

TOWN OF EAST LYME  
BOARD OF SELECTMEN  
MAY 7, 2014  
REGULAR MEETING MINUTES

**Members Present:**

Paul Formica, First Selectman  
Kevin Seery  
Mark Nickerson  
Rose Ann Hardy  
Holly Cheeseman  
Rob Wilson

FILED IN EAST LYME  
CONNECTICUT  
May 13 20 14 AT 8:20 AM PM  
Brianna D. Stevens ATC  
EAST LYME TOWN CLERK

Mr. Formica commenced the meeting at 7:30 p.m.

**1a. Pledge Allegiance to the Flag**

Mr. Formica led the assembly in the Pledge of Allegiance.

**1b. Additional Agenda & Consent Calendar Items**

There were no additional Agenda and Consent Calendar items.

**1c. Delegations**

William Sawicky, 425 Drozdyk Drive, Groton CT discussed his property on Mostowy Road in East Lyme. He presented Exhibit A to the Board.

John Bialowans, Jr., 61 Walnut Hill Road, East Lyme discussed the curb damage on Walnut Hill Road from CL&P, and the damage from erosion at the Solar Farm. He also discussed a building department issue. He presented Exhibit B to the Board.

**1d1. Approval of Minutes, Public Hearing of April 23, 2014**

**Motion (1)** Mr. Nickerson moved to approve the Minutes of the Public Hearing of April 23, 2014 as submitted.

Seconded by Mr. Seery.

Motion Passed 6-0.

**1d2. Approval of Minutes, Special Meeting of April 23, 2014**

**Motion (2) Mr. Nickerson moved to approve the Minutes of the Special Meeting of April 23, 2014 as submitted.**

**Seconded by Mr. Seery.**

**Motion Passed 6-0.**

**1d. Consent Calendar**

**Motion (3) Mr. Nickerson moved to approve the Consent Calendar in the amount of \$1802.03 for the meeting of May 7, 2014.**

**Seconded by Mr. Wilson.**

**Motion Passed 6-0.**

**2 New Business**

**2a. Discussion/Sign Call – Annual Town Meeting**

Mr. Formica stated that usually the signing of the Call of the Meeting is done at the second meeting in April, in order to make sure it is properly advertised. However, that wasn't done, and the Call was put in the newspaper today. He hopes there is no problem with that, but he needed to make sure it was properly advertised. The hours that were listed in the advertisement were 8:00 a.m. to 8:00 p.m. If that is not sufficient they can amend the advertisement and put it in the newspaper again. The Registrars of Voters have requested that time frame.

**Motion (4) Mr. Nickerson moved to approve the following:**

**TOWN OF EAST LYME  
NOTICE OF ANNUAL TOWN MEETING**

Notice is hereby given of the Annual Town Meeting to be held on Monday, May 12, 2014 at the East Lyme High School Auditorium at 7:00 p.m. to act on the following:

1. To review and discuss the budget for the fiscal year beginning July 1, 2014 as recommended by the Board of Finance.
- 1.a. In accordance with Chapter 7.3 of the Town Charter, the moderator shall adjourn the annual budget meeting to a referendum on the voting machines. The budget resolution will be submitted to the persons qualified to vote in a town meeting by referendum by machine vote, which referendum shall take place on May 22, 2014 at the East Lyme Community Center from 8:00 a.m. to 8:00 p.m..
2. Special Appropriation \$158,603 to Town Aid Roads (01-30-317-500-224) and Revenue Account (01-03-300-3301) Town Aid Road Assistance
3. To adopt a Five Year Capital Plan.
4. To conduct such other business as may properly come before the meeting.

Dated at East Lyme, CT this 7th day of May, 2014.

EAST LYME BOARD OF SELECTMEN

**Seconded by Mr. Seery.**

Mr. Nickerson thanked the Registrars of Voters for helping us to make that decision.

**Motion Passed 6-0.**

**2b. Discussion – Business Entity Listing**

Mr. Formica stated that Ms. Hardy had asked to have the business listing updated. He obtained a copy of the business listing from the Assessor's Office. That office is diligent in keeping up with the businesses in Town.

Ms. Hardy stated she met with the Assessor and inquired regarding the capabilities of their system. She asked whether they could separate the businesses by district and town. They are able to do that, and can provide them with several variations. Some of the businesses on the list don't have individuals. She would like to continue to work with the Assessor to make this more user friendly, and come back with variations of this that residents may find useful.

Mr. Nickerson stated if this information is already available this is good, and maybe we can identify what they can collect in addition to this information, but he would hate to have this become an expense to the Town. It is nice to see that they have this information already.

Ms. Hardy stated they could possibly use their summer help for this.

Ms. Cheeseman stated she supports Ms. Hardy continuing her conversations with the Assessor, but would not want it to put any undue burden on the Assessor or her staff.

**3. Unfinished Business**

There was no unfinished business.

**4. Communications**

There was no communication.

**5. Information and Reports**

**5a. Ex-Officio**

Ms. Cheeseman stated she attended the May 1, 2014 meeting of the Zoning Commission, there were many Public Hearings on outdoor dining applications. They were all approved. They did have questions on the status of the Boardwalk. She also attended a meeting of the East Lyme Library, they are pleased with their budget. The Director brought them up to date on e-books, and e-magazines. The fund drive mailing will go out in June.

Mr. Nickerson stated the Senior Class Senior Party Fundraiser hypnotist show will be taking place this Friday at 7:00 p.m.

**5b. First Selectman's Report**

Mr. Formica stated they will review the Water and Sewer budget at the next meeting. He attended the Water and Sewer Meeting. He also attended a Pension Committee Meeting. As a member of the SCCOG Executive Team he went to the Coast Guard Academy to review the Cadets. He attended the East Lyme Little League opening day, they honored George Jones, who was the first Little League President, and who had passed away a few days earlier. He attended Mr. Jones wake, and he sends his sympathy to the family. He attended the Coast Guard Museum groundbreaking in New London. He attended the Lawrence and Memorial Hospital Gala dinner. At their next meeting there will be a presentation from Care Air, with information on health care clinics for the community. The Officer of the Year Dana Jezierski, and the Dispatcher of the Year, Forrest Andrews will be honored on the 22<sup>nd</sup> at the Elks Club. He is unable to attend that, but Mr. Wilson will attend in his absence. He toured Walnut Hill Road, and he toured the Solar Farm. They are waiting on Amtrak for the Boardwalk, Joe Courtney's Office has been very helpful. He directed the Town Engineer to work with the Contractor and send the plans to Amtrak in Philadelphia, which they did. He reminded Mr. Blumenthal and Mr. Murphy that they need the Amtrak decision on a timely basis. They are ready to go when they get the permit from Amtrak.

