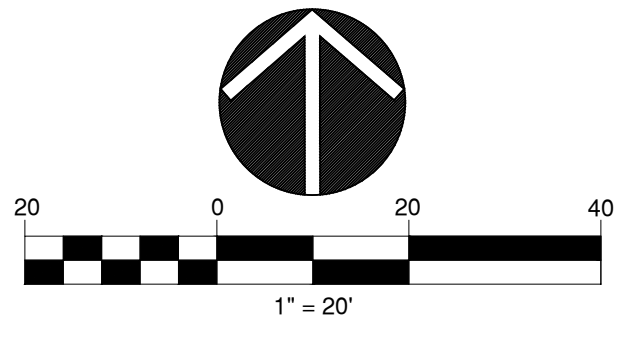
- CONTRACTOR SHALL STRIP AND STORE TOPSOIL IN ALL AREAS TO BE DISTURBED OR REGRADED. LOCATION OF TOPSOIL STOCKPILE TO BE DESIGNATED BY LANDSCAPE ARCHITECT. ALL EXCESS TOPSOIL SHALL BE DELIVERED TO THE EAST LYME TRANSFER STATION ON ROXBURY ROAD AND DUMPED IN A LOCATION SPECIFIED BY THE TOWN.
- ALL MATERIAL TO BE REMOVED SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AWAY FROM THE SITE OR DELIVERED AS DIRECTED BY THE OWNER.
- LOCATION OF ALL UTILITIES ARE SHOWN DIAGRAMMATICALLY & MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DONE BY THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR.
- PROTECTION OF ALL EXISTING TREES TO REMAIN SHALL BE A PRIORITY. INSTALL TREE PROTECTION AS INDICATED. DO NOT STOCKPILE, PARK OR PERFORM ANY MECHANICAL OPERATIONS WITHIN THE DRIPLINE OF EXISTING TREES AS INDICATED IN THE DETAILS. NO STORAGE OF MATERIALS OR SOIL SHALL BE ALLOWED IN THESE AREAS. ALL FILL AND EXCAVATION REQUIRED WITHIN THE DRIPLINE OF ALL EXISTING TREES TO REMAIN SHALL BE COMPLETED BY HAND UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND VEGETATION. DAMAGE TO VEGETATION SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS BY THE CONTRACTOR.
- BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1.800.922.4455, THE RESPECTIVE UTILITY COMPANIES AND LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR AS A RESULT OF FAILURE TO CONTACT PROPER AUTHORITIES SHALL BE BORN BY THE CONTRACTOR.
- OWNER'S REPRESENTATIVE SHALL BE CONSULTED BEFORE ANY WORK SHALL COMMENCE.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FROM ANY UTILITY COMPANY OR OTHER GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO HIS CONTRACT OPERATIONS.
- CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- CONTRACTOR SHALL MAINTAIN PROPER SIGNS, BARRICADES, AND FENCES TO PROPERLY PROTECT THE WORK, EQUIPMENT, PERSONS AND PROPERTY FROM DAMAGE.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.

LEGEND

EXISTING	
	PROPERTY LINE
	BUILDING
	CONTOUR 1 FT
	CONTOUR 5 FT
	SPOT GRADE
	YARD DRAIN
	TYPE CL
	SITE ELEMENT TO BE REMOVED
	SAW CUT

SURVEY REFERENCE

SURVEY INFORMATION FROM PLAN ENTITLED: "BOUNDARY AND TOPOGRAPHIC SURVEY PROPERTY OF THE TOWN OF EAST LYME EAST LYME HIGH SCHOOL & FLANDERS SCHOOL BOSTON POST ROAD AND CHESTERFIELD ROAD EAST LYME, CONNECTICUT", SCALE 1" = 40', DATED SEPTEMBER 4, 1997, BY J. ROBERT PFANNER & ASSOCIATES P.C. LAND SURVEYING & CIVIL ENGINEERING 37 GRAND STREET NIANTIC, CT PHONE: 860-739-6216



todesign
 114 WEST MAIN STREET
 SUITE 202
 NEW BRITAIN, CT 06051
 860-612-1700
 todesignllc.com
 SITE DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING

Prepared For:

THE MIRACLE LEAGUE
 OF SOUTHEASTERN CONNECTICUT

**MIRACLE LEAGUE FIELD
 EAST LYME - PHASE II**
 171 BOSTON POST ROAD
 EAST LYME, CT

Sheet Description:

Demolition Plan

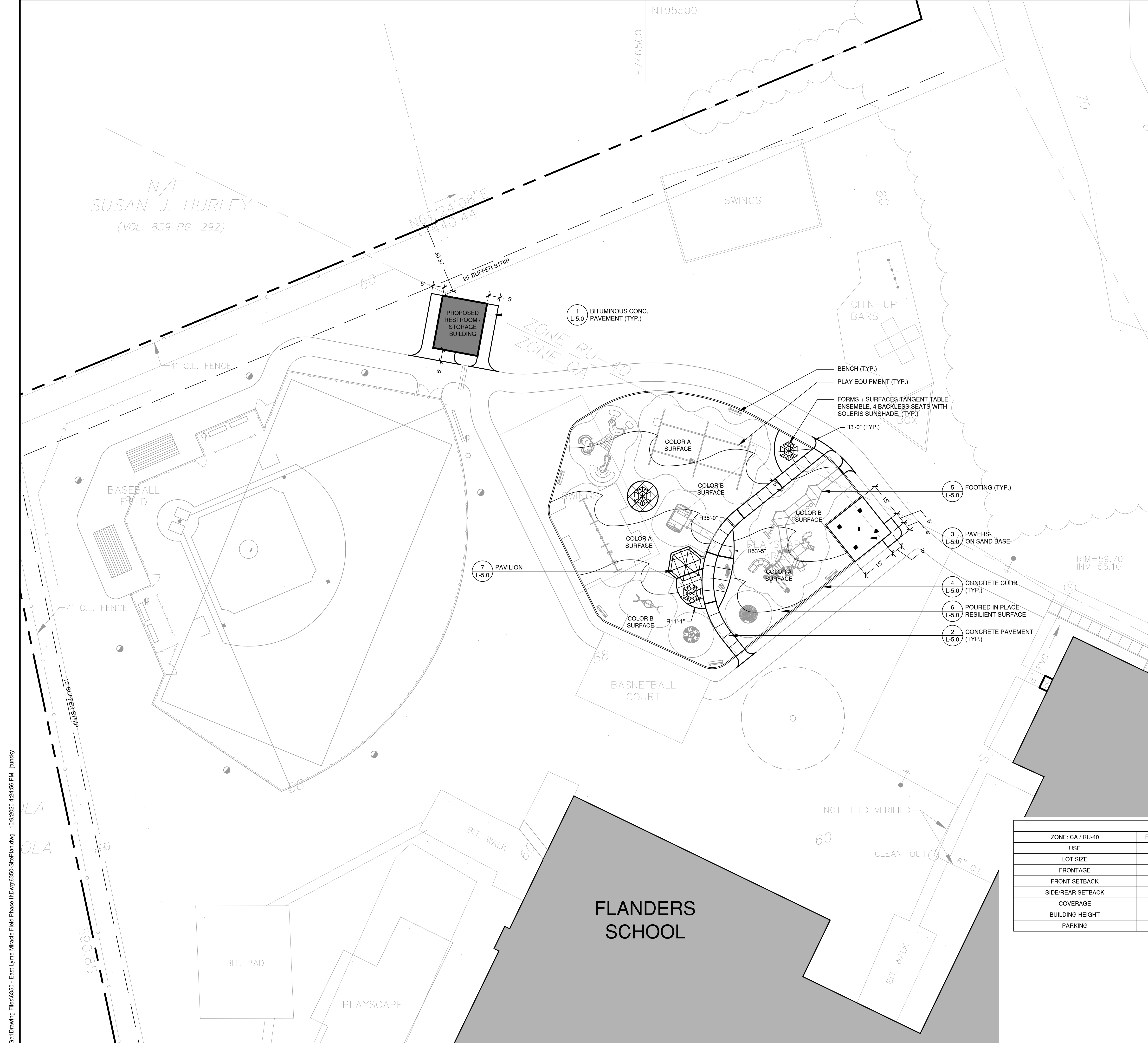
Rev:

Issue Date:
 OCTOBER 9, 2020

Scale: 1"=20'-0" Drawn by: JT

Project number:
 6350

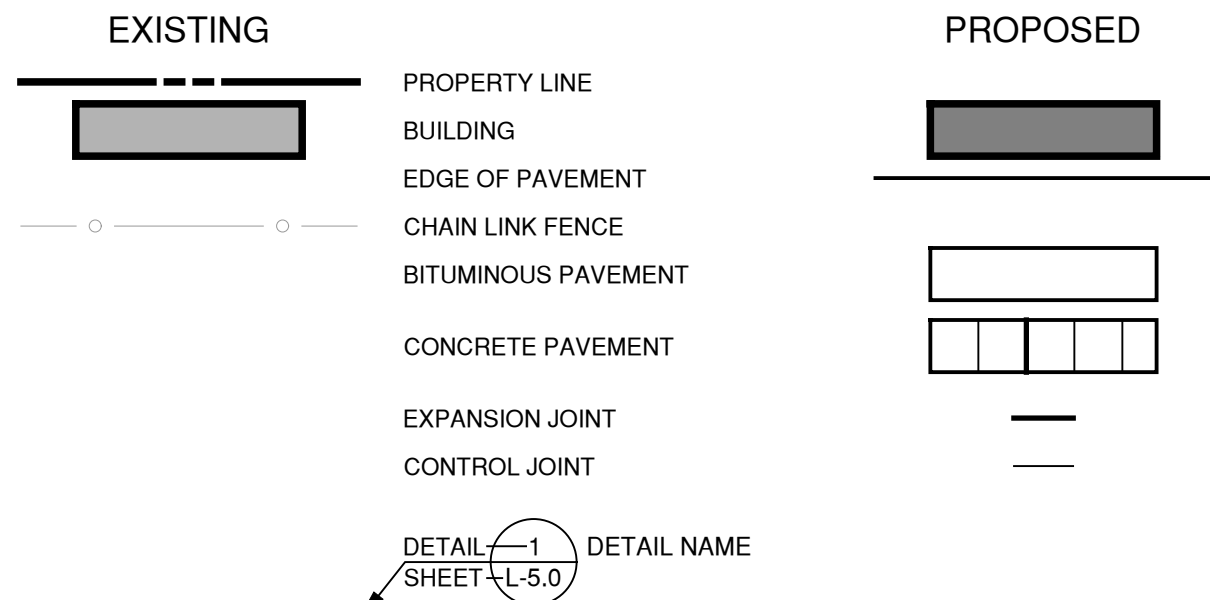
Sheet #:
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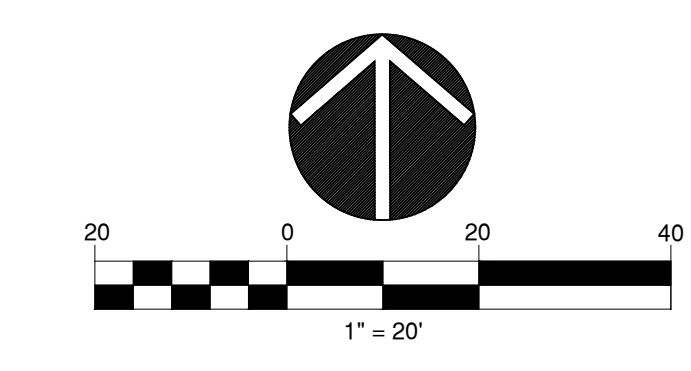
LAYOUT NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 816/817 AND THE TOWN OF EAST LYME SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
7. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
8. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABOUT NEW CONSTRUCTION. THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
12. CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
13. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
14. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
15. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF JOINT PATTERNS.
16. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.
17. A DIGITAL CAD FILE CAN BE PROVIDED TO THE CONTRACTOR FOR THE LAYOUT OF SITE IMPROVEMENTS IN THE FIELD.

