

MEMORANDUM

TO: Gary Goeschel, East Lyme Town Planner
cc: Jen Lindo
Paul Geraghty, Esq.

FROM: Kristen Clarke, PE

DATE: August 4, 2020

RE: Re-Subdivision – Nottingham Hills Lots 19 & 21

Enclosed please find the following submissions which should be added to the record of the above referenced application:

Exhibit OO: Information regarding the GST Leaching Systems addressed in the July 27, 2020 Public Hearing. We are proposing the use of these systems because they are the most environmentally friendly product available on the market and for no other reason.

Exhibit PP: Photographs of homes located within the Nottingham Hills subdivision that have similar side yard setback spacing as those proposed by the pending application.

THE FOLLOWING EXHIBITS ARE BEING SUPPLIED TO ADDRESS THE FALSE CLAIMS MADE BY CHRISTINE STAHL, AND POSSIBLY OTHERS, IN THE LETTER ON RECORD OF THIS APPLICATION IDENTIFIED AS EXHIBIT J

Exhibit QQ: Plans Submitted to Approved by the East Lyme Conservation Commission in 2002.

Exhibit RR: Letter from Attorney Mark Block Esq, Legal Counsel to the Town of East Lyme, dated October 3, 2008 and addressed to the Town of East Lyme's Insurance carrier

Exhibit SS: Names of the Town Employee's not identified in Exhibit RR

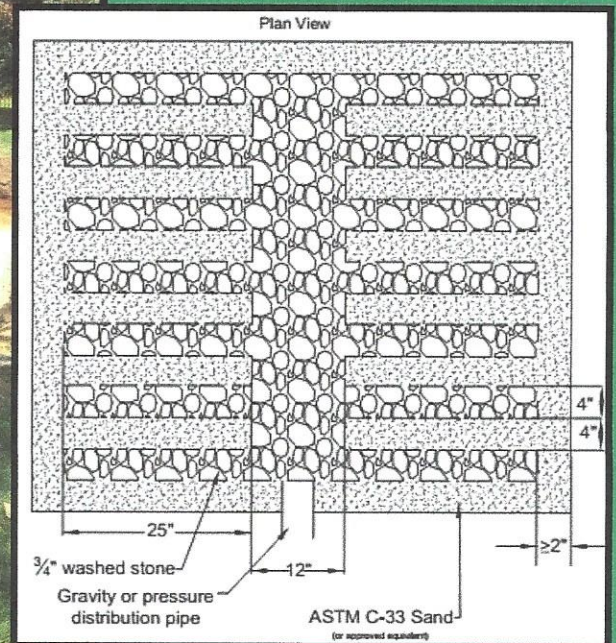
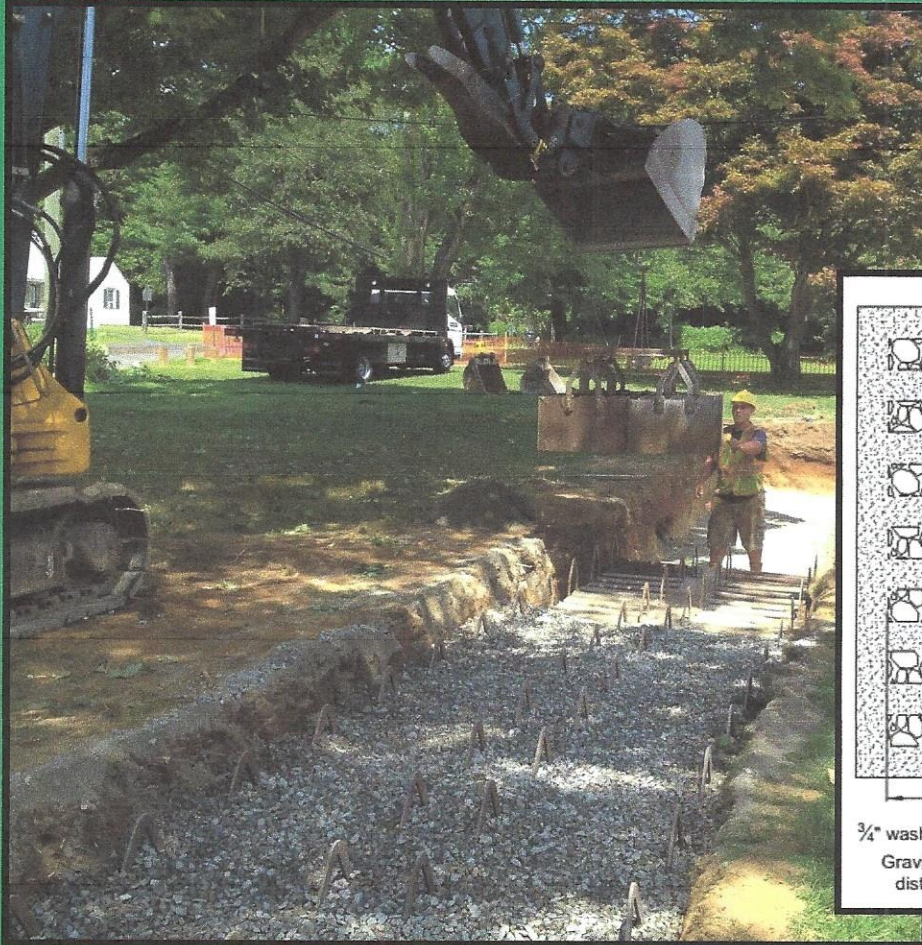
Exhibit TT: Section 7-3 of the Subdivision Regulations that refers to Open Space Conveyance. We would note that this does not apply to this Re-Subdivision as all required Open Space has already been provided, and then some, and

any further dedication of Open Space Land is a voluntary gift and not a requirement.

- Exhibit UU: Memo from Meg Parulis, Director of Planning to East Lyme Board of Selectman regarding acceptance of Open Space for Nottingham Hills Subdivision
- Exhibit VV: Building Plans for Proposed Lots which are consistent in size and appearance to existing homes
- Exhibit WW Assessors Cards for Property Owners identified in Ex. J.
- Exhibit XX Subdivision Plan showing 4 Upper Kensington Drive (Stahl). This exhibit is provided to demonstrate Mrs. Stahl materially omitted the fact that even though her lot is 1.95 acres in size nearly 70 % of it is subject to a Conservation Easement held by the East Lyme Land Trust, Inc.

EXHIBIT OO

GST™ Leaching System



A unique leaching system that delivers enhanced oxygen transfer in a shallow profile and a small footprint.

GEOMATRIX 

GST Leaching System (GST) is an adaptation of the time proven stone leaching trench. This traditional leaching system has been improved with the use of a removable form to accurately shape and construct leaching fingers along the sides of a central distribution channel. The fingers are constructed with 3/4" washed stone and are surrounded with ASTM C-33 sand. These fingers serve to increase the sidewall surface area by more than six times that of a traditional stone leaching trench. Additionally, the narrow profile of the leaching fingers and central distribution channel, combined with the uniform profile of the sand treatment media, serve to enhance oxygen transfer efficiencies. Enhanced oxygen transfer results in better treatment of the wastewater pollutants and a leach field with a longer life-span. Certain leaching systems have cardboard forms that remain in place around the leaching system, inhibiting the transfer of wastewater from the leaching system to the soil, GST has direct stone to soil contact for enhanced long-term performance. This is the same design that the time proven stone leaching trench utilizes. GST can be configured with standard gravity, pressure and/or time dosed distribution.



GST Leaching System

- Improvement over time-proven stone and pipe technology
- Greater surface area in less space
- Maximizes wastewater aeration
- 3rd party tested
- Central channel uniformly distributes wastewater
- Proven with high strength wastewater
- Fast and easy installation
- Uses local materials

GEOMATRIX



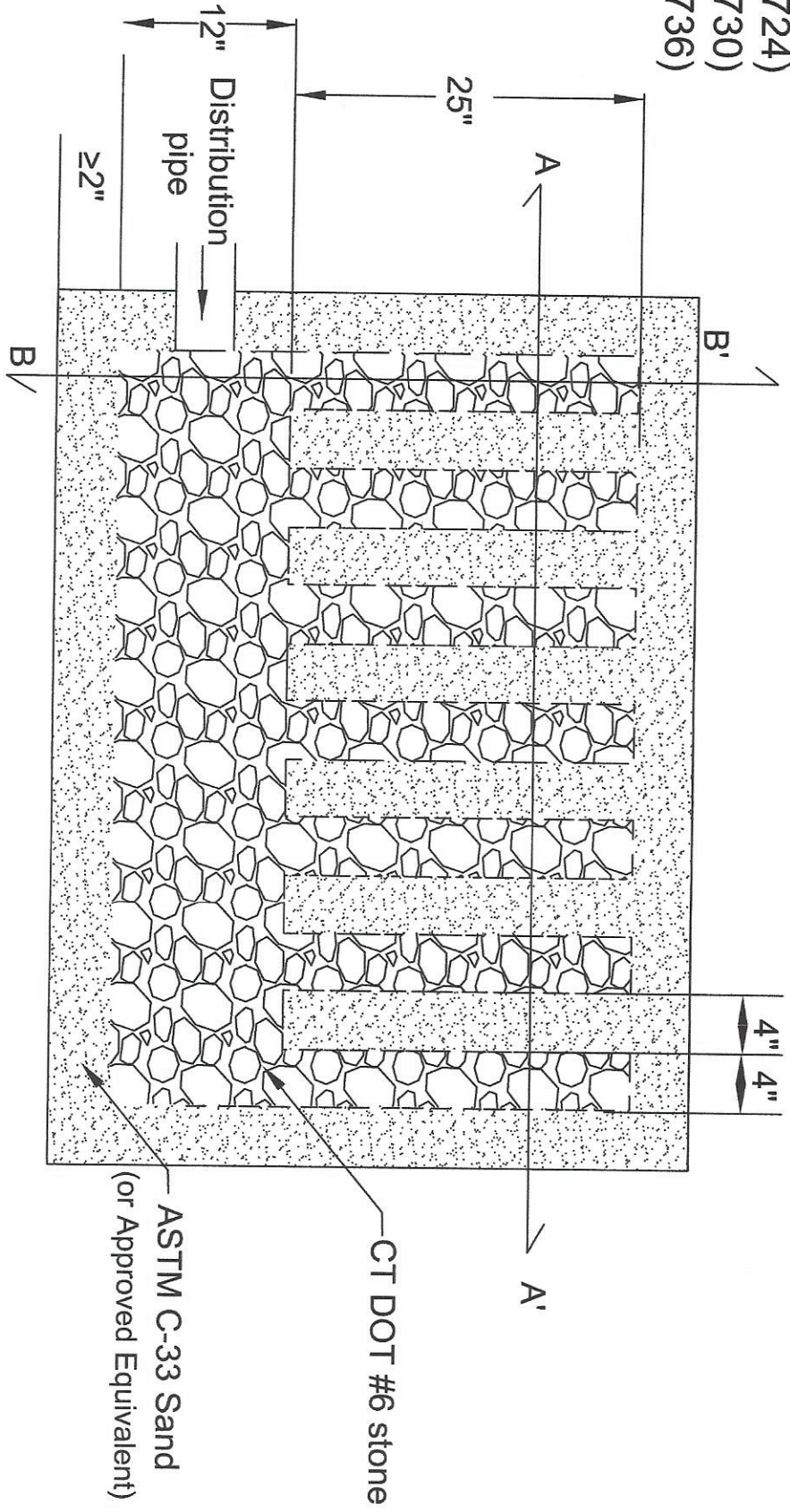
www.geomatrixsystems.com
Email: info@geomatrixsystems.com