Ms. Hardy asked that they get an itemized list of the cuts to each department. She also asked that each cut be itemized at the Town Meeting, so the public knows what they are voting on. She also would like a brief presentation at the next meeting on the Water and Sewer Budget. She would like an update on the regionalization of dispatch.

Mr. Formica stated he will update them again on that.

**6. Public Comment**

There was no public comment.

**7. Selectmen's Response**

There was discussion of Mr. Sawicky's property, and it was suggested that he present details on his property to the Commission for the Conservation of Natural Resources.

Mr. Formica will write him a letter.

**8. Adjournment**

**Motion (5) Mr. Wilson moved to adjourn the meeting at 8:45 p.m.**

**Seconded by Ms. Cheeseman.**

**Motion Passed 6-0.**

Respectfully Submitted,



*Karen Miller Galbo*

**Karen Miller Galbo**  
**Recording Secretary Pro-Tem**

## Exhibit A

I am here tonight (5-7-14) to present the continuation of events involving the Darrow Pond plan where I, as a lower income individual, must compete with higher income people for a share of an economic pie made from bond money and grant money. These ingredients are provided by taxpayers. This economic pie appears to be stored in a pantry that was designed to make access easier for higher income people who appear to have been entitled to a large share, if not all, of that economic pie.

During the December 18<sup>th</sup> 2013 BOS meeting I submitted an informal proposal, as part of the Darrow Pond plan, for the town to buy my forested land located across the road from the pond. The impetus for this proposal was the article in The Day newspaper indicating the Town was considering a proposal by a land trust involving a previous owner of 16 Mostowy Rd. aka the Darrow pond site. Public access to the pond and settlement of litigation appeared to be two issues of interest. My proposal was to resolve the access to the pond issue at a lower cost...

On January 27, 2014 I sent an e-mail to Mr. Formica. A copy is in my submittal.

On January 7<sup>th</sup> 2014 I received a certified letter from the DEEP informing me that I owned the Darrow pond dam. A copy is in my submittal.

After careful consideration and a preliminary search for facts I sent the following e-mail to the DEEP and e-mailed a copy to the First Selectman of EL on 1-21-14. A copy is in the submittal.

The following is an e-mail I sent to Mr. Formica on January 21, 2014. A copy is in the submittal.

Mr. Formica may have shared his view on this revelation but my record indicates he did not share it with me. I am mindful of the fact that he may not have received my e-mail.

That same day, I received the following e-mail from DEEP. A copy is in the submittal.

On 3-25-14 I sent an e-mail to the DEEP's Engineer. A copy is in the submittal.

Let the record show the DEEP has not responded to my request for the specific information in their records and I am mindful of the fact they may not have received my e-mailed request for this essential information...

In a newspaper article there was the issue of public access to the pond to which my proposal would lead to a lower cost for access to the pond. The newspaper article indicated the land trust proposal also may help settle the

litigation issue. Apparently the plaintive in this litigation was a previous owner of 16 Mostowy Rd., making business decisions including but not limited to division of the pond's ownership, boundary and attaching easements and restrictions on that property without my permission. Based on the premise that I was another owner of the land, the pond, and the dam at the time of this activity, that took place prior to the bank foreclosure, what role will this ownership issue play in the settlement of the litigation that was reported to involve 13 million dollars?

Does the certified letter from the DEEP serve as an asset or liability that may prevent a successful outcome in my quest to sell my property to the Town of EL or to sell it to anyone else for the fair market price of \$250,000 in the event East Lyme officials reject my proposal?

The existence of this certified letter from the DEEP and it's implication and potential ramifications may have compromised the validity of using prescriptive easement, in my proposal, as a selling point and may have introduced another selling point to which the town may have an advantage in a negotiated settlement and save more than \$250,000 as the result of owning my property.

Long live democracy, fairness and justice.

The Following is an e-mail sent to Pformica@ELtownhall.com  
January 27,2014

Dear Sir,

Thank you for your positive reaction to my proposal and your request for specifics. During my presentation for the sale of my property, I made reference to Chapter 822, specifically the Easements and Restrictions sections of the Conn. Statutes. Prior to the development of my proposal and in an effort to better understand what easements and restrictions are all about, I studied the wording of the statutes and stumbled onto the revelation that I may have something to offer as an added incentive since public access appeared to be an issue.

It is my contention that I acquired something that may be called prescriptive easement, or whatever the easement is called, for recreational fishing involving Darrow Pond due to my non permissive, continuous and uninterrupted use for over fifteen years, distinctive from public use and not required to prove constant or daily use.

I am including this easement as a sales strategy for the sale of my property to the Town of East Lyme, in what appears to allow public recreational fishing, from the shores of 16 Mostowy Road. The purchase price is \$250,000 which is the price I used when I calculated the one time cost of \$31.25 for each of 8000 home owning taxpayers.

Keeping in mind that all voters are not interested in recreational fishing, I am suggesting another benefit for voters who are interested in improving education for their children. My property is an ideal location for a wetland laboratory for science students to learn first hand why and how wetlands are valuable and how they function as an ecosystem.

They can study how different pollutants cau cause changes in water quality at various locations in and around the wetland, The study of soil types, the aquatic and plant life that contribute to the pollutant filtering system that controls water quality that enters our streams and rivers.

This studying may lead to the discovery of new technology designed to improve the efficiency and productivity of our wetlands. There is ample space for parking and a wetland laboratory support facility across the road including water and electricity and an underground piping system to allow students to create controlled pollutants at the support facility and send it through the pipe into the wetland laboratory.

Sincerely,  
William Sawicky



SENT CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

January 7, 2014

William Sawicky  
425 Drozdyk Drive  
Groton, CT 06340

Re: DARROW POND DAM, EAST LYME  
DamID#: 4502 Hazard Class: B  
Inspection Frequency: 5 Yr.  
Last Inspection date: 12/18/1985  
Registered?: No

Dear Dam Owner(s):

According to our records you are the owner for the above referenced dam and are therefore being notified of your requirement under Section 4 of Public Act 13-197 (PA 13-197) to hire a professional engineer to perform a regulatory inspection of your dam during the 2014 calendar year.

The inspection performed by your engineer will be visual in nature, to detect any potential deficiencies, poor maintenance practices and/or improper operation procedures. It is highly recommended that the dam owner(s) be present at the inspection. The inspection report **must** be submitted on a form prescribed by the Department of Energy and Environmental Protection (DEEP). The Dam Safety Program has made available the appropriate inspection form, inspection instructions and guidance for hiring an engineer on its website. You can download the following documents from the DEEP's Dam Safety website: "Dam Inspection Report Form for Consultant Use"; "Dam Inspection Report Form Instructions for Consultant Use" and "Hiring an Engineer". Additional relevant information and guidance is also available on the Dam Safety Program website, <http://www.ct.gov/deep/dams>.