LEGEND



ZONING INFORMATION				
ZONE: CA / RU-40	REQUIRED UNDER CA	REQUIRED UNDER RU-40	EXISTING	PROPOSED
USE			SCHOOL	SCHOOL
LOT SIZE	7,500 SF	40,000 SF	61.04 ACRES	61.04 ACRES
FRONTAGE	80'	150'	390'	SAME
FRONT SETBACK	20'	50'	157'	SAME
SIDE/REAR SETBACK	12'	30'	71'	30.37'
COVERAGE	35%	15%	8.6%	8.6%
BUILDING HEIGHT	30'	30'	30'	11'
PARKING	N/A	N/A	620	SAME



todesign
 114 WEST MAIN STREET
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 NEW BRITAIN, CT 06051
 860-612-1700
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SITE DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING



MIRACLE LEAGUE FIELD
 EAST LYME - PHASE II
 171 BOSTON POST ROAD
 EAST LYME, CT

Sheet Description:

Layout Plan

Rev:

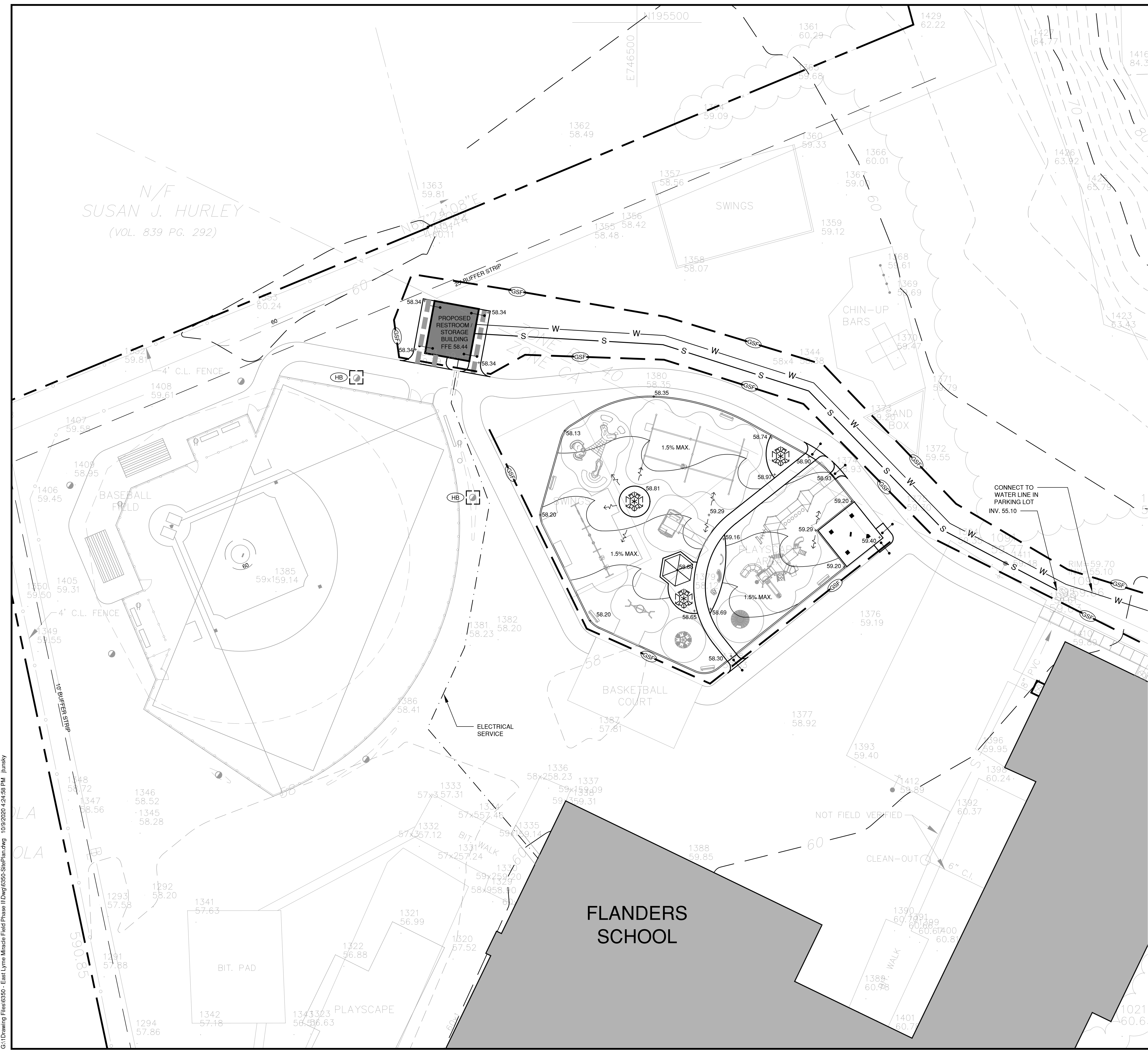
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Scale: 1"=20'-0" Drawn by: JT

Project number:
 6350

Sheet #:
L-2.0

G:\11 Drawing Files\6350 - East Lyme Miracle League Field Phase II\DWG\6350-SitePlan.dwg 10/9/2020 4:24:56 PM jrunsky



GRADING AND UTILITY NOTES

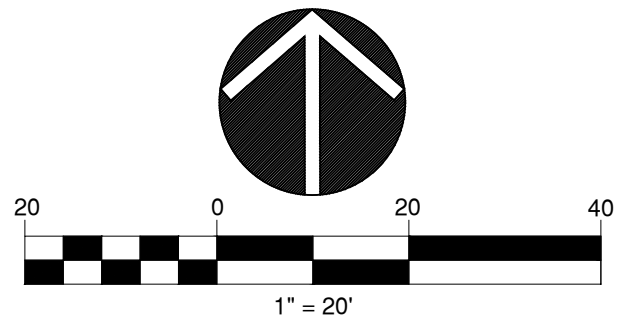
1. PROPOSED GRADES INDICATE INTENT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS REQUIRED TO MEET FIELD CONDITIONS.
2. WHERE FIELD CONDITIONS CALL FOR ON-SITE ADJUSTMENTS OF FINISHED GRADES, THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION.
3. CONTRACTOR TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB AND BE RESPONSIBLE FOR THE SAME. NOTIFY SITE PLANNER OF DISCREPANCIES PRIOR TO BEGINNING WORK.
4. EROSION CONTROL FABRIC TO BE USED ON ALL SLOPES GREATER THEN 3:1
5. STRIP AND STOCKPILE TOPSOIL FOR REUSE ON SITE. SEE NOTE #1 ON SHEET L-1.0.
6. PITCH ALL WALKS AT 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
7. ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE.
8. ALL EXISTING UTILITY LINES TO BE ABANDONED SHALL BE ABANDONED ACCORDING TO UTILITY COMPANY REQUIREMENTS.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS.
10. ALL EXCESS MATERIAL, EXCEPT TOPSOIL, SHALL BE LEGALLY DISPOSED OF OUTSIDE THE PROJECT LIMITS.
11. REFERENCE IS MADE IN THESE DOCUMENTS TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 816/817 AND SUPPLEMENTS THERETO.
12. DAMAGE TO EXISTING UTILITIES AS A RESULT OF THE CONTRACTOR'S OR ANY OF HIS SUBCONTRACTOR'S ACTIVITIES DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING DURING THE EXECUTION OF HIS WORK.
14. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS DEVELOPED FROM THE BEST AVAILABLE INFORMATION. THE ACTUAL LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF EXCAVATION ACTIVITIES.
15. ACCESS AND UTILITIES TO EXISTING FACILITIES MUST BE MAINTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MUST MAINTAIN SUFFICIENT TRAVEL LANE(S), APPROVED BY THE OWNER, TO ENABLE ALL EMERGENCY VEHICLES TO ACCESS THE ENTIRE PROJECT SITE.
16. CONTRACTOR TO VERIFY THAT ALL EXISTING UTILITIES TO BE REUSED ARE FUNCTIONAL.

ACCESSIBILITY NOTES

1. SLOPES ALONG THE ACCESSIBLE ROUTE SHALL BE LESS THAN 1:20 (5%) AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/4 INCH.
2. SLOPES ALONG THE HANDICAP ACCESSIBLE RAMP SHALL NOT EXCEED 1:12 (8.3%) AND THE CROSS SLOPE SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4 INCH.
3. LANDINGS SHALL NOT HAVE A SLOPE GREATER THAN 1:50 (2%) IN ANY DIRECTION.

LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	BUILDING	
	EDGE OF PAVEMENT	
	CONTOUR 1 FT	
	CONTOUR 5 FT	
	SPOT GRADE	
	FLOW ARROW	
	FLUSH CONDITION	
	YARD DRAIN	
	DRY WELL	
	SILT FENCE	
	ACCESSIBLE ROUTE	
	HAYBALE	
	WATER LINE	
	SANITARY SEWER	
	TELEPHONE & ELECTRIC	



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SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING



MIRACLE LEAGUE FIELD
EAST LYME - PHASE II
171 BOSTON POST ROAD
EAST LYME, CT

Sheet Description:

Grading & Utility Plan

Rev:

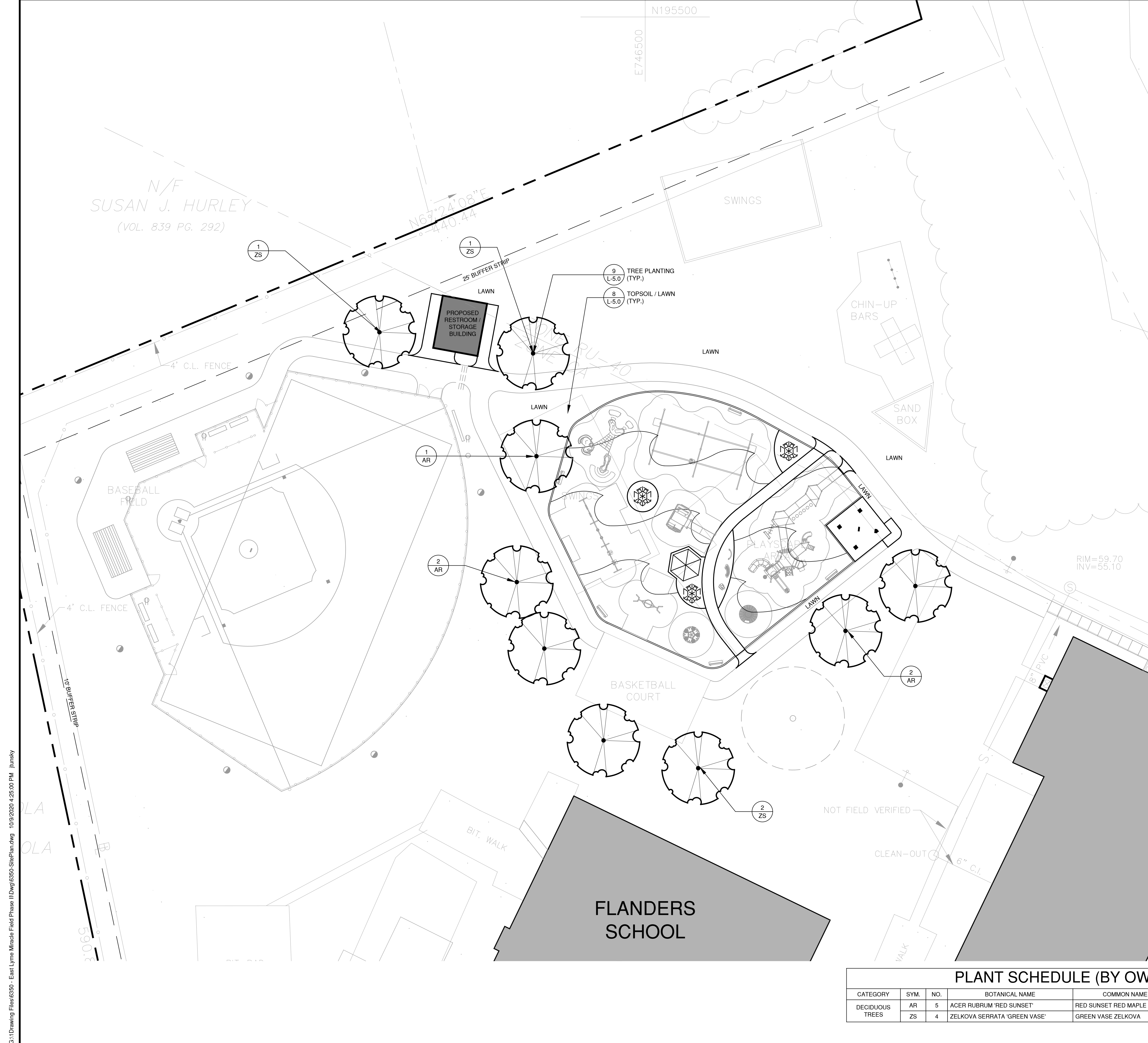
Issue Date:
OCTOBER 9, 2020

Scale: 1"=20'-0" Drawn by: JT

Project number:
6350

Sheet #:

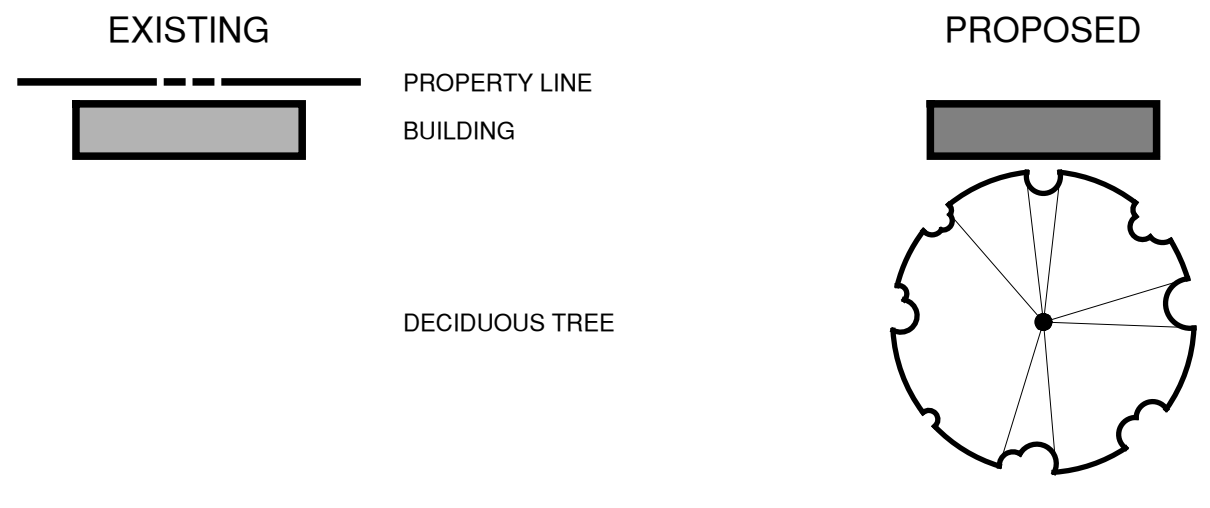
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PLANTING NOTES

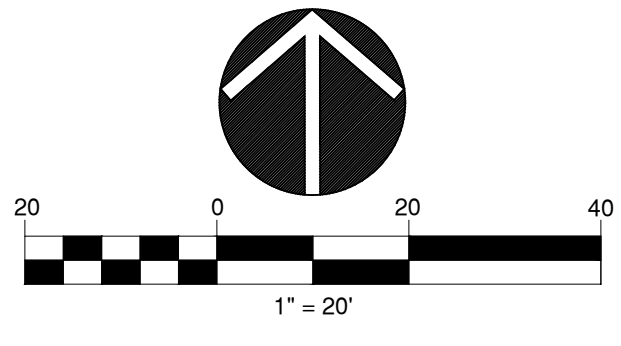
1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
7. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
8. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
9. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
10. SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
11. PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
12. WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
13. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
14. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
15. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

LEGEND

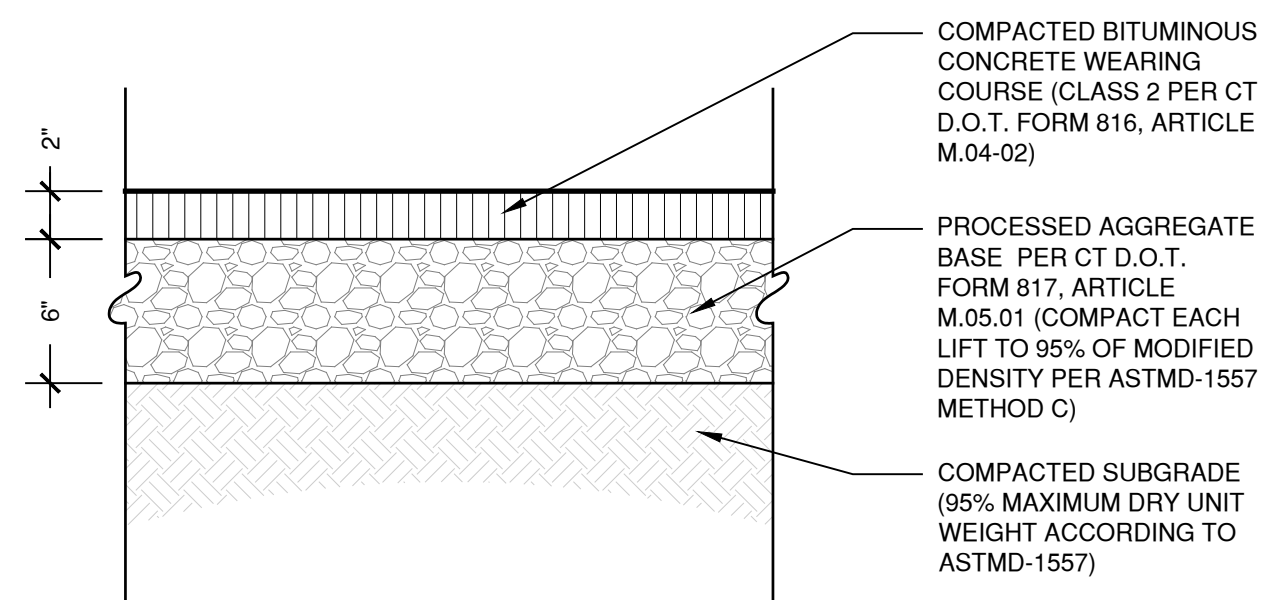


PLANT SCHEDULE (BY OWNER)

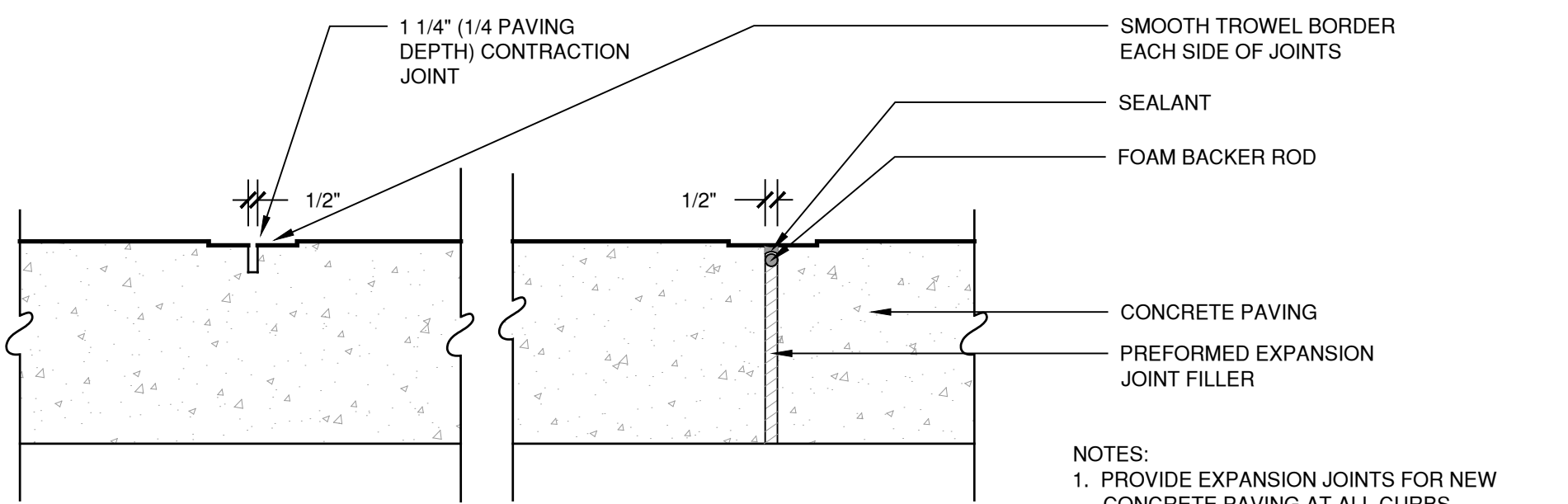
CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES	AR	5	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3" - 3 1/2" CAL.	B&B
	ZS	4	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3" - 3 1/2" CAL.	B&B



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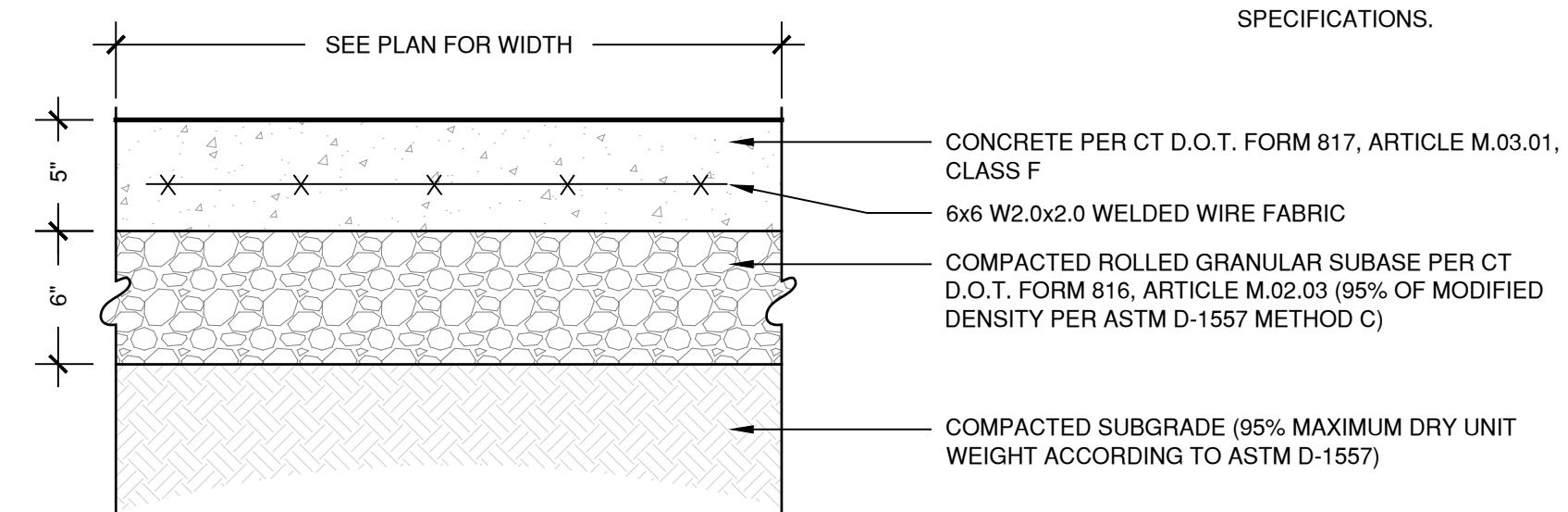