Phone: 860-510-0730
Fax: 860-510-0735
114 Mill Rock Road East
Old Saybrook, CT 06475

Patents: www.geomatrixsystems.com
GST is a trademark of Geomatrix Systems, LLC
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GEOMATRIX GST™ 37 SERIES LEACHING SYSTEM Plan View

- 6" (GST3706)
- 12" (GST3712)
- 18" (GST3718)
- 24" (GST3724)
- 30" (GST3730)
- 36" (GST3736)



Distribution Pipe:
 SDR 35 or Schd. 40, ASTM D-1785 PVC pipe for gravity applications
 Schd. 40, ASTM D-1785 PVC pipe for pressure applications

Copyright 2010 Geomatrix Systems, LLC
 Manufactured under one or more of the following
 US Patent Number 7,374,670, 7,465,390, 7,351,005
 Other patents pending

GST 37 SERIES LEACHING SYSTEM
 Plan View

Geomatrix Systems, LLC., Old Saybrook, CT
 860-510-0730

SCALE	NONE	REV.	B-9/09/10
DATE	9/09/2010	ACAD No.	GST37 PLAN VIEW.DWG

Drawn By: EDP Sheet 1 of 2



STATE OF CONNECTICUT

DEPARTMENT OF PUBLIC HEALTH

February 7, 2008

David Potts
Geomatrix Systems, LLC
385 Roast Meat Hill Road
Killingworth, CT 06419

Re: Geomatrix GST Leaching System Product Approval

Dear Mr. Potts:

This Department has reviewed the documentation you submitted on the Geomatrix GST proprietary leaching systems. The installation of the GST leaching systems requires use of a removable form provided by Geomatrix. After placement of the form in a sand bedded trench excavation, No. 6 stone (Previously $\frac{3}{4}$ " stone) and sand are placed within the form voids. The form is then removed leaving a series of stone and sand "fingers". The sand must minimally meet ASTM C-33 or select fill specifications. The No. 6 stone must meet the gradation requirements in DOT Form 816, and the #40 and #200 sieve gradation, hardness and soundness criterion included in the stone aggregate definition in the Technical Standards.

The standard width of the GST products is 62 inches. The product is placed in an excavation that is at least 66-inch wide to allow placement of sand on the sides of the product. The product is placed on at least a 2-inch deep bed of sand. Effluent is distributed into the product via at least a 3-inch perforated distribution pipe (for gravity systems) set along top of the product extending the entire product length. Stone is placed around the distribution pipe, and filter fabric is placed over the product and distribution pipe.

A total of six different GST products of various heights have been submitted for approval. The specified product heights do not include the height of the distribution pipe on top of the product. The calculated ELA credits for the Geomatrix GST leaching systems are as follows:

Product Name	Dimensions (W x H)	Effective Leaching Credit (SF/LF)	Center to Center Spacing (feet)
GST 6206	62" x 6"	5.9	12
GST 6212	62" x 12"	10.0	12
GST 6218	62" x 18"	14.0	13
GST 6224	62" x 24"	18.1	13
GST 6230	62" x 30"	22.1	13
GST 6236	62" x 36"	26.2	13

Phone: (860) 509-7296



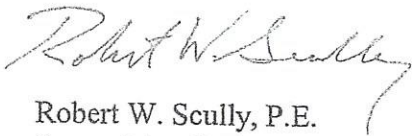
Telephone Device for the Deaf: (860) 509-7191
410 Capitol Avenue - MS # 51-SEW
P.O. Box 340308 Hartford, CT 06134

Affirmative Action / An Equal Opportunity Employer

Installation instructions were provided to this Department and are dated February 7, 2008. The installation instructions indicate that the GST products can be installed under vehicular wheel loading areas (H-20) as long as 12 inches of cover is provided over the product, and the use of a load distribution system is recommended to prevent compaction of the infiltrative surface. The installation instructions also stipulate that installations of GST products must be completed in the presence of an authorized Geomatrix representative or Geomatrix Systems, LLC, must certify the installer. Any changes to these instructions must be forwarded to this office for our files.

This Department hereby APPROVES the Geomatrix GST leaching system products with the noted ELA credits and center-to-center spacing. The Geomatrix GST proprietary leaching system products will be incorporated into the next revision of the Technical Standards. This letter may be reproduced in its entirety as a means of notifying local health departments, engineers and installers of the product approval. This Department will also be sending an electronic copy of this approval to all Local Directors of Health and our Code Advisory Committee. This approval should not be construed to be an endorsement of this product.

Sincerely,



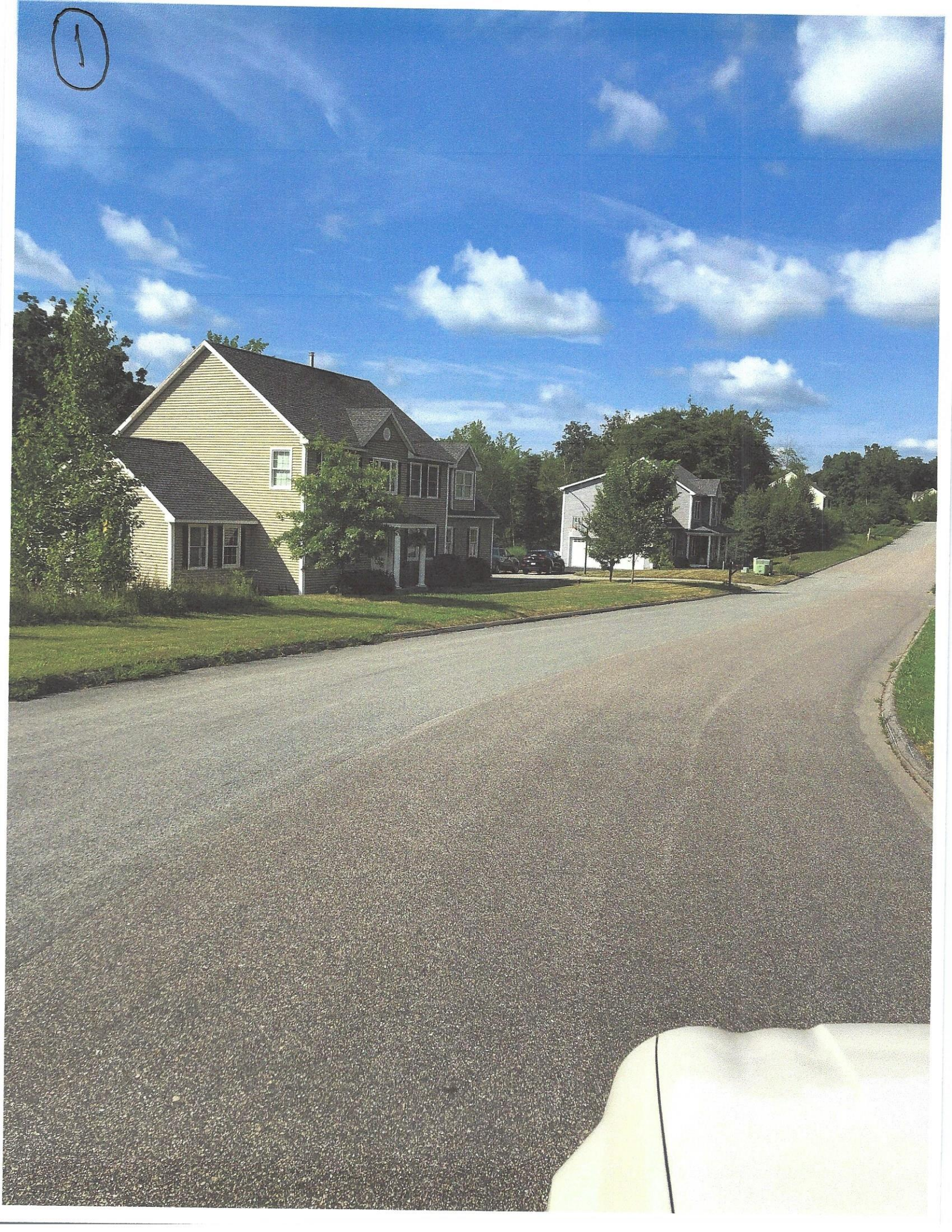
Robert W. Scully, P.E.
Supervising Sanitary Engineer
Environmental Engineering Program

C: Suzanne Blancaflor, Chief, Environmental Health Section, RSB, DPH

C/bob/GeomatrixGSTapproval

EXHIBIT PP

1



2



3



EXHIBIT QQ

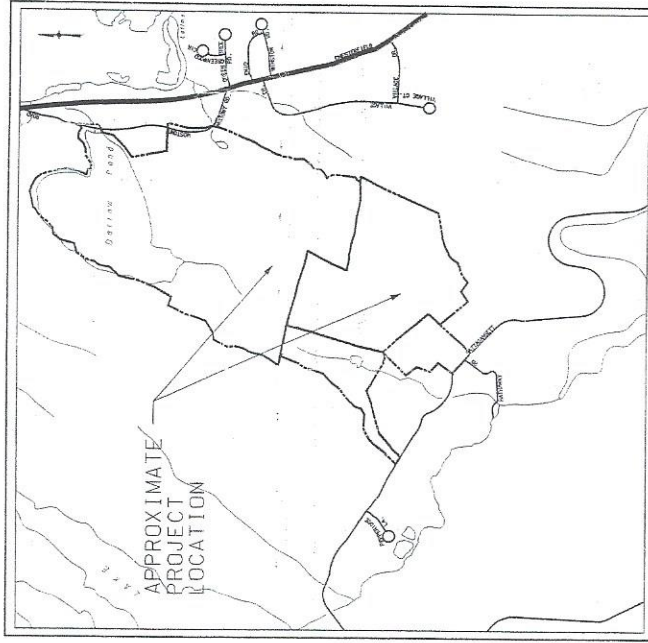
NOTTINGHAM HILLS SUBDIVISION - PHASE II

CONSERVATION COMMISSION APPLICATION PROPOSED RESIDENTIAL COMMUNITY

EAST LYME, CONNECTICUT

LEGEND TO PLAN SHEETS

- EXISTING CONTOURS
- PROPOSED CONTOUR - PUBLIC IMPROVEMENTS
- PROPOSED CONTOUR - DEVELOPMENT FEASIBILITY
- EXISTING TREE LINE
- EXISTING STONE WALL
- LIMIT OF WETLANDS
- 75' WETLAND SETBACK LINE
- WATERCOURSE
- EXISTING PROPERTY LINE
- EASEMENT LINE
- PROPERTY SETBACK LINE
- MINIMUM SQUARE
- PROPOSED SEDIMENT BARRIER
- EXISTING STORM DRAINAGE
- PROPOSED STORM DRAINAGE
- EXISTING STREET LINE MONUMENTS
- PROPOSED STREET LINE MONUMENTS
- POSSIBLE WELLS LOCATION
- PROPOSED PRIMARY LEACHING AREA
- PROPOSED SECONDARY LEACHING AREA
- POSSIBLE WELL LOCATION
- PROPOSED REPAIR PLUMBING POOL - DITCH OR SEWER PROTECTION
- DEEP TEST PIT LOCATION & NUMBER
- PERCOLATION TEST LOCATION AND NUMBER