It is recommended that the dam owner submit the inspection report to the DEEP within 45 days of the actual inspection date to ensure its timely review and approval but no later than **March 15, 2015**. The inspection report will include a "Certification Page" at the end of the report that must be signed by you and your engineer and submitted to DEEP as part of the completed report. The consultant engineer may find certain deficiencies as a result of the inspection that affect the continued operation and safety of your dam. The department will review the inspection report findings and may issue you an engineering request. This means there has been one or more deficiencies identified at your dam

that require the services of a professional engineer. These services may include further investigation, design of needed repairs and obtaining a DEEP dam repair permit.

In accordance with Section 4 of PA 13-197, the DEEP is in the process of revising the current inspection regulations. The current regulations, Section 22a-409-1 and 2 of the Regulations of Connecticut State Agencies (RCSA) are in effect until revised regulations are adopted.

Section 4 of PA 13-197 also requires the registration of all dams or similar structures by October 15, 2015. Your dam's registration status is noted on the first page of this letter. If the word "yes" is typed next to "registration", you do not need to submit another registration. If your dam has not been registered, a Dam Safety Registration Form must be completed and can be found on the Dam Safety website. The Dam Registration Form must be submitted with the corresponding fee as instructed on the appropriate registration form. If you are not the sole dam owner and share ownership of the dam with another owner(s), use the multiple owner registration form.

You should also be aware that Section 5 of PA 13-197 requires owners of High Hazard and Significant Hazard Potential dams to develop and implement an Emergency Action Plan for their dam once the revised regulations are adopted. You may want to consider hiring a professional engineer to perform this task.

Be advised, failure to comply with Section 4 of PA 13-197 shall subject the dam owner to the injunction provisions of Section 22a-6(3) of the Connecticut General Statute (CGS), as amended, and/or a penalty pursuant to Administrative Civil Penalty Regulations 22a-6b-1 through 15 of the Regulations of Connecticut State Agencies (RCSA).

If you have any questions or feel that you have received this notification in error, whether you are not the dam owner or the dam has been inspected more recently than stated above, then please contact this office. Dam Safety Program's staff may be reached at 860-424-3706 or e-mail at [DEEP.DamSafety@ct.gov](mailto:DEEP.DamSafety@ct.gov).

Sincerely,



Arthur P. Christian II, P.E.  
Supervising Civil Engineer  
Dam Safety Program  
Inland Water Resources Division

DEEP-Inland Water  
79 Elm Street  
3rd Floor  
HARTFORD CT 06106-1650

US POSTAGE AND FEES PAID  
FIRST CLASS  
Jan 08 2014  
Mailed from ZIP 06051  
1 oz First Class Mail  
Letter Rate (No surcharge)



071S00777793

**USPS CERTIFIED MAIL**



**9414 8102 0082 9039 7658 28**

William  
Sawicky  
425 Drozdyk Drive  
GROTON CT 06340-4248



The following is an e-mail sent to DEEP.DamSafety@ct.gov  
January 21, 2014

Dear Sir,

This email is in response to your letter of notification dated January 7, 2014. Do your records contain the date I became an alleged owner or co owner and the date my alleged ownership or co ownership became part of your records? If so, I would be most appreciative if you would please provide that information.

That information is essential for my future response to your inquiry as to whether I feel I received this letter in error, or whether I am not the owner. This revelation has led to a preliminary search for facts that indicate the Town of East Lyme owns part of the dam and I am confident their Professional Engineer is on top of things when it comes to dam safety.

Thank you for your letter of notification and it's revelation. Due diligence is essential for the well being and safety for people, pets, property and the wildlife that live down stream from Darrow Pond.

I recently submitted a proposal to the Town of East Lyme, for the purchase of my forested land. Should I become successful, I will have accomplished my quest to find a buyer who does not need to build and sell houses to recover their investment.

To help get financing for this proposal to purchase, I am taking this opportunity to reach out, for a helping hand, from you and your employer (DEEP), who may have access to funds that are used as grants, to help limit land development. I have little knowledge of the application process, or if grants are available to me as an individual with non official status but interested in the open space concept to limit land development financed through grants. I thank you for any help you can provide.

Sincerely,  
William Sawicky

The following is a e-mail sent to PFormica@ELtownhall.com

January 21, 2014

Dear Sir,

This email is to share with you information that comes in the form of a letter of notification and revelation dated January 7, 2014 from the Department of Energy and Environmental Protection also known as DEEP that goes, in part, as follows;

“Dear Dam Owner(s)” “According to our records you are the owner for the above referenced dam and are therefore being notified of your requirement under Section 4 of the Public Act 13-197 (PA 13-197) to hire a professional engineer to perform a regulatory inspection of your dam during the 2014 calendar year.”

The referenced dam is “DARROW POND DAM, EAST LYME”

It is my contention that property known as 16 Mostowy Road at one time consisted of land, Darrow pond and Darrow pond dam owned as a unit that I viewed as a pristine farm business where corn was harvested from the land and ice was harvested from the pond and pond water level was controlled by the dam. Today it appears this unit has been broken up and divided into parts with easements and restrictions by different owners. It is my contention this activity by different owners is potentially null and void due to the revelation that another owner is alleged to exist.

I would be most appreciative if you would please share your view on this revelation.

Sincerely,  
William Sawicky

The following is an e-mail I received from the DEEP  
1-21-14

Dear Mr. Sawicky,

This e-mail is to inform you that we have corrected the ownership information for Darrow Pond dam in East Lyme. You were mistakenly identified as a co-owner with the town of East Lyme. I apologize for the error. Regarding financing for the purchase of land, the DEEP, to my knowledge, does not provide grants or funding. The town of East Lyme would have to pursue some avenue of cost sharing with State of Connecticut. Possibly the Department of Economic and Community Development (DECD) can provide some assistance.

Sincerely,  
Ann Kuzyk  
Civil Engineer 3  
Dam Safety Section  
Inland Water Resources Division

The following is an e-mail sent to DEEP.DamSafety@ct.gov

3-25-14

Dear Mr. Arthur P Christian II P.E.,

Thank you for arranging to have the e-mail sent to me indicating that my co-ownership of the Darrow Pond Dam with the Town of East Lyme has been corrected. That e-mail lacked pertinent information and did not help me determine, based on facts, if I feel your certified letter was sent in error.