1 BITUMINOUS CONC. PAVEMENT
SCALE 1 1/2" = 1'-0" (PEDESTRIAN)

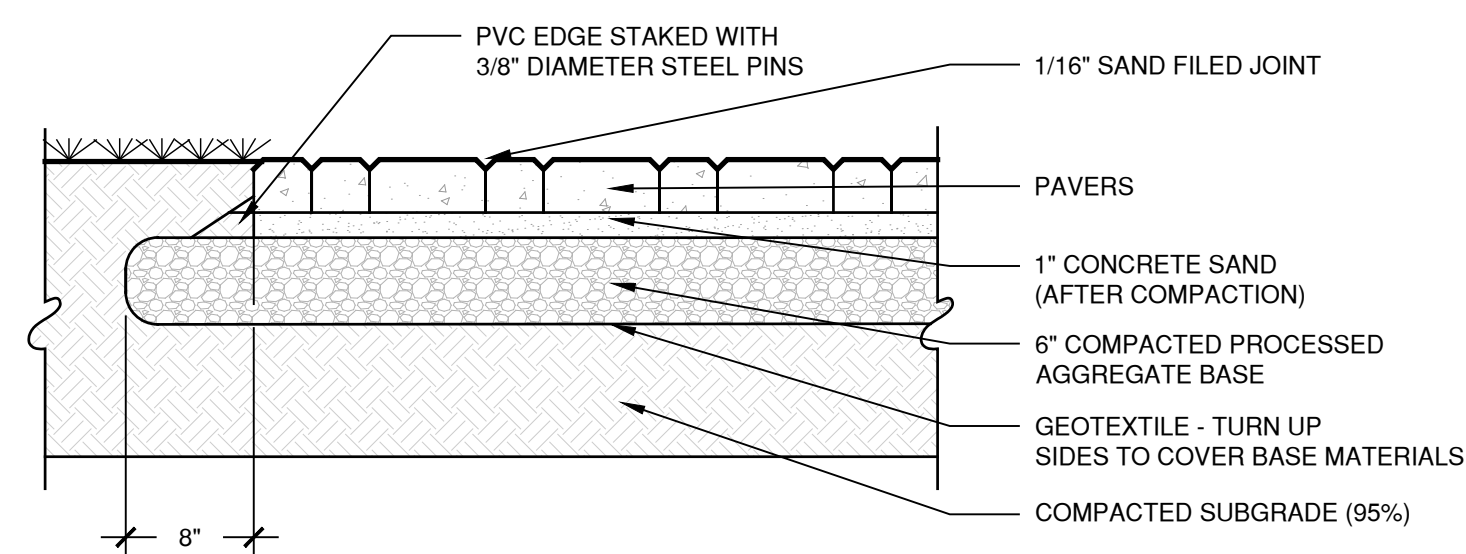


EXPANSION & CONTRACTION JOINTS

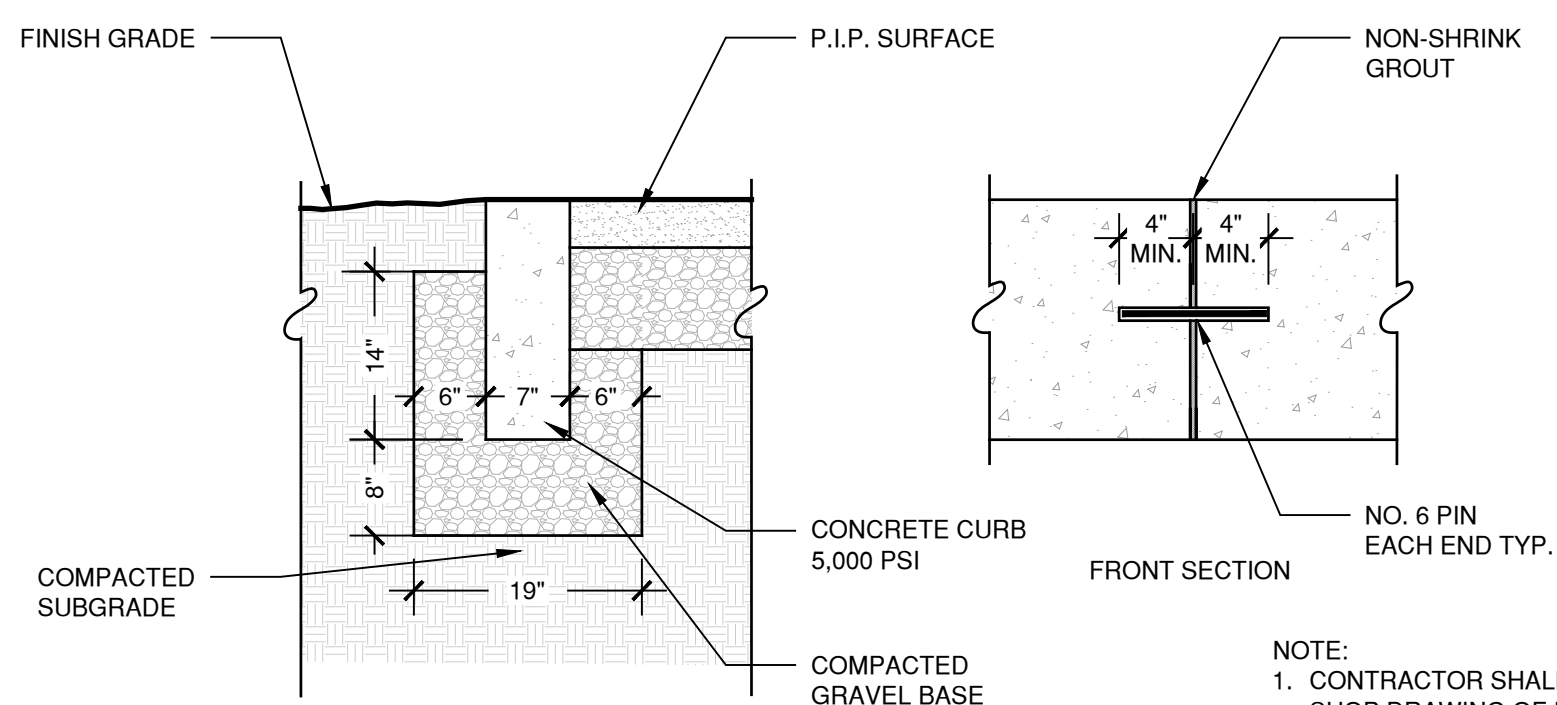
NOTES:
1. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/WAULTS, EXISTING CONCRETE PAVING AND ALL OTHER FIXED MATERIALS.
2. AIR CURING IS NOT ACCEPTABLE. SEE SPECIFICATIONS.



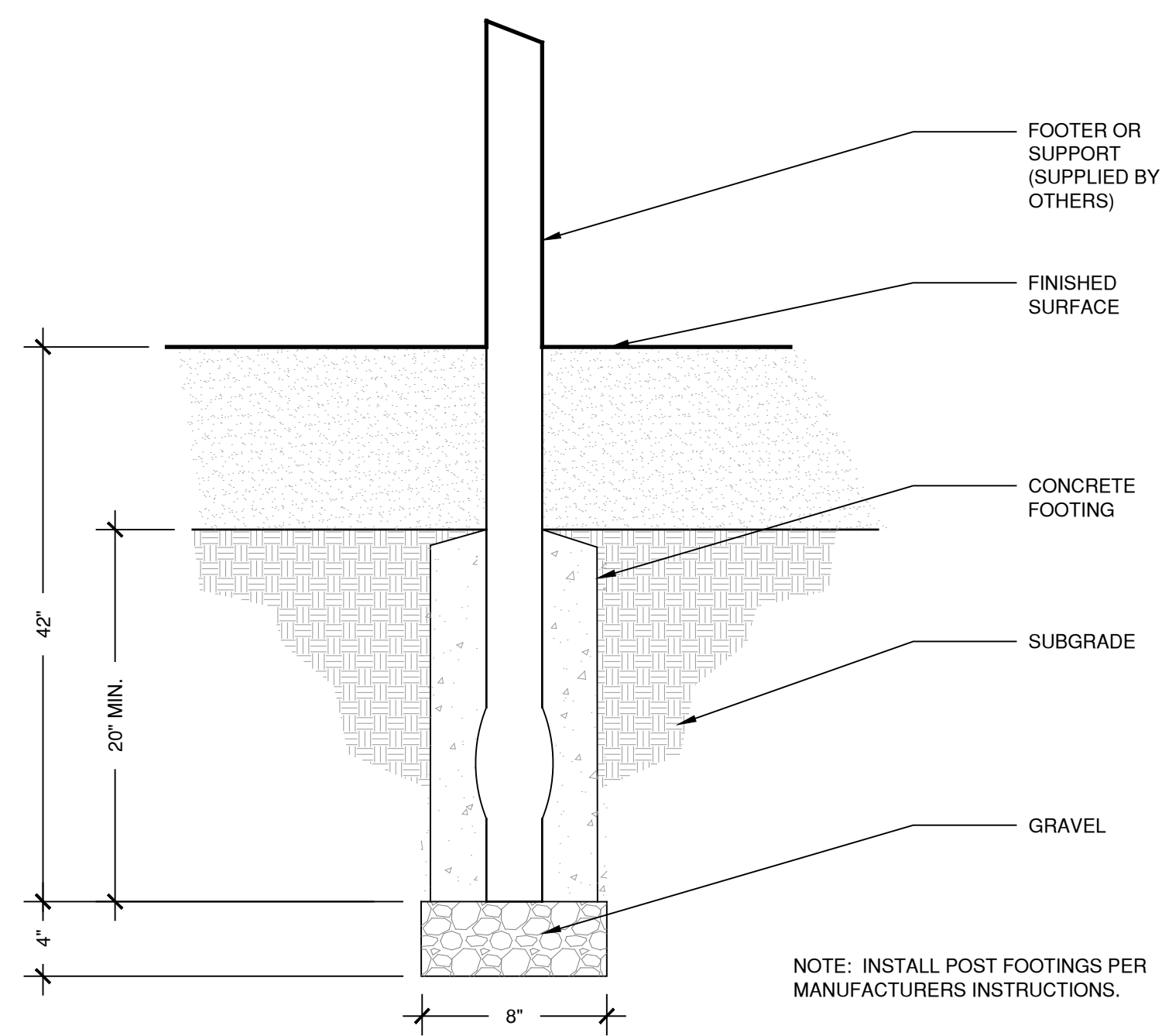
2 CONCRETE PAVEMENT
SCALE 1 1/2" = 1'-0"



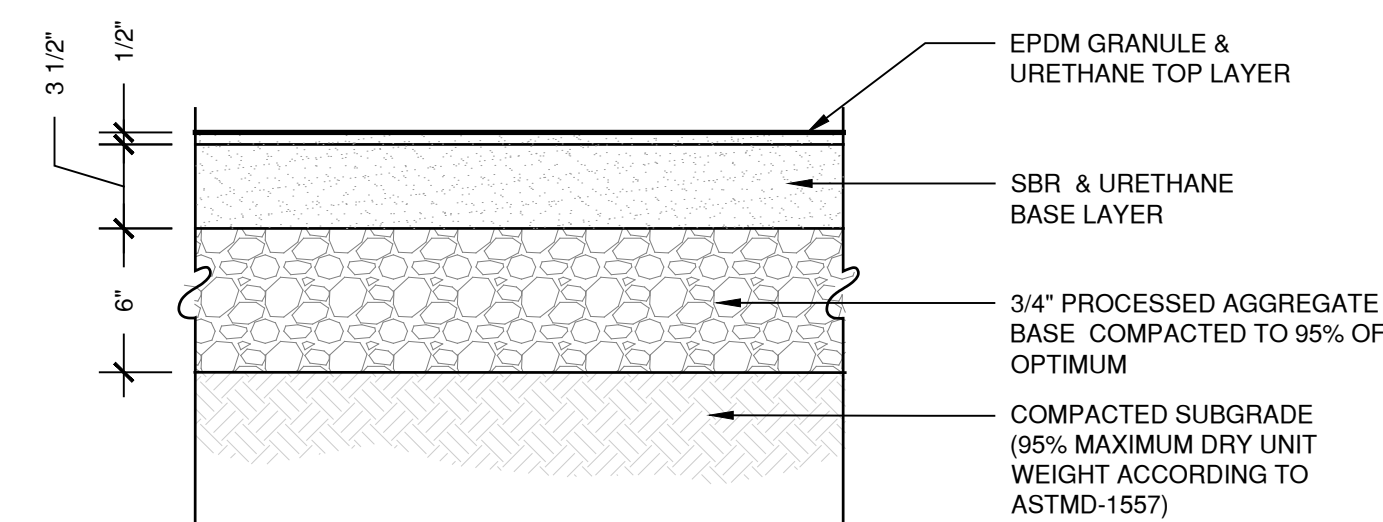
3 PAVERS - ON SAND BASE
SCALE 1" = 1'-0"