SITE LOCATION

SCALE: 1" = 800'

APPLICANT:

NIANTIC REAL ESTATE, LLC
P. O. BOX 452
EAST LYME, CT 06333
(860) 691-0613

CONSULTANT:



Anchor Engineering Services, Inc.
75 Nutmeg Lane, Glastonbury CT 06033
Tel (860) 633-8770 Fax (860) 633-5971

FLOOD ZONE

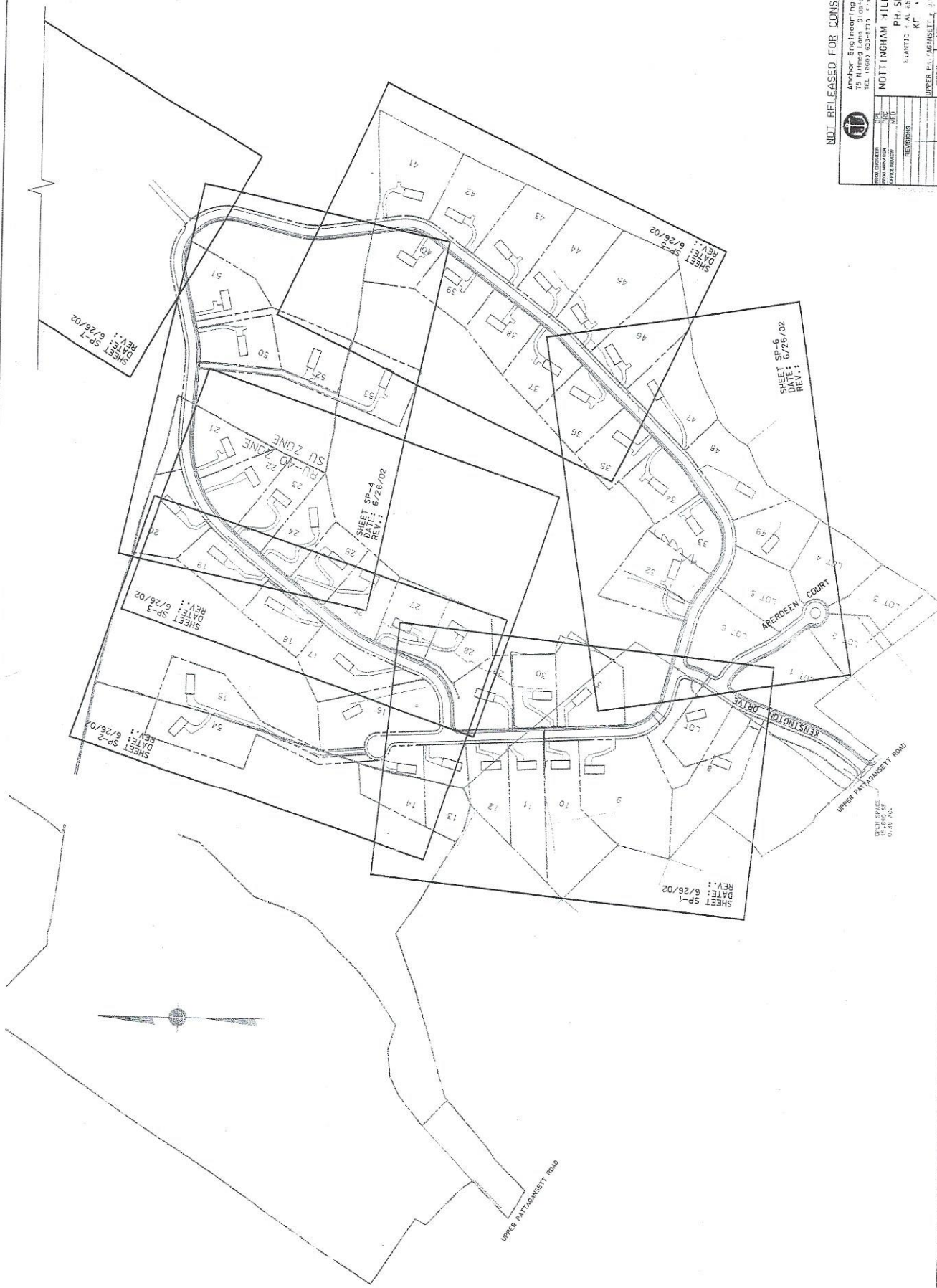
SHADING PARCEL IS OUTSIDE OF ZONE A (100 YEAR) PER FEMA MAP

LIST OF DRAWINGS

TITLE SHEET	SHEET
KEY MAP	T-1
SOIL TYPES	K-1
SITE PLANS	S-1 TO S-2
EROSION & SEDIMENTATION CONTROL DETAILS	SP-1 TO SP-7
DETAILS	ES-1 TO ES-2
SOIL TESTING	D-1
	TP-1

ZONING COMPLIANCE TABLE

PROPERTY USE	CLUSTER/OPEN SPACE RESIDENTIAL HOUSING
ZONE	RH-40
MINIMUM LOT SIZE	40,000 SF
MINIMUM FRONTYARD SETBACK	20 FEET
MINIMUM SIDERYARD SETBACK	15 FEET
MINIMUM REARYARD SETBACK	20 FEET
MAXIMUM BUILDING HEIGHT	50 FEET
AVERAGE LOT COVERAGE	15%
AVERAGE LOT FRONTAGE	100 FEET
MINIMUM BUILDABLE AREA PER LOT	20,000 SF

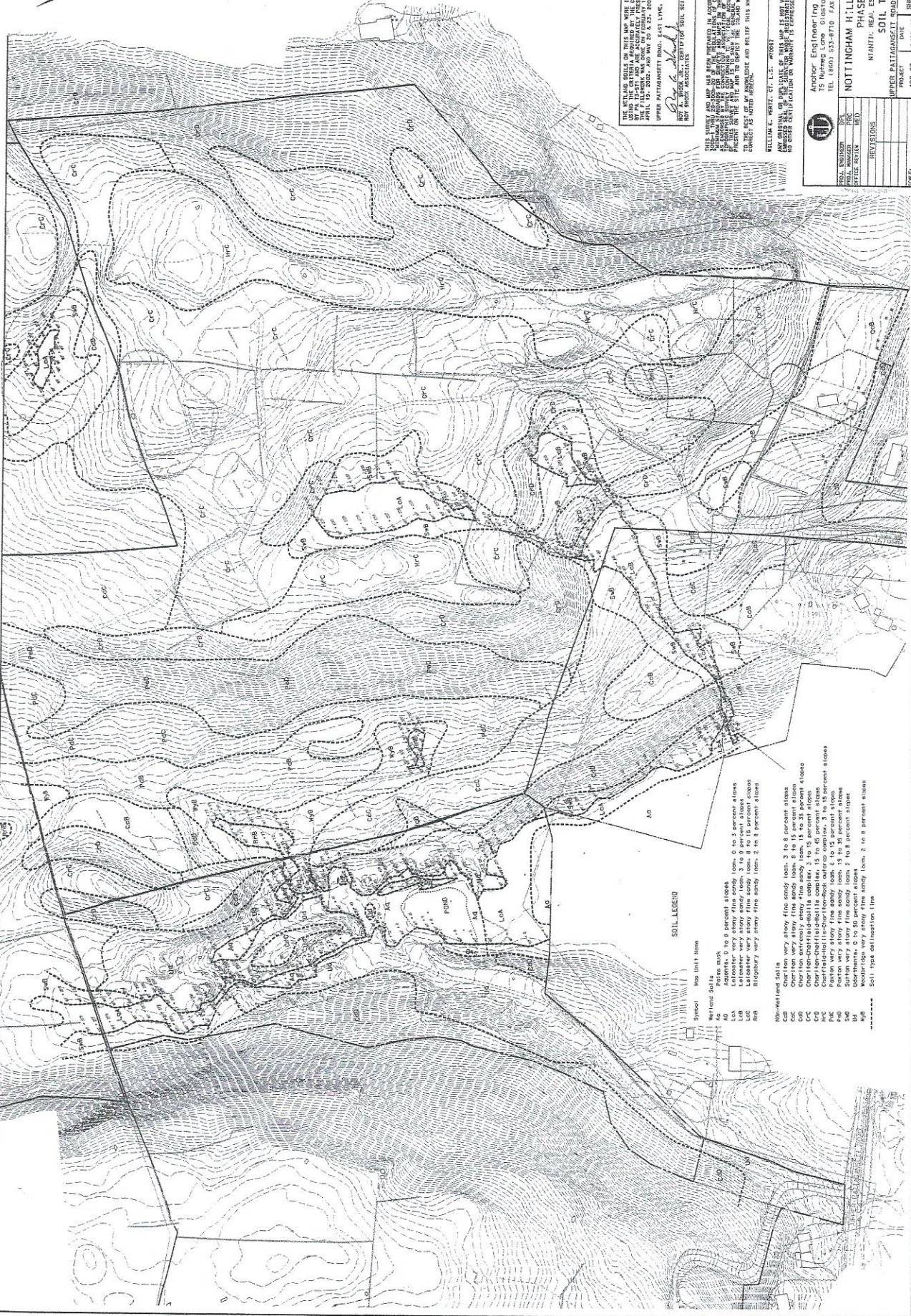


NOT RELEASED FOR CONSTRUCTION

Anchor Engineering Services, Inc. 1000 Main Street, Suite 200 New Britain, CT 06053 TEL: (860) 839-8700 FAX: (860) 839-9011	
NOTTINGHAM HILLS SUBDIVISION PHASE 1 PARTICULAR ASSOCIATE LLC KENTON, CT	
DATE: 6/26/02	DATE: 6/26/02
REV: 1	REV: 1
SCALE: 1"=10'	SCALE: 1"=10'



MATCH LINE SEE SHEET S-2



THIS MAP WAS PREPARED IN ACCORDANCE WITH SECTIONS 20-2A AND 20-2B OF THE CONN. GEN. STAT. AND THE REGULATIONS THEREUNDER. THE FIELD DATA WAS OBTAINED BY THE SURVEYOR AND THE MAP WAS DRAWN BY THE SURVEYOR. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE FIELD DATA OR THE MAP. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE FIELD DATA OR THE MAP. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE FIELD DATA OR THE MAP.

ANY ORIGINAL OR COPY OF THIS MAP IS NOT VALID UNLESS IT BEARS THE SURVEYOR'S SIGNATURE AND SEAL. THE SURVEYOR'S SIGNATURE AND SEAL MUST BE AFFIXED TO THE ORIGINAL OR COPY OF THIS MAP. THE SURVEYOR'S SIGNATURE AND SEAL MUST BE AFFIXED TO THE ORIGINAL OR COPY OF THIS MAP.