In response to your certified letter I included the following request. "Do your records contain the date I became an alleged owner or co owner and the date my alleged ownership or co ownership became part of your records? If so, I would be most appreciative if you would please provide that information".

Since that information was not included in the e-mailed response, I must conclude that the requested information was not in your records. Therefore, I respectfully request, for my records, all the information that was in your records that was used to identify me as the owner of the dam. I respectfully request, for my records, the source of all the information that was in your records that was used to identify me as the owner of the dam. Also, I respectfully request, for my records, any additional information that became available, either written or verbal, received internally or externally, that was used to make the correction, along with the source of that information. Thank you in advance...

Sincerely,  
William Sawicky

Good Evening Mr Formica & other members  
of the Board of Selectmen:

My name is John Bilowanski of 61  
Walnut Hill Rd.

I have some questions I would like the  
Board of Selectmen for some answers.

① I phoned the town engineer awhile back  
about the damage to the curbs on Walnut Hill Rd  
from CLP. He said thank-you for bringing it  
to his attention. The other day a crew from the  
highway dept (of the Town) was repairing the curb.  
How in anybodys right mind is the town

① doing the work

② or held responsible for the damage

The job they did worthless

① they did a few spots

② all the tire marks in the curb not fixed

③ The curbs that where push-out not fixed

CLP should be held responsible for getting it  
fixed or the solar farm should do it (they got  
away with alot of things, before / why not know)  
Lets get it fixed the way it was before (the town  
should put a lien on the property until its done)

② I would like to know when CLP remove  
the poles is

① all the dirt, stones going to  
be picked up, left the way it was

② are they going to bring in loam  
& seed the areas disturbed

③ I missed the last Wetlands Meeting

① Who is going to clean-out my  
meeces & our stream that has silt in it.

② The stream starts at the solar farm

③ It never had silt before so it  
Who's going to fix it

(a) Solar farm

(b) Lombardi

(c) maybe the town will do it

I'm glad the Wetlands gave a cease + desist to the solar farm. The order should not be lifted until all the abutting land owners problems are fixed and they say its OK. Is this situation going to disappear like all the other gifts the town gave to the solar farm to be built.

④ My last question is to do with the Building Inspector / Joe Smith

① I got a building permit around June 2011 for a garage on our property

② I submitted a plan and Joe made is comments + requirements for the garage to be built under code

③ He said that 3" washers (for the anchor bolts) are needed / H 2.5A Hurricane clips are needed / strapping at the peak of the roof is needed

These 3 requirements need to be done ; to code (The strapping was done)

④ The others (3" washers ; H-2.5A) not done

⑤ I'm having a little problem with the Builder now about these items and other items he didn't finish

⑥ The building inspector is now saying that these items are not needed

and he is fine with the job now.

⑦ This is a question for Mark Nickleson

ⓐ since you are in the insurance business, you would most likely know

ⓑ if I had wind damage to my garage and the claims adjustor

came for a insurance claim and during his inspection he noticed that these

2 items were not done (for the codes at that time) What could happen.

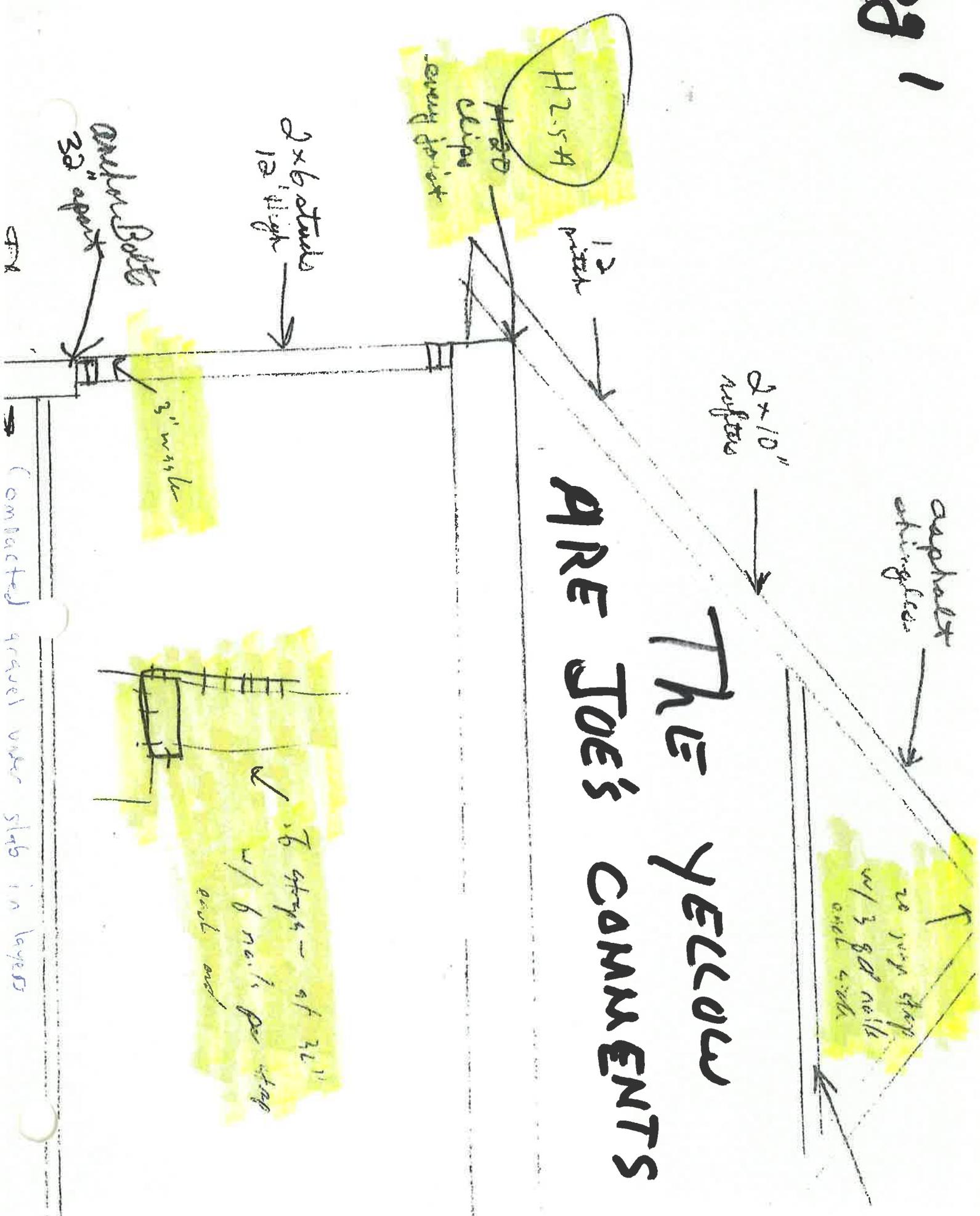
I heard the codes are going to be changing soon, again