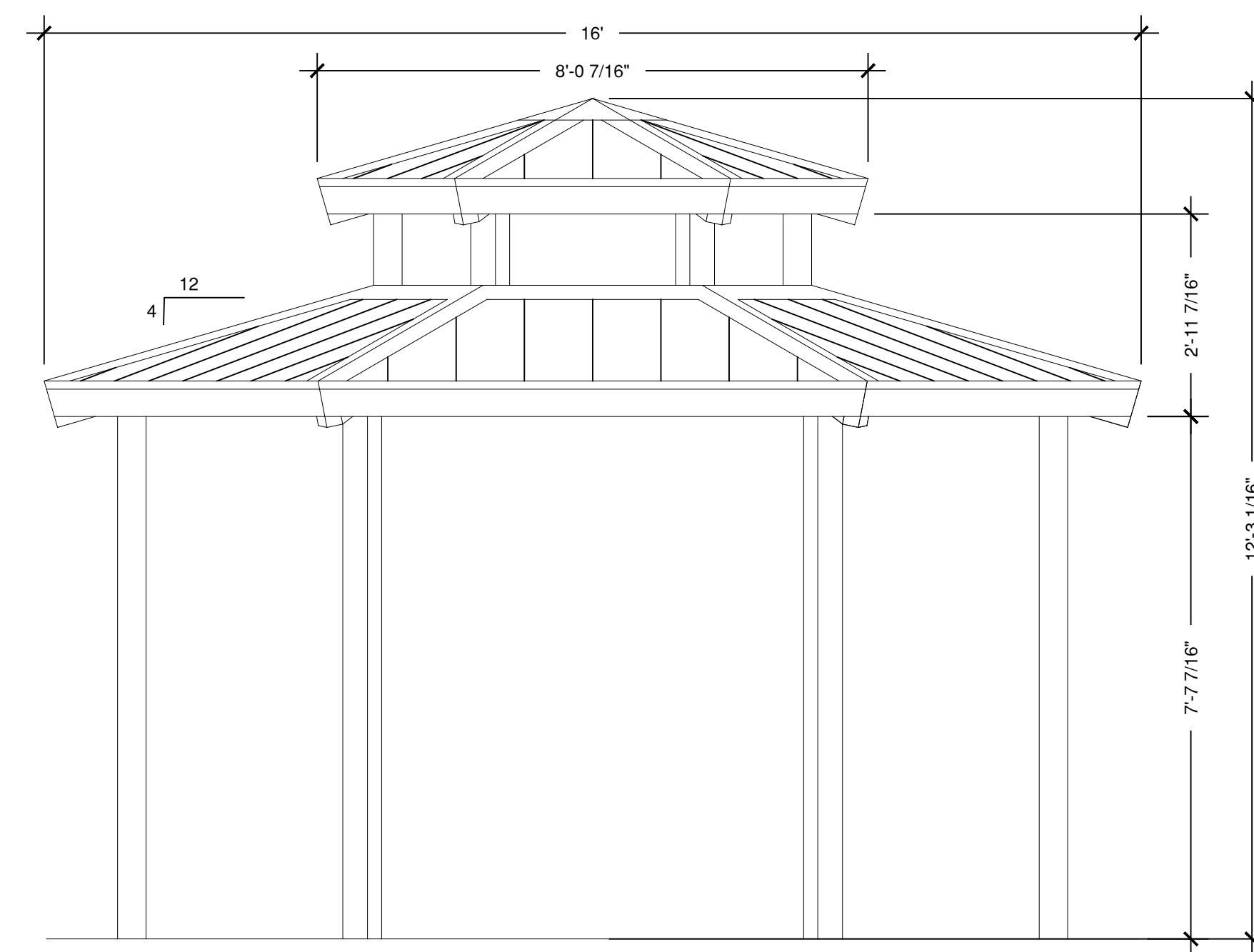
4 CONCRETE CURB
SCALE 3/4" = 1'-0"



5 FOOTING
SCALE 1 1/2" = 1'-0"

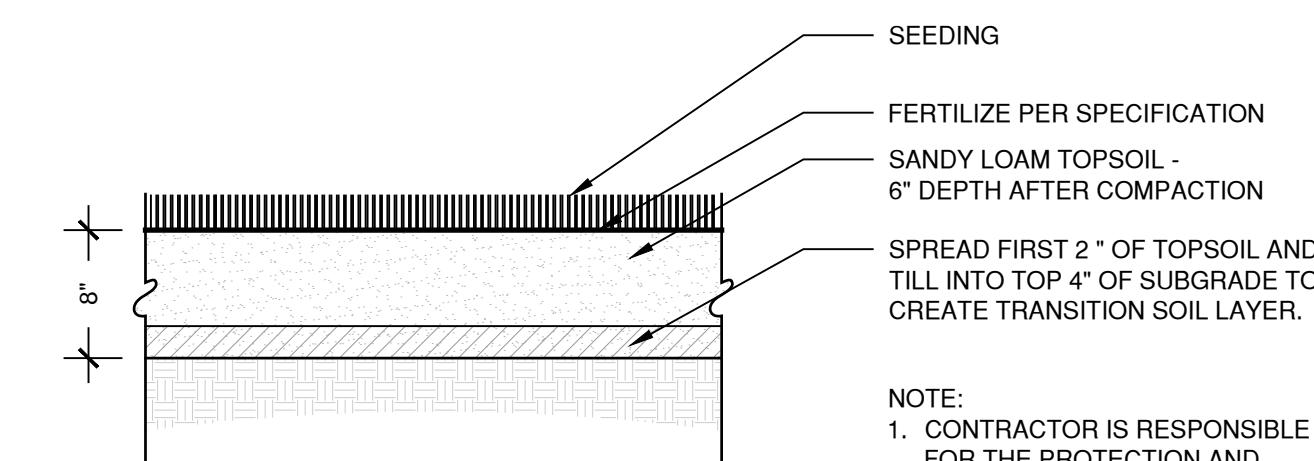


6 POURED IN PLACE RESILIENT SURFACE
SCALE 1 1/2" = 1'-0"

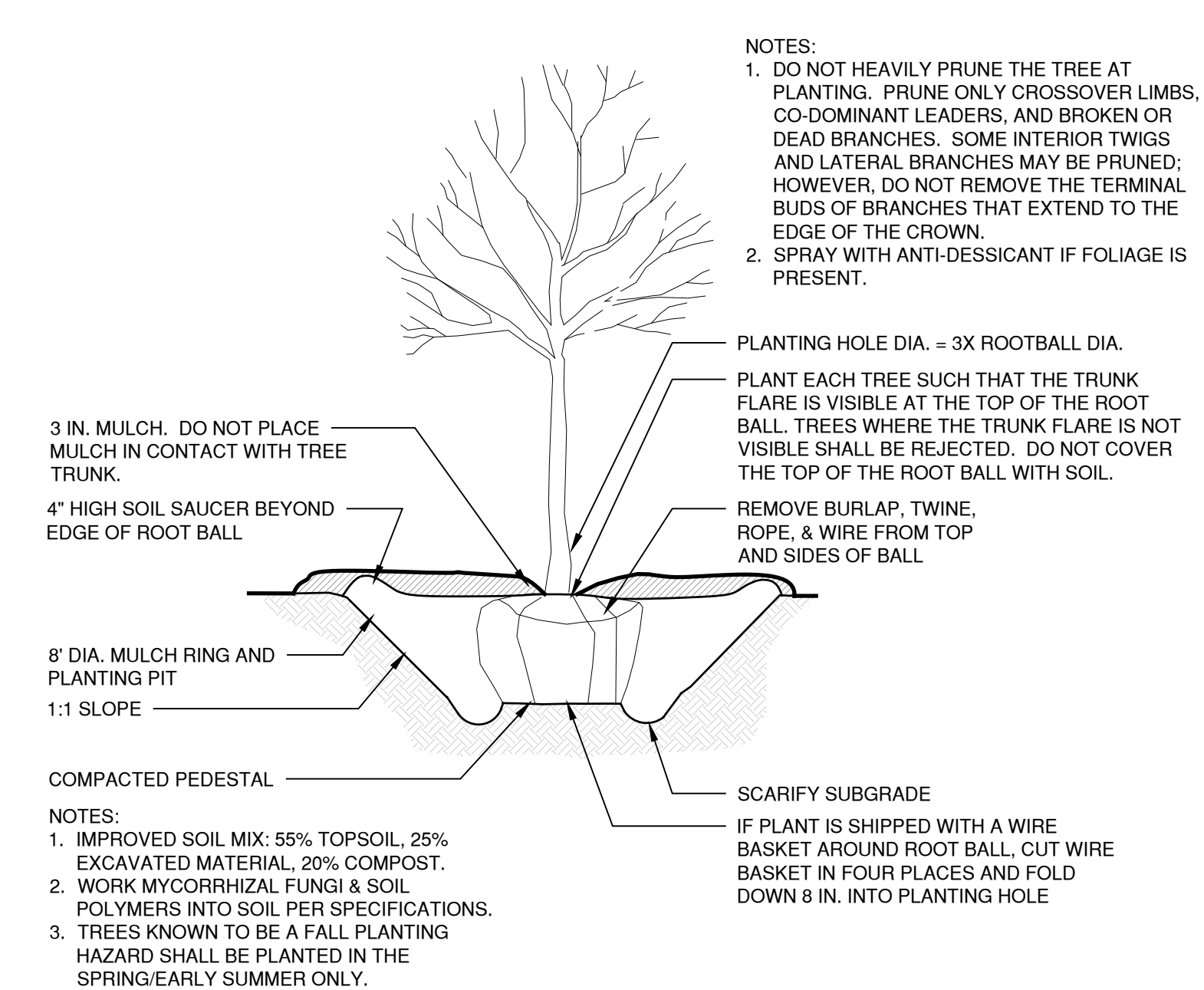


7 PAVILION
SCALE 1/2" = 1'-0"

COVERWORKS MODEL: HXVT-16' SW STEEL WORK
HEXAGONAL SHELTER WITH VENTED TOP-16'



8 TOPSOIL/LAWN
SCALE 1" = 1'-0"



9 TREE PLANTING
SCALE 1" = 1'-0"

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SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING



MIRACLE LEAGUE FIELD
EAST LYME - PHASE II
171 BOSTON POST ROAD
EAST LYME, CT

Sheet Description:	
Details	
Rev:	
Issue Date: OCTOBER 9, 2020	
Scale: AS NOTED	Drawn by: JT
Project number: 6350	
Sheet #: L-5.0	

SEDIMENTATION AND EROSION CONTROL

PER STATE OF CONNECTICUT PUBLIC ACT 83-388

All applicable practices recommended by the 2002 CT Guidelines for Soil Erosion & Sediment Control are included by reference.

1. DESCRIPTION

The project consists of renovation and expansion of existing play equipment, and construction of a new plaza and restroom building.

2. SCHEDULE

The project is anticipated to be constructed in 2021.

3. DESIGN AND CRITERIA

Note: The Contractor shall name one individual as his Sediment and Erosion Control Supervisor whose primary responsibility will be the maintenance of all on-site erosion control measures. He will keep a daily log of his activities and an updated schedule of proposed construction activities. The log will be made available to inspectors.

A. GEOTEXTILE SILT FENCE (GSF) - Shall be non-woven material, minimum 36" high and fastened to wood stakes (see detail this sheet). Silt fence shall be installed with end runs turned up grade at 45 degrees for a distance of 10 feet.

B. TEMPORARY SEEDING (TS)

- Contractor shall scarify the soil to a depth of 2" before applying fertilizer, limestone and seed.
- Seed may be applied by hand or mechanically. Seed application shall be uniform. Seed rate shall be in accordance with the 2002 Guidelines for Soil Erosion and Sediment Control (increase seeding rates by 10% when hydroseeding. Limestone, fertilizer and seed may be applied in slurry.)
- Contractor shall mulch area (MS) immediately following seeding. (Note: In the event seeding operations are not feasible due to seasonal restrictions or extended inclement weather patterns, the Contractor shall install an Erosion Control Blanket over exposed soils.)

C. PERMANENT SEEDING (PS)

- Contractor shall apply topsoil and fine grade all areas before the application of permanent seed. Apply limestone and fertilizer as needed, in accordance with soil tests.
- Remove all surface stones 1/2 inch and larger. Remove all other debris and rake seed bed.
- Apply seed within 7 days after establishing final grades. See planting plan.

D. HAY BALE BARRIER (HB) - Shall be made of hay or straw with 40 pounds minimum weight and 120 pounds maximum weight, held together by twine or wire. (See detail this sheet.)

E. CONSTRUCTION ENTRANCE (CE) - Shall be an angular stone (DOT Standard Spec Section M.01.01 size #3) pad, a minimum of 12' wide and 50' long. (See detail this sheet.)

F. EROSION CONTROL BLANKET (ECB) - Erosion mat shall be placed on all exposed cut/fill slopes steeper than 3:1 (including swales & ditches) to protect against rainfall and hold moisture content to enhance vegetation growth in seeded areas. Mat (or blankets) shall be straw or straw/coconut fiber combination sewn together with lightweight netting. Use North American green. S150 - slopes up to 3:1, SC150-slopes from 3:1 up to 2:1 or greater. Temporary hay mulch to be applied to areas less than 3:1 slope and all areas to be left barren over the winter, mulch rate to be 70 pounds/1000 s.f.

4. APPLICATION/GENERAL PROCEDURES

- Soil erosion and sediment control measures will be installed prior to any site disturbance, and development will proceed according to a specific construction sequence. The objective is to maximize the reduction of sediment-laden runoff through implementation of conventional soil sedimentation and erosion control practices currently recommended by the 2002 "CT Guidelines for Soil Erosion and Sediment Control".
- Earthwork will be scheduled for periods when soil saturation is low and Soil loss hazard is at a minimum.
- Suspend earthwork for major storm events and implement additional sedimentation and erosion control measures as necessary.
- There shall be no cuts or fill left exposed for longer than 30 days. The established procedure of temporarily seeding and/or cover with erosion protection (mat or hay) shall be followed to insure minimal soil loss.