NOTTINGHAM HILLS SUBDIVISION
 PHASE I
 SOIL TYPE
 NINTH: BEAL ESTATE, LLC
 UPPER PATUNGASSET ROAD
 PROJECT DATE SHEET NO. S-1
 422-07 6/18/02

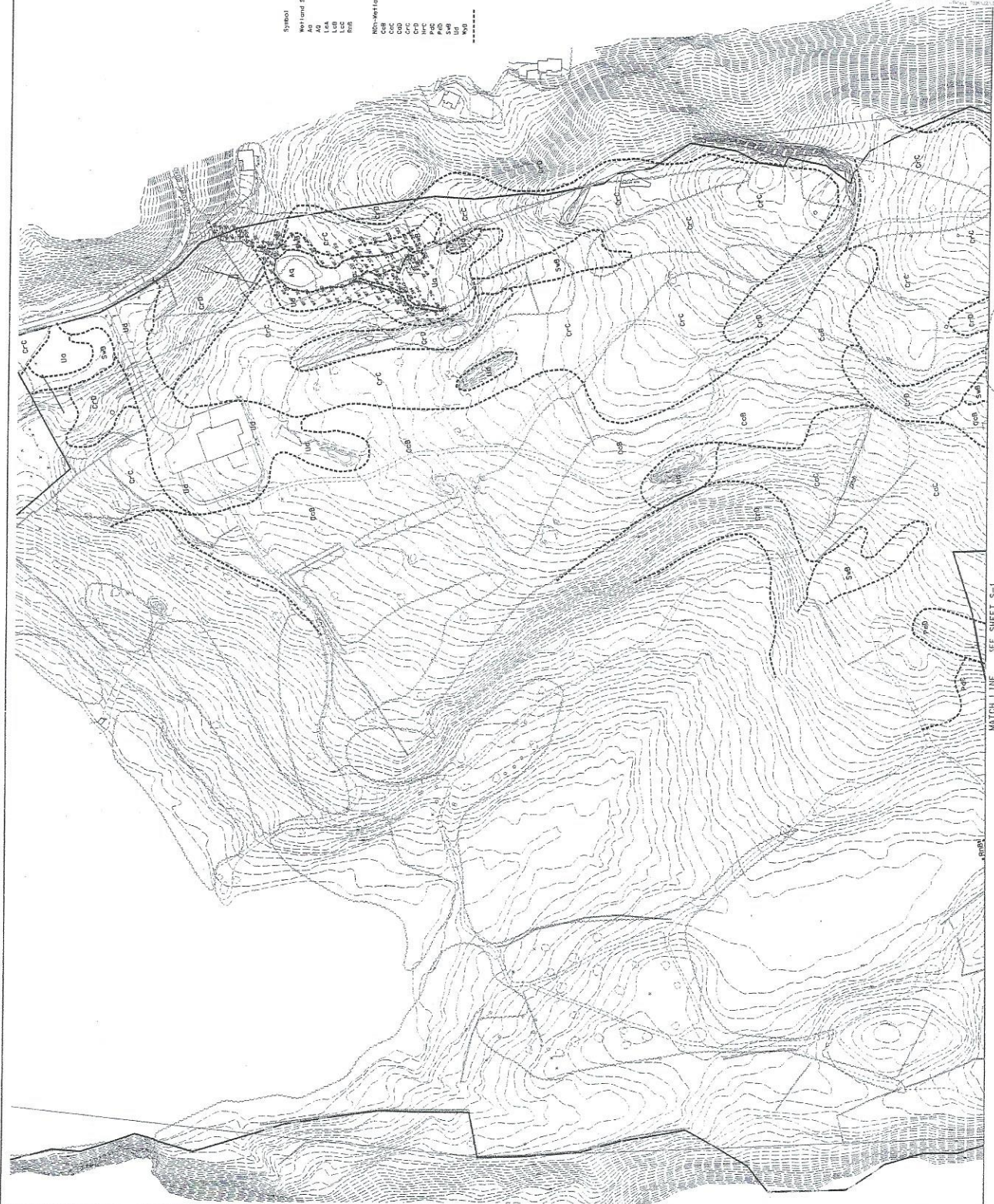
SOIL LEGEND

- Symbol Map Unit Name
- Wetland Status
- Ag Prime stock 0 to 8 percent slopes
- LA Late serotiny pine 0 to 8 percent slopes
- L2 Late serotiny pine 0 to 8 percent slopes
- L3 Late serotiny pine 0 to 8 percent slopes
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SOIL LEGEND

- Symbol Map Unit Name
- Welland Soils
- As Peaty muck
 - Lea Leachier very stony fine sandy loam, 0 to 3 percent slopes
 - LcB Leachier very stony sandy loam, 3 to 8 percent slopes
 - LcC Leachier very stony fine sandy loam, 8 to 15 percent slopes
 - RcB Rippebury very stony fine sandy loam, 2 to 8 percent slopes
- Non-Welland Soils
- ChB Chertion very stony fine sandy loam, 3 to 8 percent slopes
 - ChC Chertion very stony fine sandy loam, 8 to 15 percent slopes
 - ChD Chertion extremely stony fine sandy loam, 15 to 35 percent slopes
 - ChE Chertion (Chertion) chertion, 3 to 15 percent slopes
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 - ChS Chertion (Chertion) chertion, 3 to 15 percent slopes
 - ChT Chertion (Chertion) chertion, 3 to 15 percent slopes
 - ChU Chertion (Chertion) chertion, 3 to 15 percent slopes
 - ChV Chertion (Chertion) chertion, 3 to 15 percent slopes
 - ChW Chertion (Chertion) chertion, 3 to 15 percent slopes
 - ChX Chertion (Chertion) chertion, 3 to 15 percent slopes
 - ChY Chertion (Chertion) chertion, 3 to 15 percent slopes
 - ChZ Chertion (Chertion) chertion, 3 to 15 percent slopes
- ***** Soil type delineation line



THIS MAP AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-10 AND 20-11 OF THE CONSTITUTION OF THE STATE OF CONNECTICUT AND THE ACTS OF THE GENERAL ASSEMBLY THEREUNDER, AND IS HEREBY CERTIFIED TO BE TRUE AND CORRECTLY PRESENTED ON THIS DATE, APRIL 19, 2002, AND MAY 20 & 21, 2002, AT 8:30 A.M.

UPON EXAMINATION MADE EAST L.V.C. CT.

DATE 6/10/02

PROF. BRUCE BROWN, REGISTERED SOIL SCIENTIST

THIS MAP AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-10 AND 20-11 OF THE CONSTITUTION OF THE STATE OF CONNECTICUT AND THE ACTS OF THE GENERAL ASSEMBLY THEREUNDER, AND IS HEREBY CERTIFIED TO BE TRUE AND CORRECTLY PRESENTED ON THIS DATE, APRIL 19, 2002, AND MAY 20 & 21, 2002, AT 8:30 A.M.

UPON EXAMINATION MADE EAST L.V.C. CT.

DATE 6/10/02

PROF. BRUCE BROWN, REGISTERED SOIL SCIENTIST

WILLIAM C. WITZ, CT. L.S., PROJECT

ANCHOR ENGINEERING INC. SERVICES, INC.
 15 Nottmng Hills, Glastonbury, CT 06033
 TEL (860) 433-8770 FAX (860) 433-9911

NOTTINGHAM HILLS SUBDIVISION
 PHASE II

NIANTIC REAL ESTATE, LLC
 SOIL TYPE

UPPER PATIGNANSETT ROAD, CONNECTICUT

PROJECT 422-017 6/18/02 SHEET NO. S-2

SCALE: 1"=120'

REVISIONS

DATE

BY

CHKD BY

APP'D BY

MATCH LINE SEE SHEET S-1



NOT RELEASED FOR CONSTRUCTION

Architect: Engineering Services, Inc. 75 N. Main St., Suite 101 TEL: (860) 433-8770 FAX: (860) 433-9311	
Client: NOTTINGHAM HILLS SUBDIVISION PHASE II SITE PLAN	
Project: UPPER BATTINGSETT ROAD	Scale: 1" = 40'
Sheet No.: SP-2	East Line: CT

SEDIMENTATION CONTROL SYSTEM (TYP.)

PLUNGE POOL (TYP.)

SEE SHEET SP-1

SEE SHEET SP-3

SEE SHEET SP-4

PROPOSED SEPTIC SYSTEM (TYP.)

PROPOSED DRIVEWAY (TYP.)

PROPOSED HOUSE (TYP.)

PROPOSED WELL



NOT RELEASED FOR CONSTRUCTION
 Anchor Engineering Services, Inc.
 75 Nutmeg Lane • Waterbury, CT 06603
 TEL (860) 433-8770 FAX (860) 433-9911

DATE	1/28/02
PROJECT	UPPER PATTAUGUSETT ROAD
SHEET NO.	422-01
SCALE	1" = 40'

NOTTINGHAM HILLS SUBDIVISION
 PHASE II
 SITE PLAN
 MIANTIC REAL ESTATE, LLC

EAST LIME, CT
 SHEET NO. SP-3

NOT RELEASED FOR CONSTRUCTION



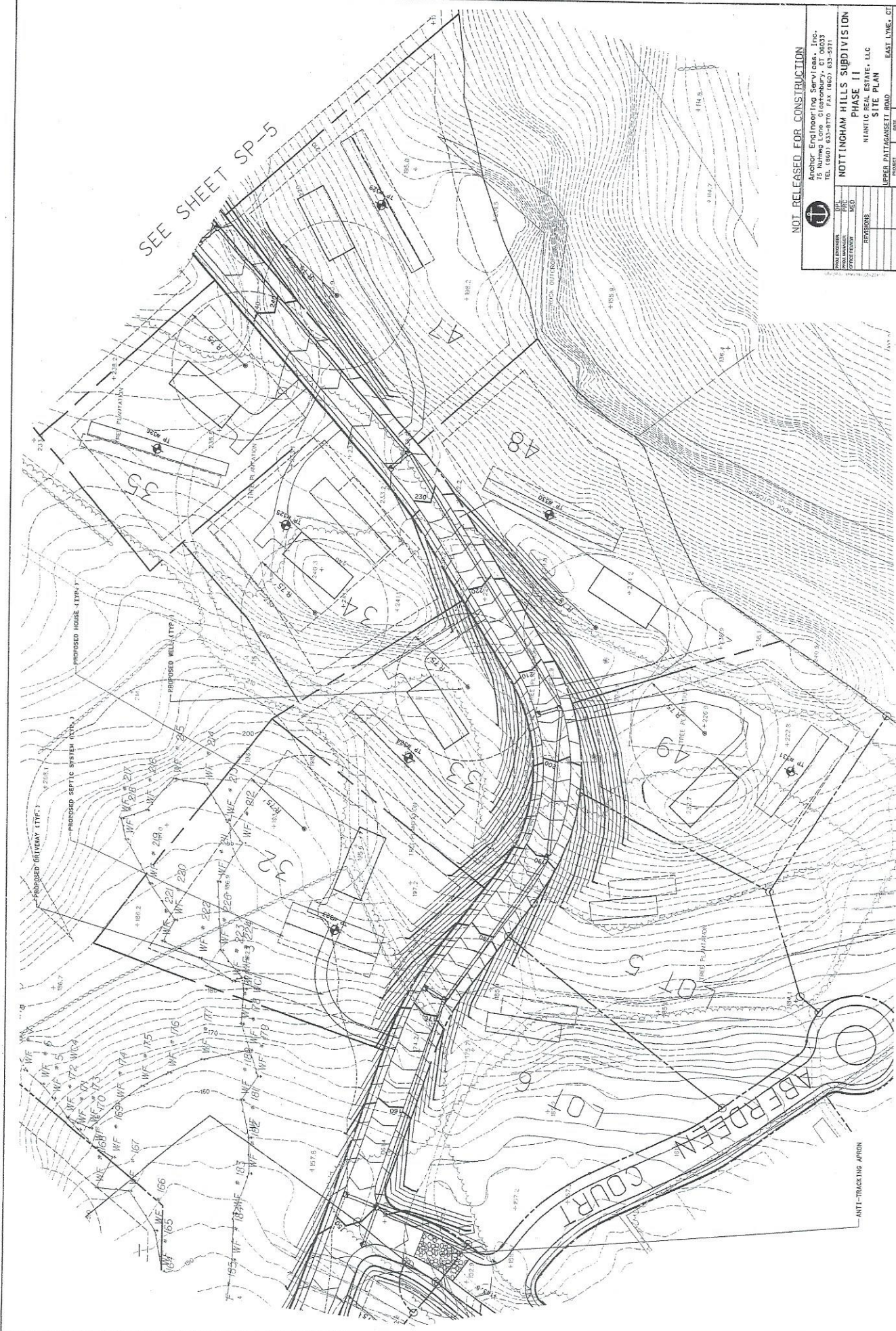
Manning Engineering Services, Inc.
150 North Main Street, Suite 100
Tel: 1860.633-8870 Fax: 1860.633-8871