⑧ I asked Joe Smith, since he said they not needed and he's fine the way it is <sup>The job</sup> I asked for a letter from the town stating what he said & agreed to <sup>it</sup> for my garage. He said he wouldn't write a letter and since lawyers are involved now he doesn't want to talk with me. I guess now I have to talk with the State Building Inspectors and of course I did

⑨ I would like some help from the 1<sup>st</sup> Selectmen on this issue with Joe Smith. How would he like me to handle this issue

Thank-you Listening and  
your attention to these matters  
John Bialowanski

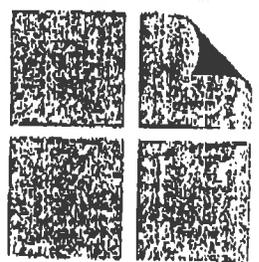
# THE YELLOW ARE JOE'S COMMENTS



JIM ROE

2001 EDITION

ANSI/AF&PA WFCM-2001  
(New Standard)  
Approval Date: October 11, 2001



# WFCM

WOOD FRAME CONSTRUCTION MANUAL

FOR ONE- AND TWO-FAMILY DWELLINGS

American  
Forest &  
Paper  
Association

American Wood Council

25-01-LMH

APPENDIX M

BASIC WIND SPEED

MUNICIPALITY	BASIC WIND SPEED (3 second gust)	MUNICIPALITY	BASIC WIND SPEED (3 second gust)	MUNICIPALITY	BASIC WIND SPEED (3 second gust)	MUNICIPALITY	BASIC WIND SPEED (3 second gust)
Andover	100	East Haven	110	Morris	90	Southbury	90
Andover	100	East Lyme	100/120 <sup>1</sup>	Naugatuck	100	Southington	100
Andover	100	Easton	100	New Britain	90	South Windsor	90
Avon	90	East Windsor	90	New Canaan	100	Sprague	130
Backus	90	Ellington	90	New Fairfield	90	Stafford	90
Beacon Falls	100	Enfield	90	New Hartford	90	Stafford	100
Berlin	100	Essex	110	New Haven	110	Stafford	100
Bethany	100	Fairfield	100/110 <sup>1</sup>	Newington	120	Stafford	110/120 <sup>5</sup>
Bethel	90	Farmington	90	New London	90	Stafford	100
Bethlehem	90	Frampton	100	New Milford	90	Thomaston	90
Bloomfield	90	Glastonbury	100	Newtown	90	Thompson	100
Bolton	100	Groton	90	Norfolk	90	Tolland	100
Borah	110	Groton	90	North Branford	110	Tolland	100
Bromfield	110	Groton	100	North Canaan	90	Tolland	90
Bridgesport	110	Groton	100	North Haven	100/110 <sup>5</sup>	Tremball	100/110 <sup>2</sup>
Bridgewater	90	Groton	120	North Stonington	110	Union	90
Bristol	90	Groton	110	Norwalk	100/110 <sup>1</sup>	Vernon	100
Buckfield	90	Groton	110	Norwich	110	Voluntown	110
Burlington	100	Hamden	100/110 <sup>2</sup>	Old Lyme	110/120 <sup>1</sup>	Wallington	100
Burlington	90	Hamden	100	Old Saybrook	110	Wanamans	90
Canaan	90	Hartford	90	Orange	100	Washington	90
Canterbury	100	Hartford	90	Oxford	100	Waterbury	90
Canterbury	90	Hartford	90	Plainfield	100	Waterbury	90
Chaplin	100	Hartford	100	Plainville	90	Waterbury	110/120 <sup>1</sup>
Cheshire	100	Hartford	100	Plymouth	90	Westbrook	110
Cheshire	110	Hartford	100	Pondert	100	West Hartford	90
Clinton	110	Hartford	110	Portland	100	West Haven	110
Colchester	100	Hartford	100	Preston	110	Weston	100
Colchester	90	Hartford	100	Prospect	100	Weston	100/110 <sup>1</sup>
Columbia	100	Hartford	110	Putnam	100	Wethersfield	100
Conwall	90	Hartford	90	Reading	100	Willington	100
Covestry	100	Hartford	110	Ridgefield	90	Wilson	100
Cromwell	100	Hartford	110	Rocky Hill	100	Windsor	90
Danbury	90	Hartford	100	Roxbury	110	Windsor	100
Darien	100	Hartford	100	Salem	110	Windsor	90
Deep River	110	Hartford	100	Salisbury	90	Windsor Locks	90
Derby	100	Hartford	100	Scotland	100	Wolcott	90
Durham	100	Hartford	90	Seymour	100	Woodbridge	100
Eastford	100	Hartford	100	Sharon	90	Woodbury	90
East Granby	90	Hartford	100	Shelton	100	Woodstock	100
East Haddam	110	Hartford	110	Shelton	90		
East Hampton	100	Hartford	100	Shelton	100		
East Haddam	110	Hartford	110	Shelton	100		
East Haddam	110	Hartford	110	Shelton	100		

- Section 680.9
- Section 680.27(C)
- Section 680.27(C)(1)
- Section 680.27(C)(2)
- Section 680.27(C)(3)
- Section 680.21(B)

- Section 680.31
- Section 680.32
- Section 680.33
- Section 680.33(A)
- Section 680.33(B)

- Section 680.44
- Section 680.9
- Section 680.49(G)

- Section 680.71
- Section 680.72
- Section 680.73
- Section 680.74

POWER-LIMITED CIRCUITS

- Section 725.1
- Article 100 and Section 725.2

- Section 725.41(A)
- Section 725.41(B)

- Section 725.51
- Sections 725.52, 725.51, 725.71, Table 760.51

- Section 725.71(A)
- Section 725.71(C)
- Sections 725.61(B) and 725.71(D)
- Section 725.71(H)

- Section 725.55
- Section 725.55(I)
- Section 725.56(D)

- Sections 725.5, 725.6, 725.58, 300.11(B)(2)