5. MONITORING AND MAINTENANCE PROGRAM

- For the duration of the project construction, the Contractor shall maintain all sedimentation and erosion control devices to insure their efficient operation.
- The responsibility for performing periodic checks of the protection system in-place and to coordinate cleaning and repair operations shall be assigned to the General Contractor's project representative.
- All sedimentation and erosion control devices shall be checked for the adequacy of the control systems prior to severe storm weather forecasts. Inspect control system during and after storms to determine necessary repairs.
- Repairs to sedimentation control systems directed by the project representative shall be done within 24 hours of the directive or as soon as possible prior to storm warnings.
- Replacement materials for the devices utilized must be readily available for repairs.
- Clean sedimentation and erosion control devices as directed by the projects representative.
- Placement of temporary sedimentation and erosion control devices that are not shown on plans, but are required due to Contractor's operations, shall be placed at the direction of the projects representative.
- Dust control and off-site debris caused by the Contractor's earthwork operations shall be prevented, or cleaned-up in accordance with the standard state specification "Form 816".

6. SPECIFIC MAINTENANCE MEASURES SHALL BE AS FOLLOWS:

A. GEOTEXTILE SILT FENCE (GSF) - Inspect GSF at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the fence within 24-hours of observed failure.

B. HAY BALE BARRIER (HB) - Inspect HB at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the hay bales within 24-hours of observed failure.

C. CONSTRUCTION ENTRANCE (CE) - Maintain the entrance in a condition which will prevent tracking and washing of sediment onto paved surfaces. Provide periodic top dressing with additional stone or additional length as conditions demand. Repair any measures used to trap sediment as needed. Immediately remove all sediment spilled, dropped, washed or tracked onto paved surfaces. Roads adjacent to a construction site shall be left clean at the end of each day.

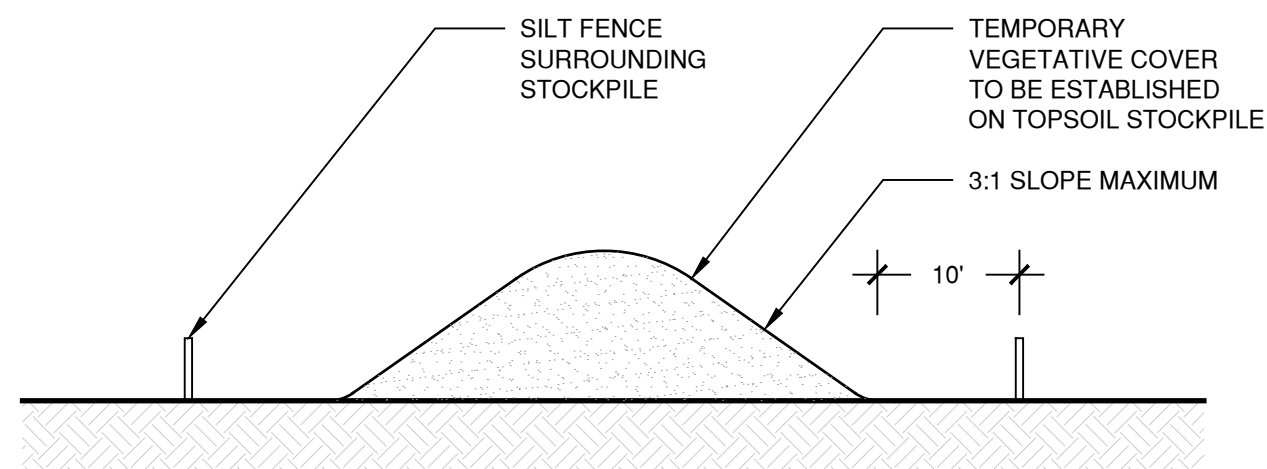
If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone pad is not sufficient to remove the majority of the sediment, then either (1) increase the length of the construction entrance, (2) modify the construction access road surface, or (3) install washing racks and associated settling area or similar devices before the vehicle enters a paved surface.

D. SEEDING (TEMPORARY & PERMANENT)

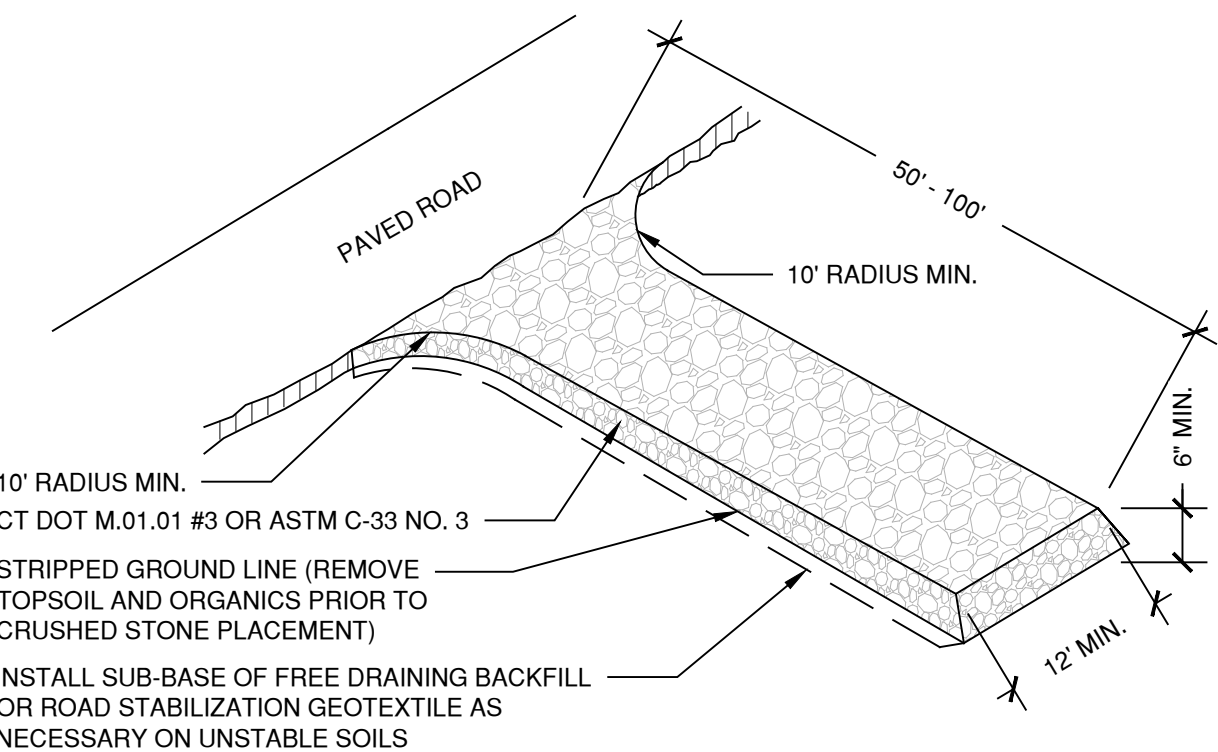
Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Bird feeding may be a problem if mulch was applied too thinly to protect seed. Re-seed and re-mulch. If movement was the result of wind, then repair erosion damage (if any), reapply seed and mulch and apply mulch anchoring. If failure was caused by concentrated runoff, install additional measures to control water and sediment movement, repair erosion damage, re-seed and re-apply mulch with anchoring or use Temporary Erosion Control Blanket measure.

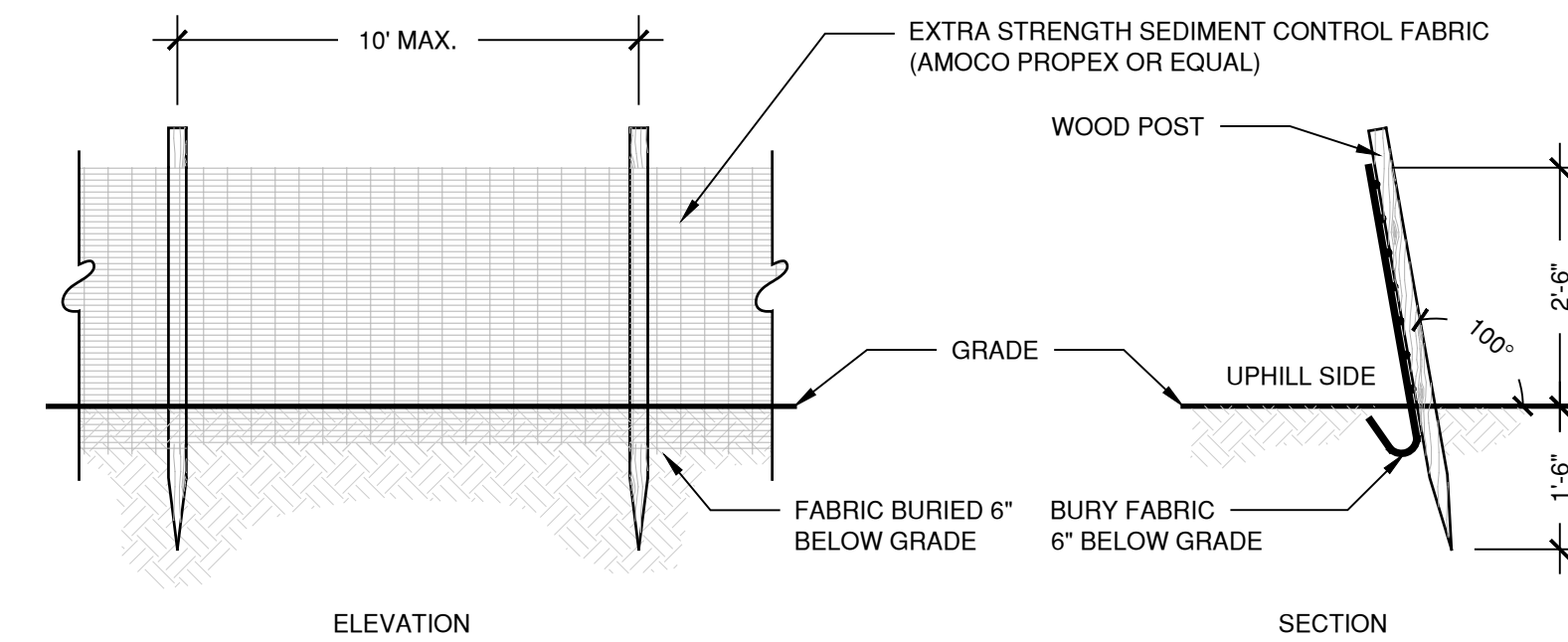
Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative surface cover).



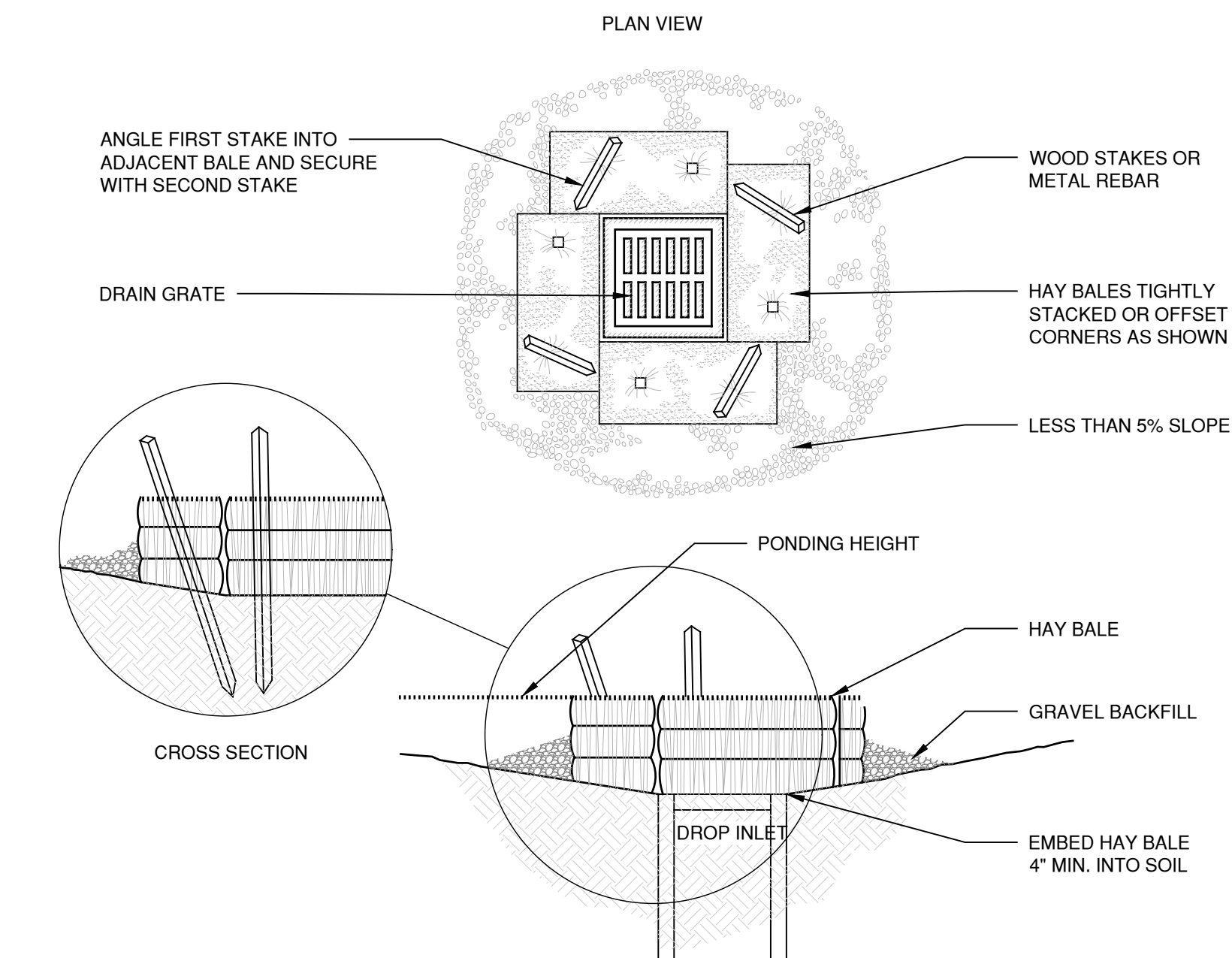
1 TOPSOIL STOCK PILE AREA
N.T.S.