NOTTINGHAM HILLS SUBDIVISION
PHASE 1
NIMATIC REAL ESTATE, LLC
SITE PLAN
UPPER PATTAHANSETT ROAD EAST LYME, CT

DATE	6/26/02	SHEET NO.	SP-4
PROJECT	422-01		
SCALE	1" = 40'		
REVISIONS:			
DATE			
BY			
CHECKED			
APPROVED			



SEE SHEET SP-5



NOT RELEASED FOR CONSTRUCTION

Anchor Engineering Services, Inc.
75 N. Main St., Suite 200
Tel. (860) 633-8770 Fax (860) 633-8771

NOTTINGHAM HILLS SUBDIVISION
PHASE II
SITE PLAN

NIANTON ESTATE, LLC
UPPER PATTANGSETT ROAD
EAST LIME, CT

DATE	6/26/02
PROJECT	422-01
SHEET NO.	SP-6

SCALE: 1" = 40'



NOT RELEASED FOR CONSTRUCTION

Archery Engineering & Surveying, Inc.
 75 N. Main Street, Suite 100
 Tel: (800) 633-8770 Fax: (860) 633-9911

NOTTINGHAM HILLS SUBDIVISION
PHASE II
 NIANTIC RESERVE, LLC
 ACCESS ROAD
 UPPER PATTAHANSETT ROAD EAST LINE, CT

DATE	4/22/07	DRAWN BY	6/26/02
SCALE	1" = 60'	PROJECT	422-07
REVISIONS		SHEET NO.	SP-7

Table 4: Methods of Large-diameter Tree Removal for Intermediate Wetlands, Wet Zone C, wet-dwelling 14.50 feet.

Tree Code	Common Name	Scientific Name	Minimum Diameter (inches)	Minimum Height (feet)	Removal Method	Proposed Method	Notes
SA	Sawtooth Stouffville	<i>Asplenium platyneuron</i>	18-24" height	15-20' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
PA	Common Nettle	<i>Urtica dioica</i>	18-24" height	10-12' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
EA	Eastern White Pine	<i>Pinus strobus</i>	18-24" height	15-20' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
WA	White Birch	<i>Betula papyrifera</i>	18-24" height	15-20' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.

Table 5: Methods of Large-diameter Tree Removal (Shrub) for wetland area project.

Tree Code	Common Name	Scientific Name	Minimum Diameter (inches)	Minimum Height (feet)	Removal Method	Proposed Method	Notes
TA	Tree	<i>Sparganium angustifolium</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
VA	Virginia Creeper	<i>Vitis rotundifolia</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
BA	Bald Patch	<i>Asplenium platyneuron</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
WA	White Birch	<i>Betula papyrifera</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
EA	Eastern White Pine	<i>Pinus strobus</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
WA	White Birch	<i>Betula papyrifera</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
EA	Eastern White Pine	<i>Pinus strobus</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.
WA	White Birch	<i>Betula papyrifera</i>	18-24" height	6-10' height	18-24" height	ZONE E	1. Use a 12 inch diameter chainsaw to cut the tree at the base. 2. Remove the tree and stump. 3. The stump shall be removed by a contractor approved by the DEP. 4. The stump shall be removed by a contractor approved by the DEP. 5. The stump shall be removed by a contractor approved by the DEP.

Table 1: Seed Mix #1 for Retention Basin Lower Zone (Zone B) (Retention Basin Flow-feeding for 100% of Plant Diversity)

Common Name	Scientific Name	Percentage
Creeping Juniper	<i>Juniperus horizontalis</i>	20%
Red-top	<i>Lycopodium obscurum</i>	1%
Peppercorn	<i>Selaginella selaginella</i>	1%
Trifolium	<i>Trifolium repens</i>	20%
Virginia Wild Rye	<i>Elymus virginicus</i>	20%
Field Horsetail	<i>Equisetum arvense</i>	2%
Field Horsetail	<i>Equisetum arvense</i>	2%
Bluegrass	<i>Poa annua</i>	4%
Stout St. Johnswort	<i>Hypericum perforatum</i>	1%
Wood Fern	<i>Adiantum species</i>	1%
Smooth-stemmed Bulrush	<i>Scirpus cyperinus</i>	1%
Alfalfa	<i>Medicago sativa</i>	1%
St. Augustine Grass	<i>Stenotaphrum secundatum</i>	1%
Front Blunt	<i>Stachytarax</i>	1%
Bluegrass	<i>Poa annua</i>	2%

Table 2: Seed Mix #2 for Retention Basin Upper Zone (Zone C)

Common Name	Scientific Name	Percentage
Creeping Juniper	<i>Juniperus horizontalis</i>	20%
Red-top	<i>Lycopodium obscurum</i>	1%
Peppercorn	<i>Selaginella selaginella</i>	1%
Trifolium	<i>Trifolium repens</i>	20%
Virginia Wild Rye	<i>Elymus virginicus</i>	20%
Field Horsetail	<i>Equisetum arvense</i>	2%
Field Horsetail	<i>Equisetum arvense</i>	2%
Bluegrass	<i>Poa annua</i>	4%
Stout St. Johnswort	<i>Hypericum perforatum</i>	1%
Wood Fern	<i>Adiantum species</i>	1%
Smooth-stemmed Bulrush	<i>Scirpus cyperinus</i>	1%
Alfalfa	<i>Medicago sativa</i>	1%
St. Augustine Grass	<i>Stenotaphrum secundatum</i>	1%
Front Blunt	<i>Stachytarax</i>	1%
Bluegrass	<i>Poa annua</i>	2%

NOTE: The DEP, PAW and other Wetland Agencies will be notified of final construction plans for this project. All 10 point PFI work for generating permits for the project will be completed.

Table 3: Seed Mix #3 for Retention Basin Upper Zone (Zone C)

Common Name	Scientific Name	Percentage
Creeping Juniper	<i>Juniperus horizontalis</i>	20%
Red-top	<i>Lycopodium obscurum</i>	1%
Peppercorn	<i>Selaginella selaginella</i>	1%
Trifolium	<i>Trifolium repens</i>	20%
Virginia Wild Rye	<i>Elymus virginicus</i>	20%
Field Horsetail	<i>Equisetum arvense</i>	2%
Field Horsetail	<i>Equisetum arvense</i>	2%
Bluegrass	<i>Poa annua</i>	4%
Stout St. Johnswort	<i>Hypericum perforatum</i>	1%
Wood Fern	<i>Adiantum species</i>	1%
Smooth-stemmed Bulrush	<i>Scirpus cyperinus</i>	1%
Alfalfa	<i>Medicago sativa</i>	1%
St. Augustine Grass	<i>Stenotaphrum secundatum</i>	1%
Front Blunt	<i>Stachytarax</i>	1%
Bluegrass	<i>Poa annua</i>	2%

NOTE: The DEP, PAW and other Wetland Agencies will be notified of final construction plans for this project. All 10 point PFI work for generating permits for the project will be completed.

Table 4: Seed Mix #4 for Retention Basin Upper Zone (Zone C)

Common Name	Scientific Name	Percentage
Creeping Juniper	<i>Juniperus horizontalis</i>	20%
Red-top	<i>Lycopodium obscurum</i>	1%
Peppercorn	<i>Selaginella selaginella</i>	1%
Trifolium	<i>Trifolium repens</i>	20%
Virginia Wild Rye	<i>Elymus virginicus</i>	20%
Field Horsetail	<i>Equisetum arvense</i>	2%
Field Horsetail	<i>Equisetum arvense</i>	2%
Bluegrass	<i>Poa annua</i>	4%
Stout St. Johnswort	<i>Hypericum perforatum</i>	1%
Wood Fern	<i>Adiantum species</i>	1%
Smooth-stemmed Bulrush	<i>Scirpus cyperinus</i>	1%
Alfalfa	<i>Medicago sativa</i>	1%
St. Augustine Grass	<i>Stenotaphrum secundatum</i>	1%
Front Blunt	<i>Stachytarax</i>	1%
Bluegrass	<i>Poa annua</i>	2%

NOTE: The DEP, PAW and other Wetland Agencies will be notified of final construction plans for this project. All 10 point PFI work for generating permits for the project will be completed.

NOT RELEASED FOR CONSTRUCTION

Author: Engineering Services, Inc.
 1000 North Main Street, Suite 1003
 East Lyme, CT 06424
 TEL (860) 433-8770 FAX (860) 433-8991

NOTTINGHAM HILLS SUBDIVISION
 PHASE I
 HANTIC REAL ESTATE, LLC
 EROSION & SEDIMENTATION
 CONTROL DETAILS

PROJECT: UPPER DUNBARSETT ROAD
 EAST LYME, CT

SHEET NO. 422-07
 SCALE: AS SHOWN
 SHEET NO. ES-2

EXHIBIT RR

B | J | P

Attorneys at Law

Mark B. Block
Eric M. Janney
Richard J. Pascal

Gary W. Hineley
Matthew J. Gillis

Reynolds
138 Main Street
P.O. Box 810
Norwich, CT 06360

October 3, 2008

Mr. Keith Pereiras
AIG Domestic Claims, Inc.
175 Water Street, 8th Floor
New York, New York 10038

**Re: Town of East Lyme
Claim #618-011271
Claimant: New England National, LLC**

Dear Mr. Pereiras:

This letter is in furtherance of our conversation of October 1, 2008 wherein you informed me that a determination had been made by AIG that there is coverage under the policy of insurance issued to the Town of East Lyme for one or more of the claims made by New England National, LLC (the "Debtor"). You further advised that you were in the process of drafting a letter which would also include a reservation of rights by the company. In our conversation I also informed you that the Town has entered into a tentative settlement with New England National resolving all of the disputes between New England National and the Town. You have asked that I provide you with the basic outline of the settlement.

The claims made by New England National are set forth in the Debtor's motion for determination of tax liability and its amended motion for determination of tax liability both of which have been sent to you. The proposed settlement would settle all of the claims set forth in the motion and amendment, plus other matters which may be more specifically set forth in the settlement agreement.

The Town has agreed to pay to New England National the total amount of \$300,000. Since we did not have an answer from AIG as to the coverage issue, the Town agreed to guarantee payment of a minimum of \$250,000 to New England National, plus an additional \$50,000 from the proceeds of any insurance claim.