70	71	72
100	Sprague	100
90	Stafford	90
90	Stamford	100
110	Staring	100
100	Stoughton	110/120 <sup>3</sup>
120	Stoughton	100
90	Stafford	90
90	Thompson	90
90	Thompson	100
110	Tolland	100
90	Torrington	90
100/110 <sup>2</sup>	Trumbull	100/110 <sup>2</sup>
110	Uxbridge	90
110/110 <sup>3</sup>	Vernon	100
110	Vernon	110
110/120 <sup>4</sup>	Waltham	100
110	Wallingford	100
110	Warren	90
100	Washington	90
100	Ware	90
100	Ware	110/120 <sup>3</sup>
90	Watertown	90
90	Watertown	110
100	West Hartford	90
100	West Haven	110
110	Weston	100
100	Westport	100/110 <sup>2</sup>
100	Wethersfield	100
100	Willington	100
90	Wilbraham	100
100	Winchester	90
90	Windham	100
110	Windsor	90
90	Windsor Locks	90
100	Wolcott	90
100	Woodbridge	100
90	Woodbury	90
100/110 <sup>4</sup>	Woodstock	100
90		
90		
90		

Section 680.33(A)  
Section 680.33(B)

Section 680.44  
Section 680.9  
Section 680.43(G)

Section 680.71  
Section 680.72  
Section 680.73  
Section 680.74

**VEH-LIMITED CIRCUITS**

Section 725.1  
Article 100 and Section 725.2

Section 725.41(A)  
Section 725.41(B)

Section 725.51

Sections 725.52, 725.61, 725.71, Table 760.61  
Section 725.71(A)  
Section 725.71(C)  
Sections 725.61(B) and 725.71(D)  
Section 725.71(H)

Section 725.55  
Section 725.55(F)  
Section 725.56(D)  
Section 725.56(E)  
Sections 725.5, 725.6, 725.58, 300.11(B)(2)

Avon	90	East Windsor	90	New Canaan	90
Bathamsted	90	Ellington	90	New Fairfield	90
Beacon Falls	100	Beffield	100	New Hartford	90
Bedford	100	Essex	110	New Haven	110
Bedford	100	Fairfield	100/110*	Newington	100/110*
Bedford	90	Farmington	90	New London	90
Bethlehem	90	Franklin	90	New Milford	100
Bloomfield	90	Glastonbury	100	Newtown	100
Bolton	108	Cosbein	90	Norfolk	90
Borral	110	Granby	90	North Braintree	90
Braintree	110	Greerwich	100	North Canaan	100
Bridgeport	110	Griswold	100	North Haven	100
Bridgewater	90	Groton	120	North Shannington	120
Bristol	90	Guilford	110	Norwalk	110
Brookfield	90	Haddam	110	Norwich	110
Brooklyn	100	Hamden	110	Old Lyme	100/110*
Burlington	90	Hampton	100	Old Saybrook	100
Canaan	90	Hartford	90	Orange	90
Canterbury	100	Hartford	90	Oxford	90
Canton	90	Harwinton	90	Plainfield	90
Chaplin	100	Hatboro	100	Plainville	100
Cheshire	100	Kent	90	Plymouth	90
Chester	110	Killingly	100	Pomfret	100
Clinton	110	Killingworth	110	Portland	100
Colchester	100	Lebanon	100	Preston	100
Colbrook	90	Lebanon	100	Prospect	110
Columbia	100	Ledyard	100	Pulham	110
Corwall	90	Lisbon	100	Redding	90
Coventry	100	Litchfield	100	Ridgefield	110
Cornwell	100	Lyme	90	Rocky Hill	110
Danbury	90	Madison	100	Roxbury	100
Darien	100	Manchester	90	Salem	100
Deep River	110	Mansfield	100	Salisbury	100
Derby	100	Marlborough	100	Scotland	100
Durham	100	Meriden	100	Seatonow	50
Eastford	100	Middlebury	100	Sharon	100
East Granby	90	Middlefield	100	Shelton	100
East Haddam	110	Middletown	100	Sherman	110
East Hampton	100	Millford	100	Simsbury	100
East Hartford	110	Montro	100	Somers	100

1. Areas south of I-95 = 120 mph; areas north of I-95 = 110 mph
2. Areas south of Rt. 15 = 110 mph; areas north of Rt. 15 = 120 mph
3. Areas south of I-95 = 110 mph; areas north of I-95 = 100 mph
4. Areas east of Rt. 8 = 110 mph; areas west of Rt. 8 = 100 mph
5. Areas south of Rt. 164 = 120 mph; areas north of Rt. 164 = 110 mph

## 3.2 Connections

### 3.2.1 Lateral Framing and Shear Connections

#### 3.2.1.1 Roof Assembly

Roof framing connections shall be in accordance with the requirements of Table 3.1.

#### 3.2.1.2 Roof Assembly to Wall Assembly

Lateral framing and shear connections for rafter, ceiling joist, or truss to top plate shall be in accordance with the requirements of Table 3.4. Prescriptive solutions are provided for lateral framing and shear connections in Table 3.4A.

#### 3.2.1.3 Wall Assembly

Lateral framing connections for top and bottom plate to wall stud shall be in accordance with the requirements of Tables 3.5. Prescriptive solutions are provided for lateral framing connections in 3.5A. Other wall assembly lateral framing and shear connections shall be in accordance with the requirements of Table 3.1.

#### 3.2.1.4 Wall Assembly to Floor Assembly

Lateral framing and shear connections for bottom plate to floor assembly shall be in accordance with the requirements of Table 3.1.

#### 3.2.1.5 Floor Assembly

Floor framing connections shall be in accordance with the requirements of Table 3.1.

#### 3.2.1.6 Floor Assembly to Wall Assembly or Sill Plate

Lateral framing and shear connections for floor assembly to sill, top plate, or girder shall be in accordance with the requirements of Table 3.1.

#### 3.2.1.7 Wall Assembly or Sill Plate to Foundation

Sill plates or wall bottom plates shall be anchored to the foundation system to resist lateral and shear loads from wind in accordance with the requirements of Table 3.2. Prescriptive solutions are provided for sill plate to foundation in Table 3.2A, and for bottom plate to foundation in Table 3.2B. Sill plates or wall bottom plates shall be anchored to the foundation system to resist shear loads from seismic in accordance with the requirements of Table 3.3. Prescriptive solutions are provided for sill or bottom

plate to foundation in Table 3.3A. A minimum of one anchor bolt shall be provided within 6 to 12 inches of each end of each plate. Anchor bolts shall have a minimum embedment of 7 inches in concrete foundations and slabs-on-grade or 7 inches in masonry block foundations when resisting lateral and shear loads only (see Figures 3.2a-c). Anchor bolts shall be located within 12 inches of corners and at spacings specified in Tables 3.2A-B or Table 3.3A, but not exceeding 6 feet on center. Sill plates or bottom plates shall have full bearing on the foundation system.