2 CONSTRUCTION ENTRANCE (CE)
N.T.S.

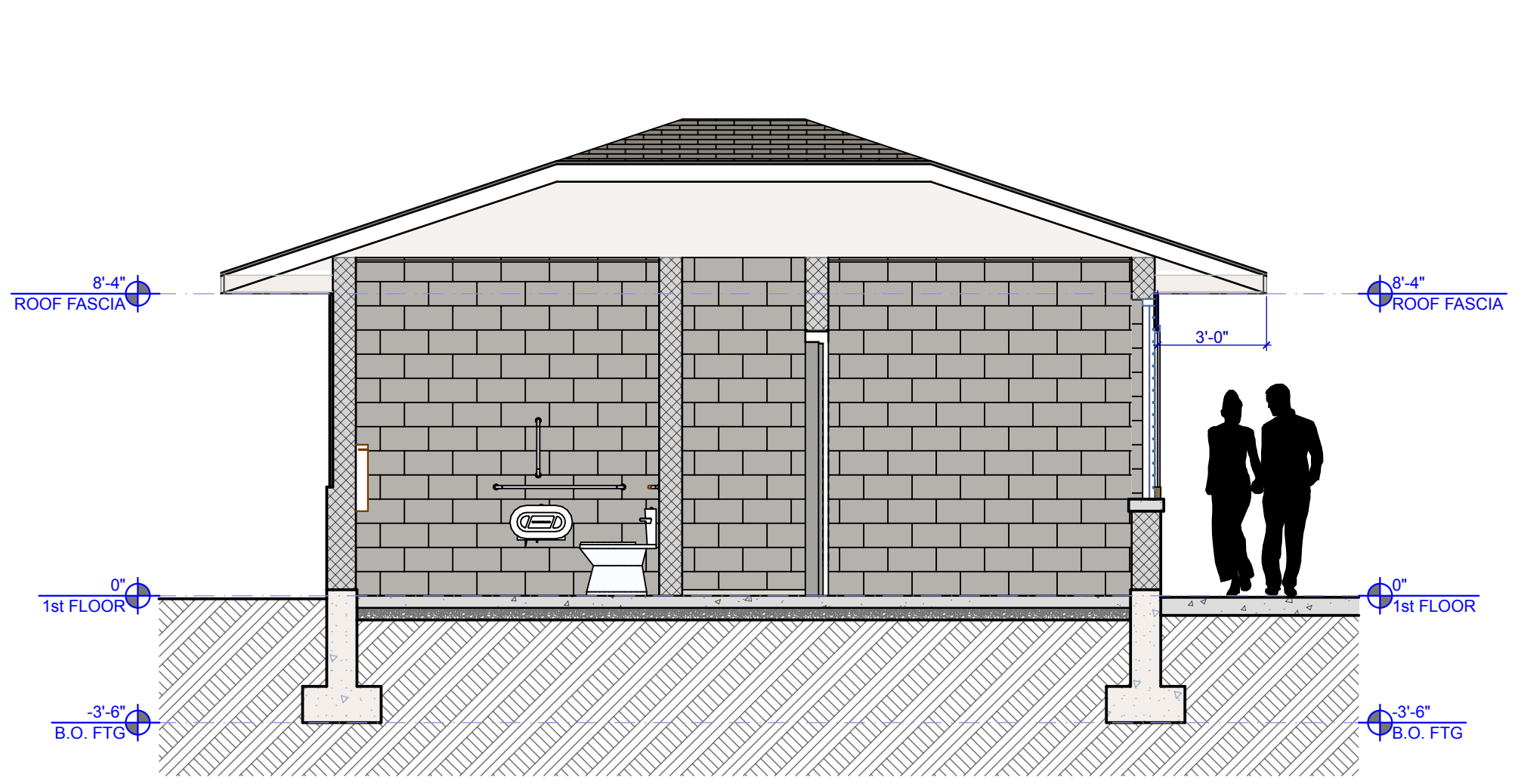


3 GEOTEXTILE SILT FENCE (GSF)
N.T.S.

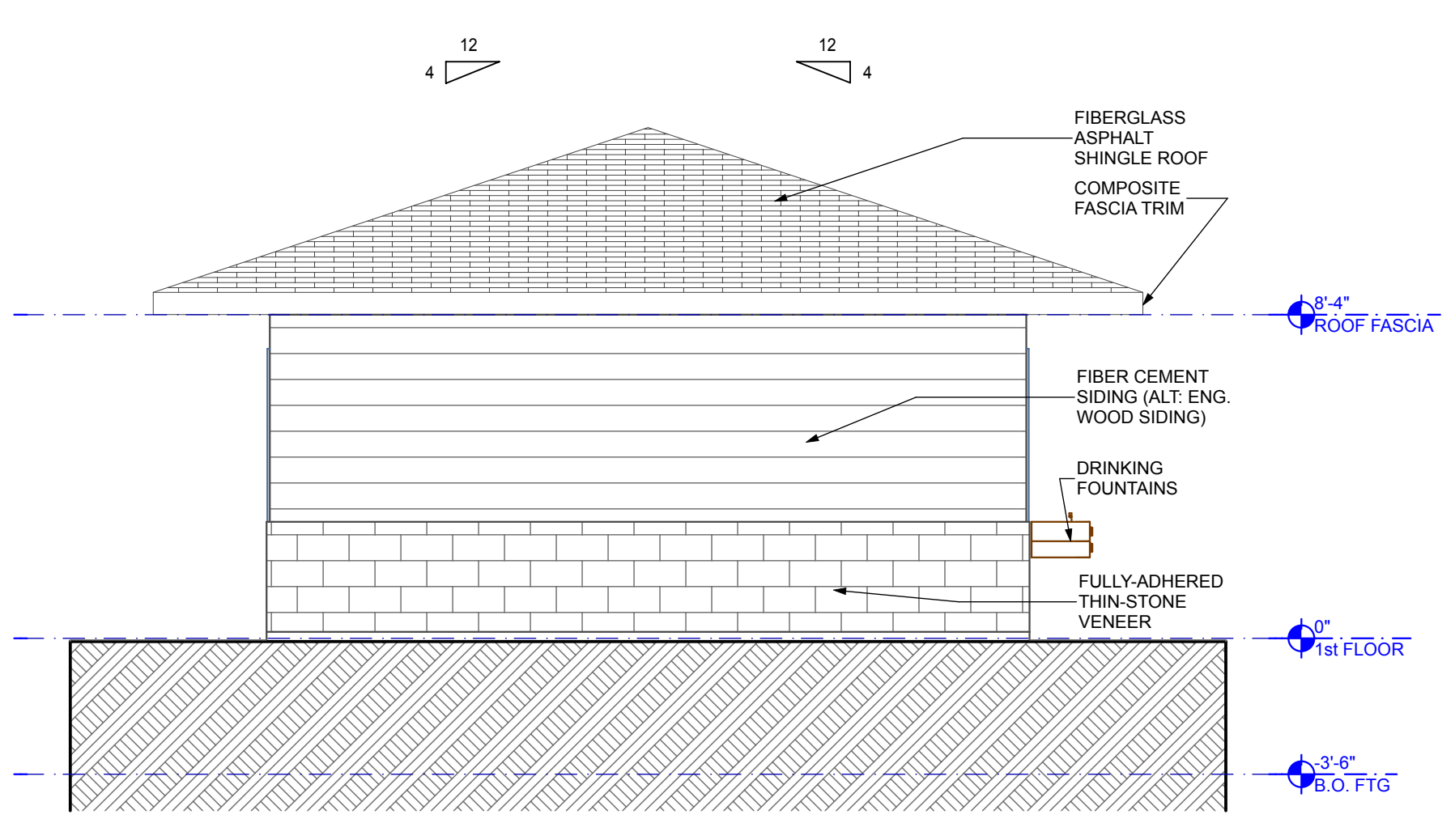


4 HAY BALE BARRIER AT CATCHBASIN (HB)
N.T.S.

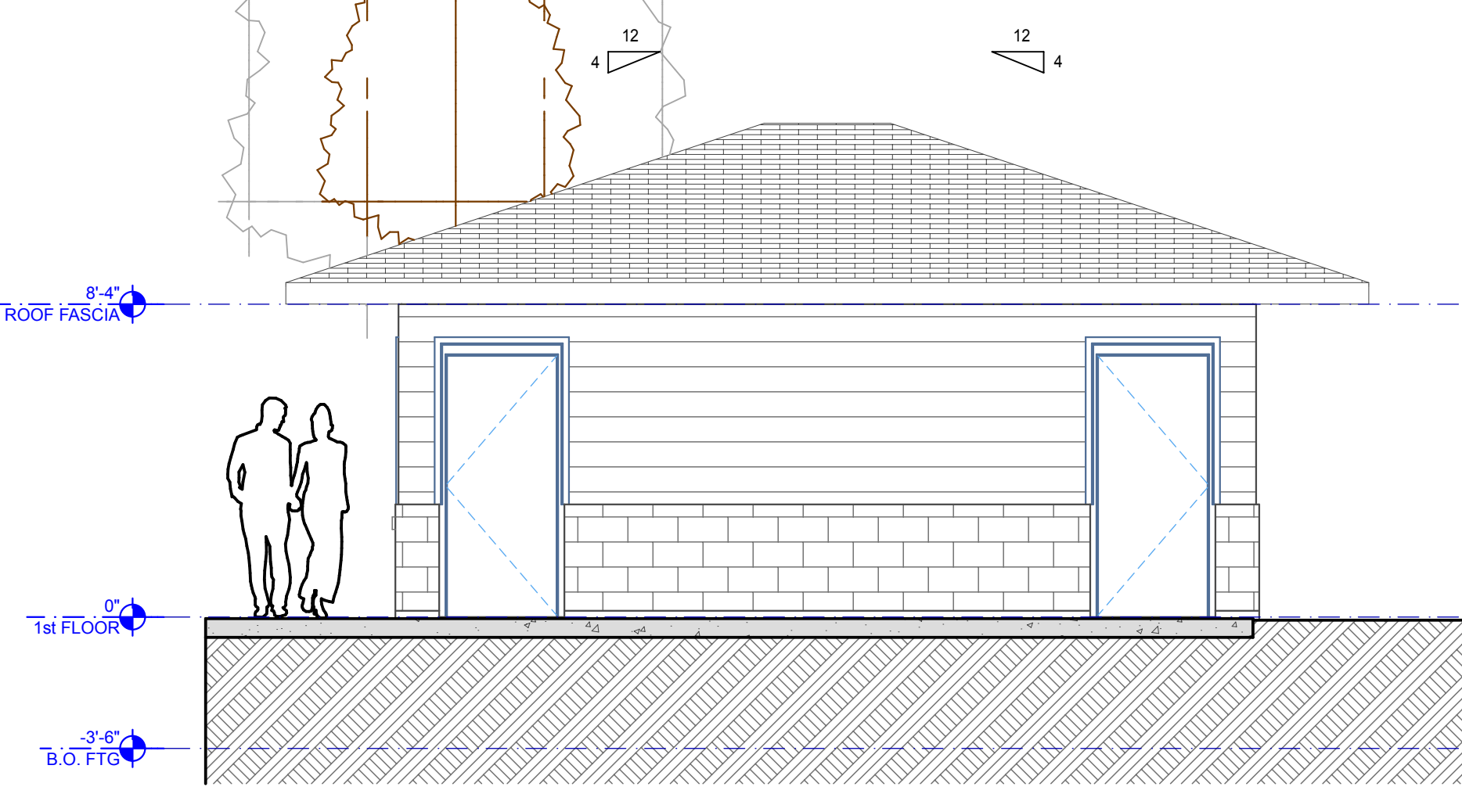




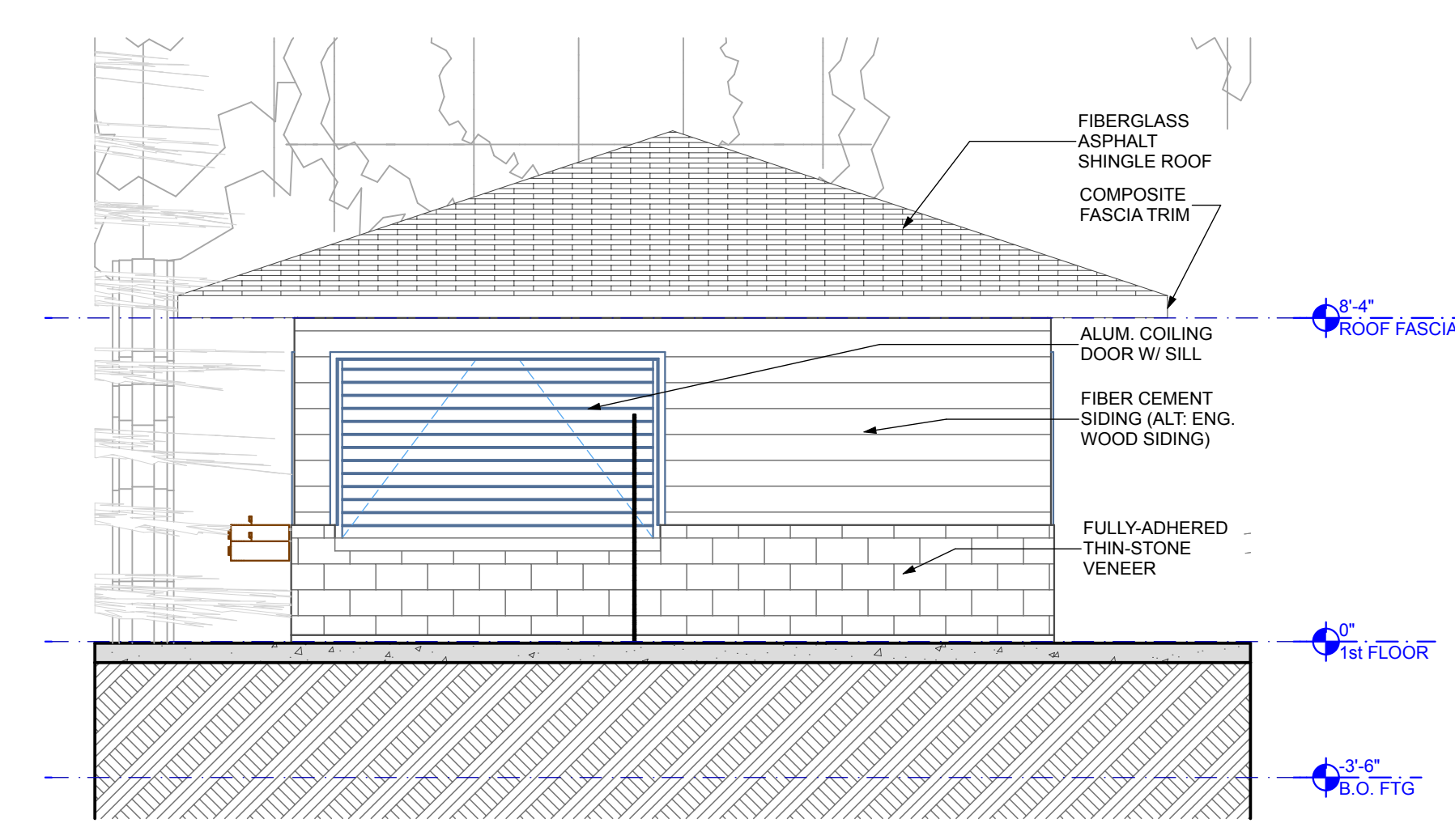
4 N- S BUILDING SECTION
A-111 SCALE: 1/4" = 1'-0"



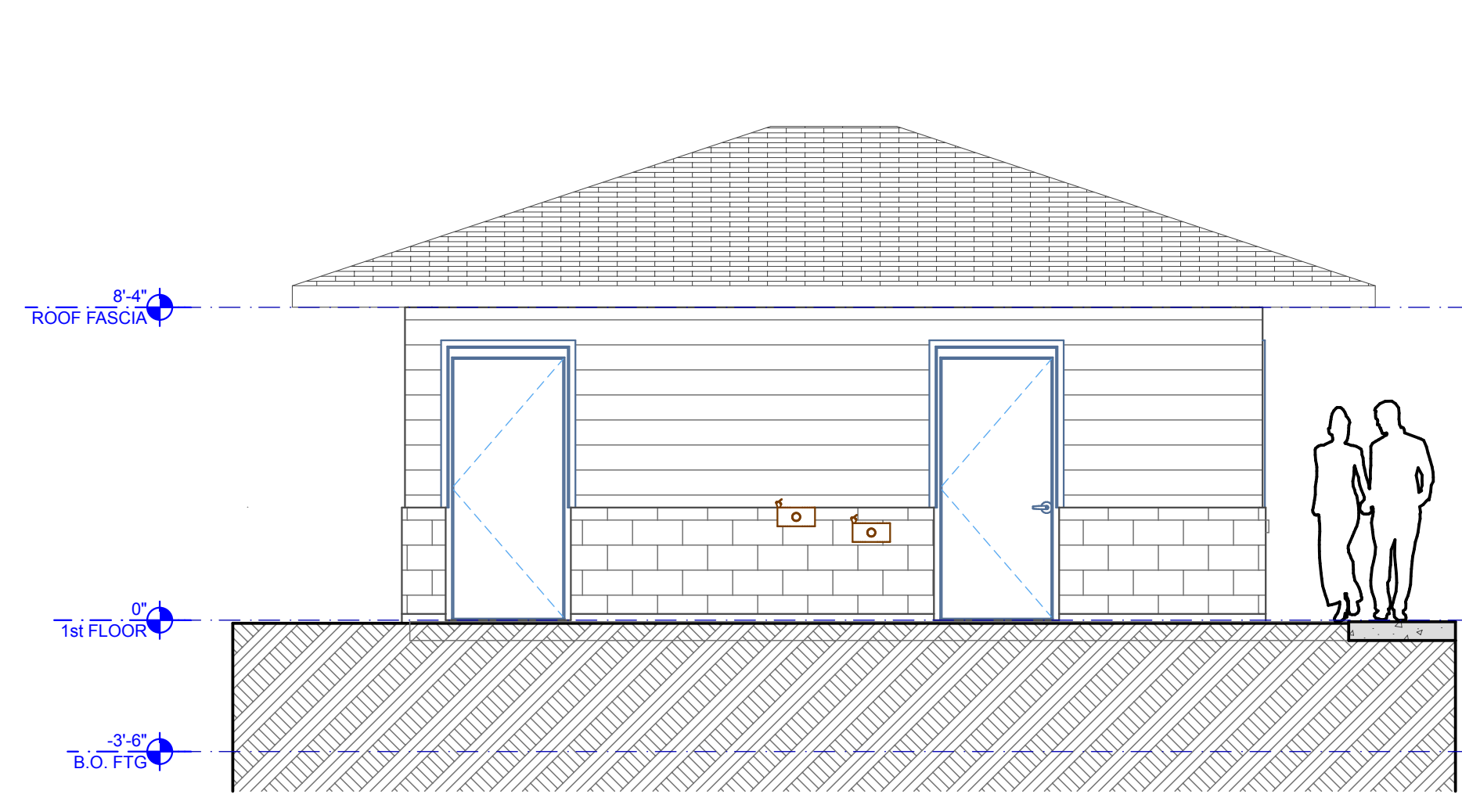