The settlement was not allocated between the various claims that have been outlined in the motion and amended motion. The motion for determination of tax liability, in part, claims that the Town collected approximately \$400,000 in taxes which should be refunded to the Debtor.

B|J|P

Mr. Keith Pereiras
AIG Domestic Claims, Inc.
October 3, 2008

Page - 2 -

The Town does not allocate any amount of money to that claim because the Town claims that the issue of the tax liability was already heard and determined by the Superior Court of the State of Connecticut which ruled favorably for the Town, the Debtor's appeal of such decision or decisions being denied. Therefore, we believe that the Bankruptcy Court cannot overturn a decision of the Appellate Court of the State of Connecticut. This, then, leaves the settlement amount being allocated between the other claims made by New England National.

* The one claim made by New England National in which there is a damage amount asserted is a claim involving the Town health officer who allegedly caused New England National to incur costs of approximately \$300,000 in the development of two building lots by requiring that New England National adhere to standards beyond the requirements of the Public Health Code and/or municipal regulations in the design and installation of a septic system. The other claims made, including issuance of cease and desist orders, encouraging opposition to subdivision applications, delays in the land use approval hearing process do not have any amount of damages attached to them, and discovery has not yet proceeded to the point where a valuation can be placed upon those causes of action. However, we believe that one or more of the claims may have some validity.

At present, the Town as spent over \$100,000 in defense costs. Through use of subpoenas and bankruptcy procedure, the debtor has caused disruption in the municipal government through discovery requests in which we have produced over 50,000 pages of documents, together with electronic files and the like; will have at least ten (10) depositions of various Town officials and commission members which will consume untold hours and fees and costs; costs of expert witnesses relative to the claims regarding violation of regulations regarding the septic system design. In short, while we believe that a number of the claims made by New England National are defensible, we believe that the costs of this litigation and the potential exposure should one or more these claims be determined in favor of the Debtor justify a settlement of \$300,000.

* We believed that we needed to settle with New England National in court on September 29, since the day had been scheduled for an all day hearing on the Town's failure to provide full disclosure to New England National based on outstanding discovery orders. In the course of the discussions with New England National concerning the outstanding discovery and resolution of the discovery

B|U|P

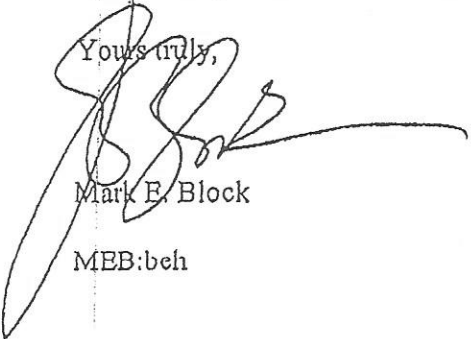
Mr. Keith Pereira
AIG Domestic Claims, Inc.
October 3, 2008

Page - 3 -

disputes, we learned of particular information that had been disclosed in various email communications that had been previously produced, and that gave some creditably to the New England National claims concerning the actions of municipal employees. Given the costs expended to date on this litigation, the anticipated costs of litigating going forward and the potential exposure as described above, the Town felt that the settlement was a fair and reasonable one and one which would be presented to the Board of Selectman for approval.

Please forward your coverage letter to us as soon as possible and I look forward to working with you in resolution of this matter. Since we are presently beginning the drafts of the settlement agreement, please advise whether drafts should be circulated to you for review by AIG.

Yours truly,



Mark E. Block

MEB:beh

EXHIBIT SS

EXHIBIT B

EAST LYME-RELATED COVENANT PARTIES

The following persons and entities are the East Lyme-Related Covenant Parties:

1. All present and former Selectmen of East Lyme in their capacity as Selectmen, but not otherwise.
2. All present and former employees, accountants, attorneys and other agents of East Lyme except for (a) Margaret Parulis, (b) George Calkins, Ledge Light Health District, Edward O'Connell, Esq., David Condon, Esq. and Waller Smith and its other attorneys, paralegals, staff members and agents (other than Thomas Marrion, Esq., Joseph Wilson, Esq. and Tyler Cooper & Alcorn, LLP and other person and entity identified in Paragraph 2.K of the Agreement.
3. Daniel R. Cunningham, Esq., Mark E. Block, Esq. and the firms of O'Brien, Shafner, Stuart, Kelly & Morris, P.C., and Block, Janney & Pascal, P.C.
4. Attorney Thomas Marrion, Joseph Wilson and the firm of Tyler Cooper & Alcorn, LLP, but not co-counsel that represented East Lyme in conjunction with them, including Edward B. O'Connell and Waller Smith & Palmer.

EXHIBIT TT

7-2-8 The Planning Commission may waive the open space requirements if the subdivision is to contain affordable housing, as defined in CGS Section 8-39a, equal to 20% or more of the total housing to be constructed in such subdivision.

7-3 **CONVEYANCE OF OPEN SPACE** – The Planning Commission shall determine the most appropriate method of conveyance after considering: the relationship of the subject area(s) and its specific characteristics to the Plan of Development and the objectives cited in Section 7-2; the desirability and suitability of public access and use, and the scope of the subdivision proposal. The following options for conveyance may be utilized by the Commission:

- (A) Perpetual dedication to the Town;
- (B) Perpetual dedication to the State of Connecticut;
- (C) Perpetual dedication to the East Lyme Land Trust or other private organization whose purpose is the preservation of historic and natural sites for the public benefit and use;
- (D) Dedication to a Homeowner's Association formed under the Common Interest Ownership Act (CIOA);
- (E) Utilization of Conservation Easements, with or without public access;
- (F) Utilization of a Recreation Easement;
- (G) Private Ownership with the appropriate taking of development rights by a public entity (state or town);
- (H) Any combination of the above or any suitable alternative approved by the Commission.

7-3-1 If an applicant proposes dedication of Open Space to the State of Connecticut, the East Lyme Land Trust, or any other private organization, a letter from an authorized agent for the State or private organization, stating its willingness to accept the open space, shall be included with the application.

7-4 **LEGAL TRANSFER OF OPEN SPACE** – Properly executed legal documents, including warranty deeds for any title transfers, shall be prepared in accordance with the provisions of this section and shall be submitted in triplicate with the final subdivision maps to be filed. All documents must be acceptable to the Town Attorney and/or the Commission and shall refer to the approved subdivision map by title. All warranty deeds for the dedication of land to the Town shall be held in escrow by the Commission to be recorded on the land records upon acceptance by the Board of Selectmen. If the Board of Selectmen chooses not to accept the open space, the deed shall be returned, and the applicant shall return to the Commission for determination of an alternative means of preserving the open space. In no case, shall the acceptance of any deed by the Commission

EXHIBIT UU

Memo

To: Wayne Fraser, First Selectman
From: Meg Parulis, Director of Planning
CC: Francine Schwartz, Planning Commission Chair
Date: 9/15/2005
Re: Acceptance of Open Space Lands associated with the Nottingham Hills and Darrow's Ridge Subdivisions

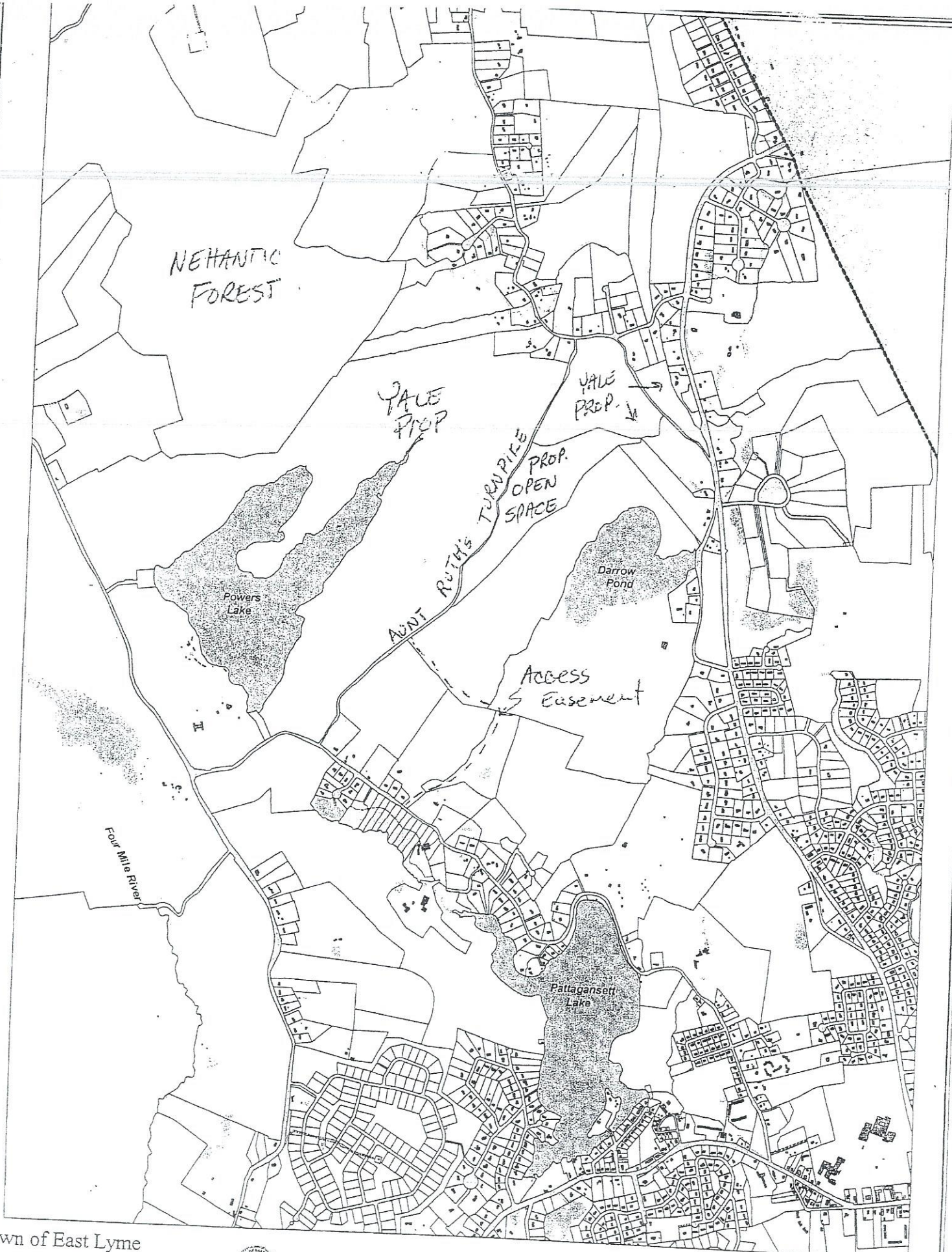
At its meeting on August 16, 2005, the Planning Commission agreed to forward two adjacent parcels totaling approx. 45 acres along Aunt Ruth's Turnpike for dedication to the Town of East Lyme as Open Space. These parcels were designated as Open Space through the approval of the Nottingham Hills Subdivision on 6/15/04 and Darrow's Ridge Subdivision on 4/19/05. In addition, this land is recommended for Open Space preservation in the 1999 Plan of Conservation and Development.