### 3.2.2 Uplift Connections

#### 3.2.2.1 Roof Assembly to Wall Assembly

Rafter or truss to wall stud uplift connections shall be in accordance with the requirements of Table 3.4. Prescriptive solutions are provided in Table 3.4B. When rafters or trusses are not located directly above studs, rafters or trusses shall be attached to the wall top plate and the wall top plate shall be attached to the wall stud with uplift connections in accordance with Table 3.4.

#### 3.2.2.2 Wall Assembly to Wall Assembly

Story to story uplift connections from upper story wall stud to lower story wall stud shall be in accordance with the requirements of Table 3.4. Prescriptive solutions are provided in Table 3.4B. When upper story wall studs are not located directly above lower story wall studs, the studs shall be attached to a common member in the floor assembly with uplift connections in accordance with Table 3.4.

#### 3.2.2.3 Wall Assembly to Foundation

First floor wall studs shall be connected to the foundation, sill plate, or bottom plate in accordance with the requirements of Table 3.2. Prescriptive solutions for stud to foundation, sill plate, or bottom plate are provided in Table 3.4B (see Figures 3.2a-e). A minimum of a 1 1/4"x20 gage ASTM A653 Grade 33 steel strap shall be nailed to the studs in accordance with Table 3.4B and have a minimum embedment of 7 inches in concrete foundations and slabs-on-grade, 15 inches in masonry block foundations, or be lapped under the plate and nailed in accordance with Table 3.4B (see Figures 3.2a-o). When the steel strap is lapped under the bottom plate, 3-inch square washers shall be used on the anchor bolts and anchor bolt spacings shall not exceed the requirements specified in Table 3.2C. Steel straps embedded in or in contact with slab-on-grade or

PRESCRIPTIVE DESIGN

masonry block foundations shall be hot-dipped galvanized after fabrication, or manufactured from G185 or Z450 galvanized steel.

### 3.2.3 Overturning Resistance

#### 3.2.3.1 Holddowns

Holddowns shall be installed in the shearwall in accordance with 3.4.4.2.3 (see Figures 3.8a-b). A continuous load path from the holddown to the foundation shall be maintained. Where a holddown resists the overturning load from the story or stories above, the holddown shall be sized for the required holddown tension capacity at its level plus the required holddown tension capacity of the story or stories above. For walls sheathed with materials other than those specified in 3.4.4.2, holddown tension capacity at each level shall equal the tabulated shear capacity in Table 3.17D times the wall height.

### 3.2.4 Sheathing and Cladding Attachment

#### 3.2.4.1 Roof Sheathing

Roof sheathing attachment shall be in accordance with the minimum nailing requirements specified in Table 3.10.

#### 3.2.4.2 Wall Sheathing

Wall sheathing attachment shall be in accordance with the minimum nailing requirements specified in Table 3.11.

#### 3.2.4.3 Floor Sheathing

Floor sheathing shall be attached with a minimum of 8d common nails spaced at a maximum of 6 inches on center at panel edges and 12 inches on center in the panel field.

#### 3.2.4.4 Roof Cladding

Roof cladding shall be attached in accordance with the manufacturer's recommendations.

#### 3.2.4.5 Wall Cladding

Wall cladding shall be attached in accordance with the minimum nailing requirements in Table 3.11 or comply with the manufacturer's recommendations.

### 3.2.5 Special Connections

#### 3.2.5.1 Ridge Straps

Ridge straps shall attach to opposing rafters in accordance with the requirements given in Table 3.6. Prescriptive solutions are provided in Table 3.6A.

**EXCEPTION:** Ridge straps are not required when collar ties (collar beams) of nominal 1x6 or 2x4 lumber are located in the upper third of the attic space and attached to rafters in accordance with Table 3.6A.

#### 3.2.5.2 Jack Rafters

Jack rafters shall be attached to the wall assembly in accordance with 3.2.2.1 and attached to hip beams in accordance with Table 3.6.

#### 3.2.5.3 Non-Loadbearing Wall Assemblies

Rake overhang-to-wall, wall-to-wall, and wall-to-foundation connections shall be in accordance with the requirements given in Table 3.4C (see Figures 2.1g-h). Walls which do not support the roof assembly and are attached in accordance with 3.2.1 need no additional uplift connections.

#### 3.2.5.4 Connections around Wall Openings

**3.2.5.4.1 Header and/or Girder to Stud Connections** Headers and/or girder to stud connections shall be in accordance with the requirements given in Table 3.7. Window sill plate to stud connections shall be in accordance with the requirements given in Table 3.8.

**3.2.5.4.2 Top and Bottom Plate to Full Height Studs** When the number of full height studs required at each end of a header are selected from Table 3.23C, each stud shall be connected in accordance with the requirements given in Tables 3.5. Prescriptive solutions for top and bottom plate to stud connections are provided in Table 3.5A.

**EXCEPTION:** When the number of full height studs required at each end of a header are selected from Table 3.23D, the capacity of the connection of the top or bottom plate to each full height stud shall be equal to the unit lateral load,  $w$  (plf), given in Table 3.5 times half of the header span,  $L/2$  (ft), divided by the required number of full height studs,  $NFH$ , selected from Table 3.23D.