3 NORTH ELEVATION
A-111 SCALE: 1/4" = 1'-0"



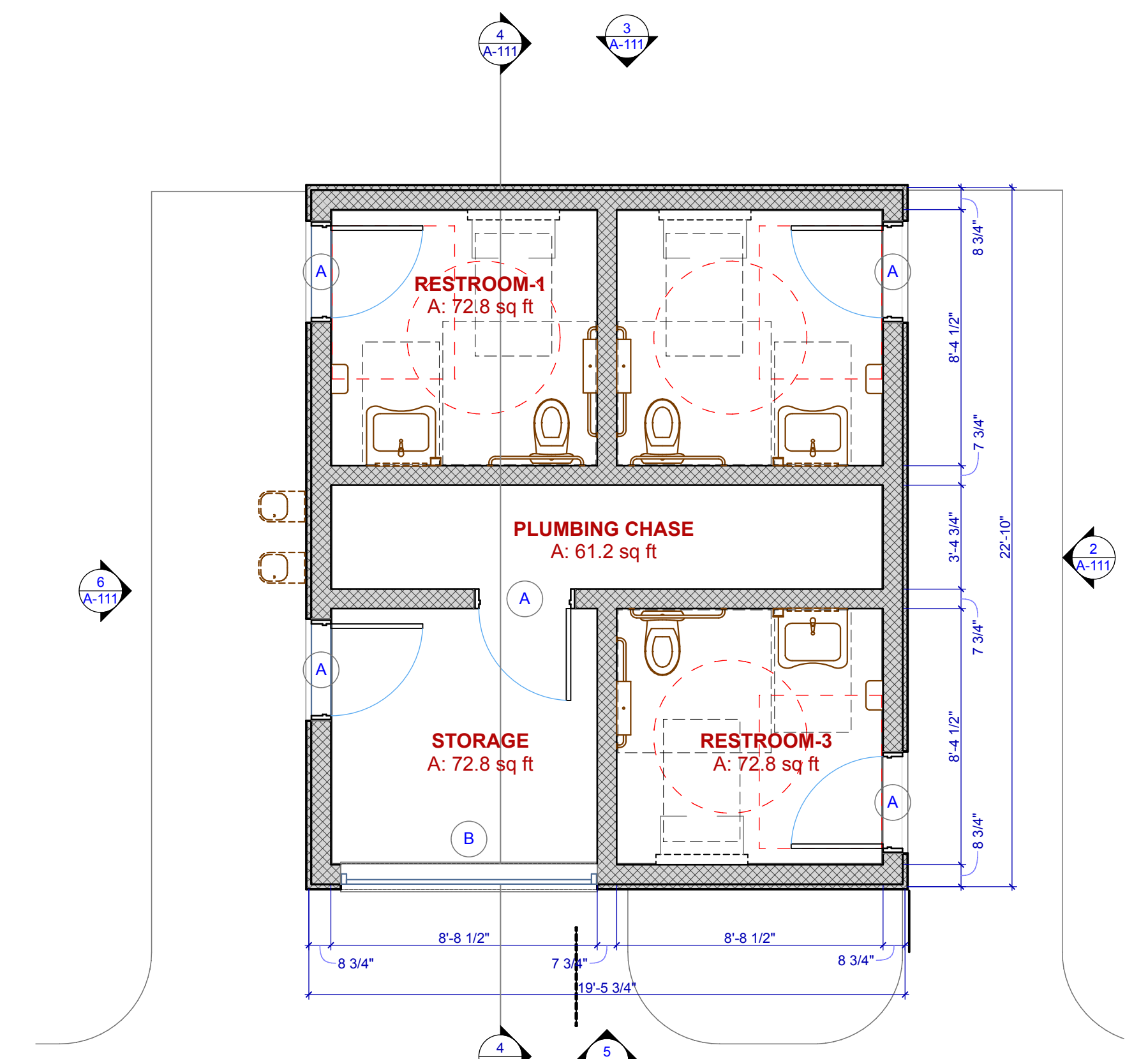
2 EAST ELEVATION
A-111 SCALE: 1/4" = 1'-0"



5 SOUTH ELEVATION
A-111 SCALE: 1/4" = 1'-0"



6 WEST ELEVATION
A-111 SCALE: 1/4" = 1'-0"



1 1st FLOOR CONSTRUCTION PLAN
A-111 SCALE: 1/4" = 1'-0"



7 3D PERSPECTIVE VIEW - 1
A-111 NOT TO SCALE



8 3D PERSPECTIVE VIEW - 2
A-111 NOT TO SCALE