The property is separated from the housing sites by a steep ridge and offers a unique opportunity for development of public trails. Aunt Ruth's Turnpike is an abandoned road running approx. 1.5 miles between Upper Pattagansett Road and Walnut Hill Road. The property shares to the centerline of the road with Yale. Public access is initially proposed from Upper Pattagansett Road over property owned by the developer. It is anticipated that additional acreage will be added through future development projects. If rights of passage can be established over the entire length of Aunt Ruth's Turnpike with the cooperation of Yale and adjoining property owners, access may be relocated to the entrance of Aunt Ruth's Turnpike on Upper Pattagansett Road in the future. A second entrance is planned at Walnut Hill Road. Once the Town accepts the property, negotiations can begin with Yale and other property owners for access and grants can be sought for trail development.

Included with the legal documents conveying the property and access easements to the Town, is a Natural Resource Inventory and Passive Recreation Assessment Report prepared by the developer, Jeffrey Torrance. Reports of this nature will be a standard requirement of the Planning Commission in the future for parcels to be dedicated to the Town. The developer is to be commended for taking a pro-active approach to Open Space planning through voluntary preparation of the report.

The legal documents have been forwarded to Town Counsel for review. Acceptance of the property should be contingent on final approval by Town Counsel. Please place this item on the Board of Selectmen Agenda for Sept. 21, 2001.

If you have any questions, please do not hesitate to ask.



Town of East Lyme



This map is for assessment purposes only.
It is not to be used for conveyance or as a lot survey.



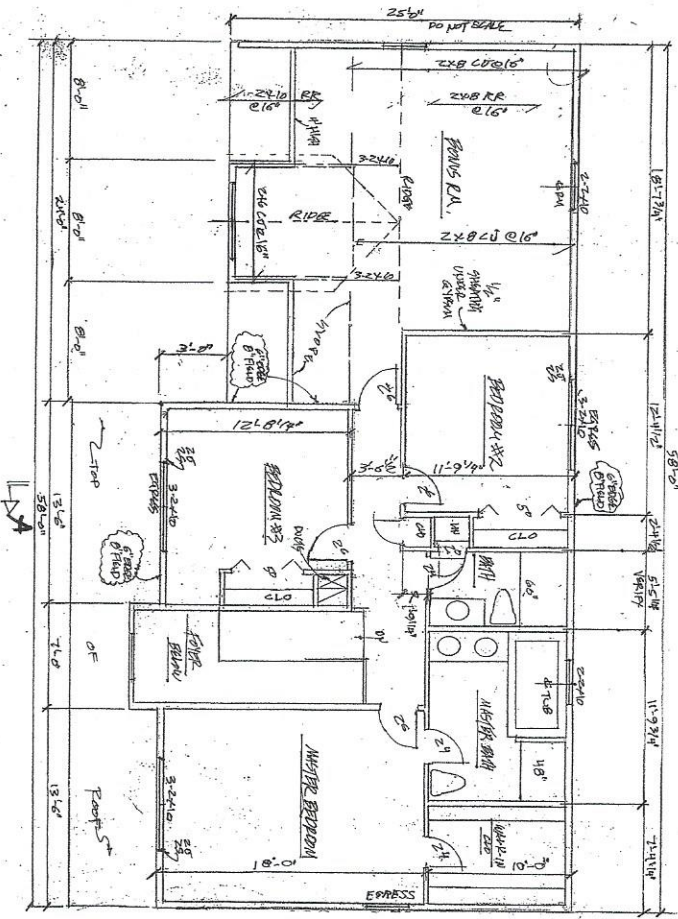
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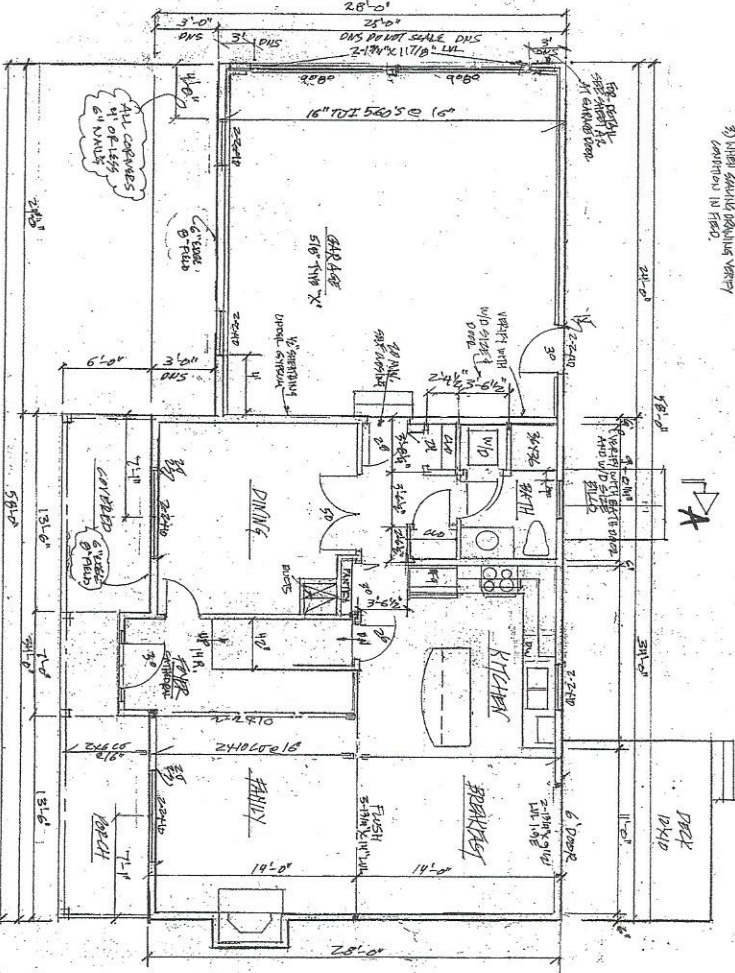
Date Printed September 15, 2005

EXHIBIT VV

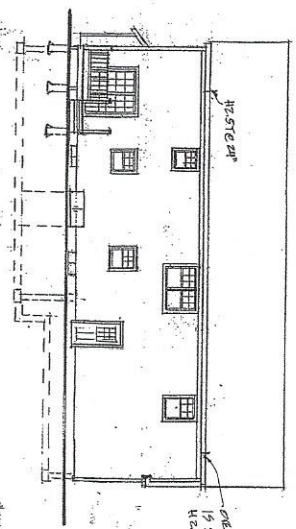
SECOND FLOOR PLAN



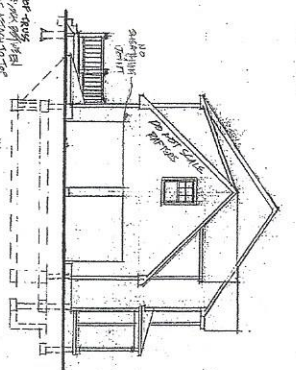
FIRST FLOOR PLAN



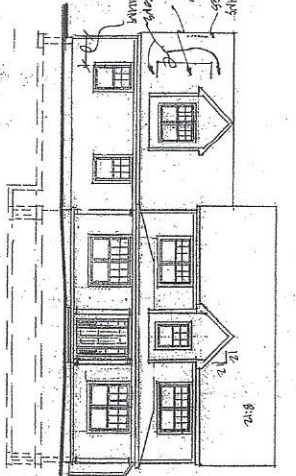
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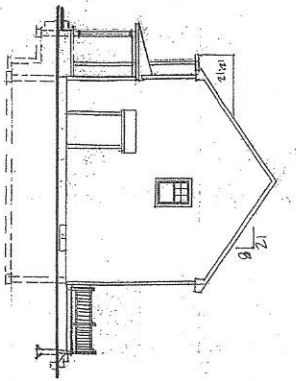
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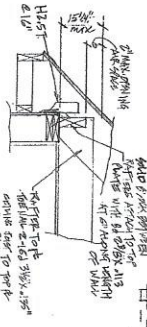
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RIGHT

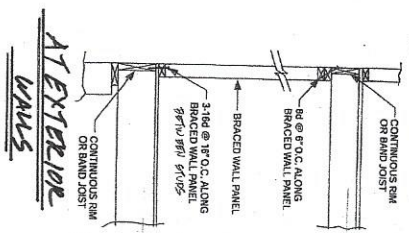


AT A ROOF



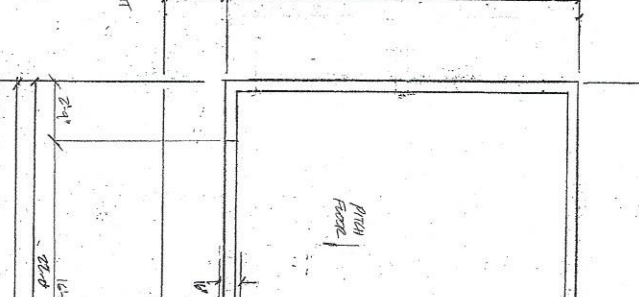
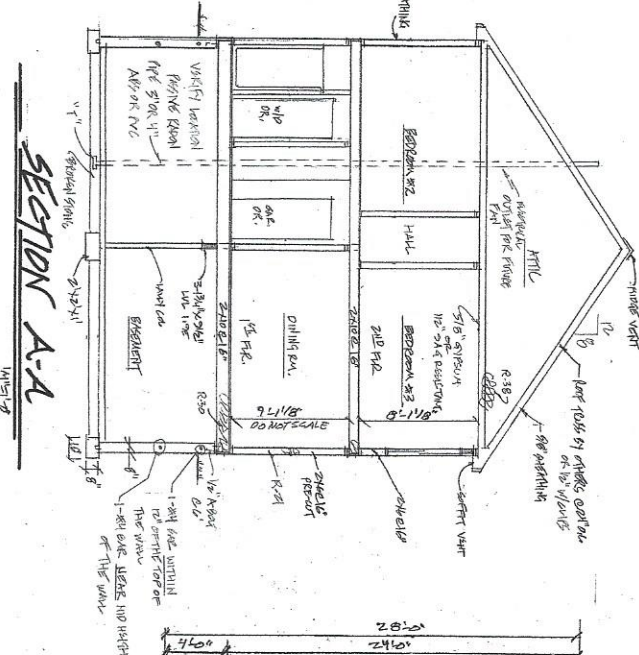
- NOTES:
- 1) ALL OPERATIONAL INTERIORS TO BE FINISHED WITH SHEETROCK AND ST. GAT ANCHORS/ST. INTERIORS AND INTERIORS TO BE FINISHED WITH SHEETROCK AND ST. GAT ANCHORS/ST. INTERIORS.
 - 2) FLOOR VERIFY ALL DIMENSIONS INTERIORS AND INTERIORS TO BE FINISHED WITH SHEETROCK AND ST. GAT ANCHORS/ST. INTERIORS.
 - 3) ALL DIMENSIONS DOUBLE VERIFY CONTRACTOR IN FIELD.

PROJ 0280 REMODEL
 1001 1/2 S. CONSTRUCTION
 1001 1/2 S. CONSTRUCTION
 5-12-2015
 AV



AT EXTERIOR WALLS

1/2\"/>



FOUNDATION PLAN

1/4\"/>

REV. 3-22-21
 REV. 3-15-20
 PREPARED FOR SUBMITTANCE
 FOR THE CONSTRUCTION
 OF THE NEW BRICK MANUFACTURING
 PLANT
 5120 W. 25th St.
 OKLAHOMA CITY, OKLAHOMA

2012 IRC R401 (PART CONSTRUCTION)

R401.1 Vent Pipe Penetration. All components of the rainwater collection system shall be installed in accordance with the manufacturer's instructions. The rainwater collection system shall be installed in accordance with the manufacturer's instructions. The rainwater collection system shall be installed in accordance with the manufacturer's instructions.