Top or Bottom Plate to Each Full Height Stud Connection =  $w * (L/2) / NFH$

Figure 3.2a Sill Plate Anchorage to Concrete Foundation Wall

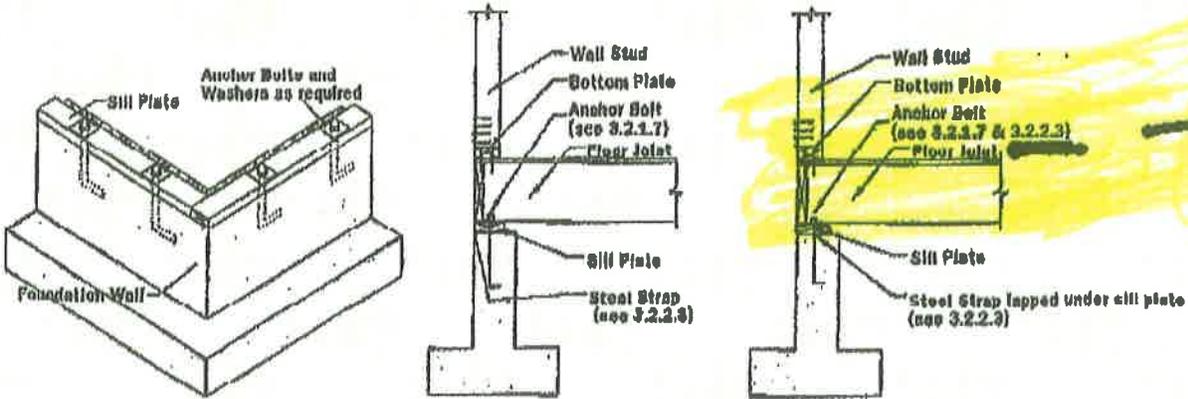


Figure 3.2b Sill Plate Anchorage to Masonry Foundation Wall

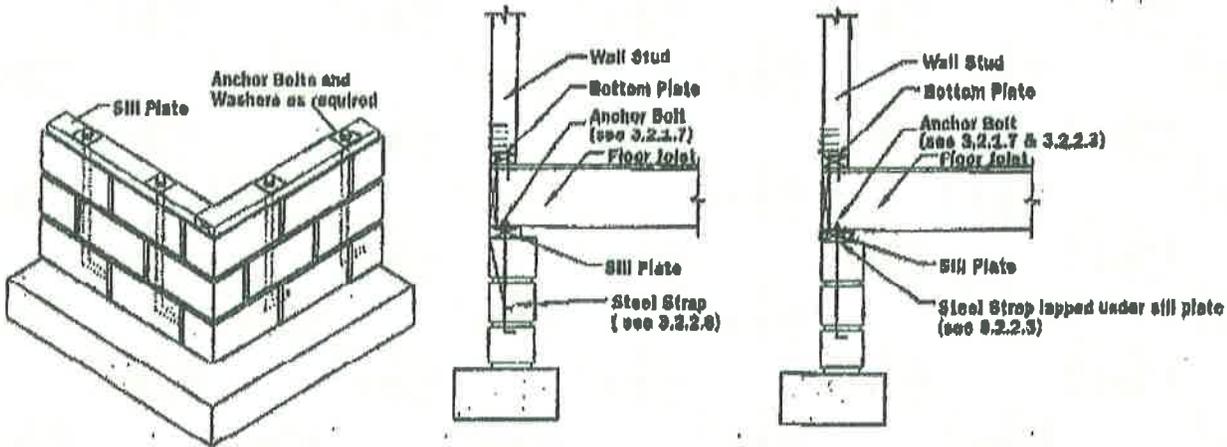
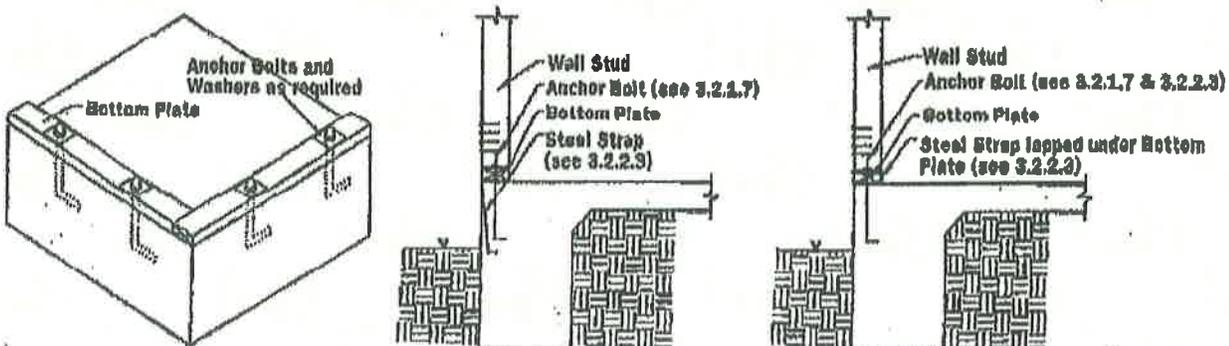


Figure 3.2c Bottom Plate Anchorage to Slab-on-Grade



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NOTE 2: NAILS 4" ON CENTER ON GABLE END TRUSSES OR RAFTERS.

2ND FLOOR

1ST FLOOR

BSMT

# TYPICAL FRAMING CONNECTIONS

### TRUSS TO TOP PLATE:

"SIMPSON" H10 HURRICANE TIE EACH TRUSS  
WITH 2 - 16d BOX TOENAILS EACH TRUSS

### TOP PLATE TO TOP PLATE (TYP. BOTH FLRS):

16d BOX NAIL @ 18" O.C. STAGGERED  
WITH 2 @ EACH END OF SPLICE

### TOP PLATE TO STUD:

2 - 16d BOX NAIL EACH STUD (TYPICAL BOTH FLOORS)  
"SIMPSON" H10A TIE STUD TO PLATE

1/2" "ADVANTRON" OSB STRUCTURAL PANEL  
RUN VERTICAL WITH SOLID FRAMING @ ALL EDGES  
EDGE NAILING - 8d COMMON NAILS @ 6" O.C.  
FIELD NAILING - 8d COMMON NAILS @ 18" O.C.

2 X 6 @ 16" O.C. TYPICAL

### BOT. PLATE TO RIM JOIST:

16d BOX NAIL @ 6" O.C.

### WALL TO WALL:

"SIMPSON" C620 STRAP @ 48" O.C.  
WITH 8 - 8d COMMON NAILS @  
2ND FLR STUD AND 1ST FLR STUD

NOTE 1: ALL WALL OPNG KING STUDS  
TO BE STRAPPED

NOTE 2: STRAPS THAT FALL BELOW WALL  
OPNGS NOT REQ'D

### RIM JOIST TO TOP PLATE:

16d BOX TOENAIL @ 16" O.C. WITH  
"SIMPSON" LTPB & LATERAL  
TIE PLATE @ 24" O.C.

### WALL TO PLATE:

"SIMPSON" C620 STRAP @ 48" O.C.  
WITH 8 - 8d COMMON NAILS @  
1ST FLR STUD AND 2 - 8d COMMON  
NAILS IN OUTSIDE END OF PLATE  
AND INSIDE END OF PLATE

NOTE 1: STRAP TO LAP BELOW SILL PLATE  
AND UP INSIDE EDGE OF SILL PLATE

NOTE 2: ALL WALL OPNG KING STUDS  
TO BE STRAPPED

NOTE 3: STRAPS THAT FALL BELOW WALL  
OPNGS NOT REQ'D

### RIM JOIST TO SILL:

16d BOX TOENAIL @ 16" O.C. WITH  
"SIMPSON" LTPB & LATERAL  
TIE PLATE @ 24" O.C.

### SILL PLATE TO FOUNDATION:

10" X 1/2" GALV. ANCHOR BOLTS EMBEDDED 1" IN FDN.  
30" O.C. - 12" FROM ENDS OF PLATES AND ALL CORNERS

PASTEN W/ 1/2" BOLTS AND "SIMPSON"  
"SIMPSON" LBPS 2 1/2" - 3" X 3" WASHER