R401.2 Vent Pipe Penetration. All components of the rainwater collection system shall be installed in accordance with the manufacturer's instructions. The rainwater collection system shall be installed in accordance with the manufacturer's instructions. The rainwater collection system shall be installed in accordance with the manufacturer's instructions.

R401.3 Shearwall Flashing. Base flashing against a vertical wall shall be installed in accordance with the manufacturer's instructions. The rainwater collection system shall be installed in accordance with the manufacturer's instructions. The rainwater collection system shall be installed in accordance with the manufacturer's instructions.

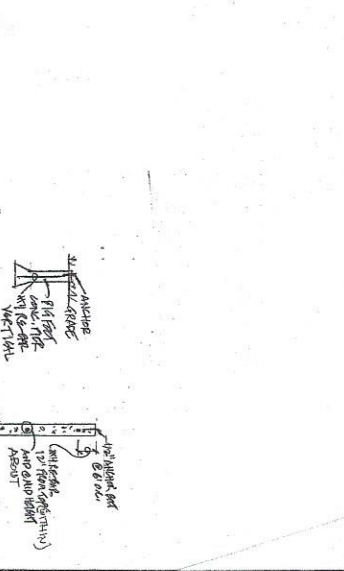
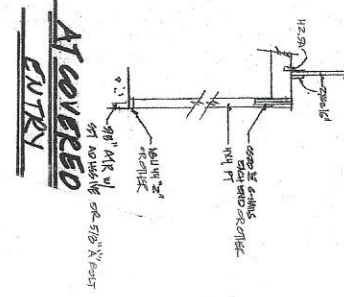
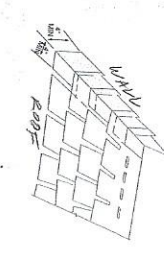


EXHIBIT WW

4 KENSINGTON DR

Location 4 KENSINGTON DR

Mblu 35.0/ 30-2/ / /

Acct# 009259

Owner HRICKO KEVIN J & JUSTINE

Assessment \$422,030

Appraisal \$602,900

PID 101310

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$443,300	\$159,600	\$602,900

Assessment			
Valuation Year	Improvements	Land	Total
2016	\$310,310	\$111,720	\$422,030

Owner of Record

Owner HRICKO KEVIN J & JUSTINE

Sale Price \$0

Co-Owner

Certificate

Address 4 KENSINGTON DR
EAST LYME, CT 06333

Book & Page 0671/0218

Sale Date 06/01/2004

Instrument 01

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
HRICKO KEVIN J &	\$159,900		0671/0172	UNKQ	06/01/2004
GREENSTEIN ERIC & HARRY PICAZIO III	\$155,000		0654/0182	UNKQ	01/02/2004
NIANTIC REAL ESTATE LIMITED	\$150,000		0633/0333	03	08/15/2003
TORRANCE FAMILY LIMITED	\$0		0516/0237	04	01/24/2001

Building Information

Building 1 : Section 1

Year Built: 2004
Living Area: 4,364
Replacement Cost: \$473,234

4 UPPER KENSINGTON DR

Location 4 UPPER KENSINGTON DR

Mblu 40.0/ 10/ / /

Acct# 009362

Owner STAHL BRANDON C &

Assessment \$365,820

Appraisal \$522,600

PID 101568

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$367,600	\$155,000	\$522,600

Assessment			
Valuation Year	Improvements	Land	Total
2016	\$257,320	\$108,500	\$365,820

Owner of Record

Owner STAHL BRANDON C &
Co-Owner STAHL CHRISTINE A
Address 4 UPPER KENSINGTON DR
 EAST LYME, CT 06333

Sale Price \$538,000
Certificate
Book & Page 0918/0612
Sale Date 07/30/2013
Instrument UNKQ

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
ROSA LOUIS A & CAROL E	\$510,000		0831/0803	07	07/17/2009
NEW ENGLAND NATIONAL LLC	\$0		0831/0801	03	07/17/2009
TORRANCE ANNE K	\$0		0811/0334	03	10/24/2008
NEW ENGLAND NATIONAL LLC	\$0		0808/0355	04	08/18/2008

Building Information

Building 1 : Section 1

Year Built: 2006
Living Area: 3,876
Replacement Cost: \$386,031

10 UPPER KENSINGTON DR

Location 10 UPPER KENSINGTON DR

Mblu 40.0/ 29/ / /

Acct# 009485

Owner HOOPER JEFFEREY M &

Assessment \$312,970

Appraisal \$447,100

PID 101892

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$296,300	\$150,800	\$447,100
Assessment			
Valuation Year	Improvements	Land	Total
2016	\$207,410	\$105,560	\$312,970

Owner of Record

Owner HOOPER JEFFEREY M &
Co-Owner HOOPER TRACY A
Address 10 UPPER KENSINGTON DR
 EAST LYME, CT 06333

Sale Price \$452,086
Certificate
Book & Page 0966/0486
Sale Date 07/20/2016
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
PAZZ & CONSTRUCTION LLC	\$75,000		0956/0101	24	11/25/2015
NIANTIC REAL ESTATE LLC	\$0		0849/0300	03	05/27/2010
NEW ENGLAND NATIONAL LLC	\$0		0802/0754	03	05/30/2008
NIANTIC REAL ESTATE LIMITED	\$0		0694/0107	04	01/07/2005

Building Information

Building 1 : Section 1

Year Built: 2016
Living Area: 2,458
Replacement Cost: \$294,941

14 UPPER KENSINGTON DR

Location 14 UPPER KENSINGTON DR

Mblu 40.0/ 27/ 11

Acct# 009483

Owner TURDO MICHAEL A & WENDY W

Assessment \$326,270

Appraisal \$466,100

PID 101890

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$312,900	\$153,200	\$466,100

Assessment			
Valuation Year	Improvements	Land	Total
2016	\$219,030	\$107,240	\$326,270

Owner of Record

Owner TURDO MICHAEL A & WENDY W
Co-Owner
Address 14 UPPER KENSINGTON DR
 EAST LYME, CT 06333

Sale Price \$499,900
Certificate
Book & Page 0868/0047
Sale Date 03/22/2011
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
QUAIL RUN LLC	\$0		0864/0233	03	01/10/2011
NIANTIC REAL ESTATE LLC	\$0		0849/0300	03	05/27/2010
NEW ENGLAND NATIONAL LLC	\$0		0802/0754	03	05/30/2008
NIANTIC REAL ESTATE LIMITED	\$0		0694/0107	04	01/07/2005

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 2,990

18 UPPER KENSINGTON DR

Location 18 UPPER KENSINGTON DR

Mblu 40.0/ 25/ / /

Acct# 009481

Owner BUCKO AARON C & KIM M

Assessment \$355,950

Appraisal \$508,500

PID 101888

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$357,700	\$150,800	\$508,500
Assessment			
Valuation Year	Improvements	Land	Total
2016	\$250,390	\$105,560	\$355,950

Owner of Record

Owner BUCKO AARON C & KIM M

Sale Price \$502,440

Co-Owner

Certificate

Address 18 UPPER KENSINGTON DR
EAST LYME, CT 06333

Book & Page 0878/0308

Sale Date 10/25/2011

Instrument 07

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
NEW ENGLAND NATIONAL LLC	\$0		0878/0306	03	10/25/2011
NIANTIC REAL ESTATE LLC	\$0		0849/0300	03	05/27/2010
NEW ENGLAND NATIONAL LLC	\$0		0802/0754	03	05/20/2008
NIANTIC REAL ESTATE LIMITED	\$0		0694/0107	04	01/07/2005

Building Information

Building 1 : Section 1

Year Built: 2011
Living Area: 3,669
Replacement Cost: \$375,131

26 UPPER KENSINGTON DR

Location 26 UPPER KENSINGTON DR

Mblu 40.0/ 21/ //

Acct# 009477

Owner THOMAS STEVEN J & LINDA E

Assessment \$319,200

Appraisal \$456,000

PID 101884

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$302,600	\$153,400	\$456,000

Assessment			
Valuation Year	Improvements	Land	Total
2016	\$211,820	\$107,380	\$319,200

Owner of Record

Owner THOMAS STEVEN J & LINDA E
Co-Owner
Address 26 UPPER KENSINGTON DR
 EAST LYME, CT 06333

Sale Price \$132,000
Certificate
Book & Page 0906/0396
Sale Date 01/25/2013
Instrument UNKQ

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MOORE JEFFREY J	\$0		0883/0784	25	01/30/2012
NEW ENGLAND NATIONAL LLC	\$0		0883/0782	03	01/30/2012
NIANTIC REAL ESTATE LIMITED	\$0		0694/0107	04	01/07/2005

Building Information

Building 1 : Section 1

Year Built: 2013
Living Area: 2,624
Replacement Cost: \$309,436
Building Percent Good: 97

18 UPPER KENSINGTON DR

Location 18 UPPER KENSINGTON DR

Mblu 40.0/ 25/ / /

Acct# 009481

Owner BUCKO AARON C & KIM M

Assessment \$355,950

Appraisal \$508,500

PID 101888

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$357,700	\$150,800	\$508,500
Assessment			
Valuation Year	Improvements	Land	Total
2016	\$250,390	\$105,560	\$355,950

Owner of Record

Owner BUCKO AARON C & KIM M

Sale Price \$502,440

Co-Owner

Certificate

Address 18 UPPER KENSINGTON DR
EAST LYME, CT 06333

Book & Page 0878/0308

Sale Date 10/25/2011

Instrument 07

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
NEW ENGLAND NATIONAL LLC	\$0		0878/0306	03	10/25/2011
NIANTIC REAL ESTATE LLC	\$0		0849/0300	03	05/27/2010
NEW ENGLAND NATIONAL LLC	\$0		0802/0754	03	05/20/2008
NIANTIC REAL ESTATE LIMITED	\$0		0694/0107	04	01/07/2005

Building Information

Building 1 : Section 1

Year Built: 2011
Living Area: 3,669
Replacement Cost: \$375,131

17 UPPER KENSINGTON DR

Location 17 UPPER KENSINGTON DR

Mblu 40.0/ 20/ //

Acct# 009476

Owner BLANCHARD NICOLE L

Assessment \$407,120

Appraisal \$581,600

PID 101883

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2016	\$430,800	\$150,800	\$581,600
Assessment			
Valuation Year	Improvements	Land	Total
2016	\$301,560	\$105,560	\$407,120

Owner of Record

Owner BLANCHARD NICOLE L

Sale Price \$606,000

Co-Owner

Certificate

Address 17 UPPER KENSINGTON DR
EAST LYME, CT 06333

Book & Page 0998/0078

Sale Date 06/19/2018

Instrument UNKQ

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
LAUBACH KAWEL B & LESLIE	\$616,500		0916/0717	UNKQ	06/25/2013
STAUB DWIGHT D & JUDITH	\$180,000		0759/0136	UNKQ	11/20/2006
NIANTIC REAL ESTATE LIMITED	\$0		0694/0107	04	01/07/2005

Building Information

Building 1 : Section 1

Year Built: 2010
Living Area: 3,717
Replacement Cost: \$457,607
Building Percent Good: 94

EXHIBIT XX

